

CITY COUNCIL REPORT



Meeting Date: June 11, 2019
 General Plan Element: *Public Services and Facilities*
 General Plan Goal: *Provide city service facilities to meet the needs of the community.*

ACTION

Design-Build Manager, Construction Phase Services Contract for GMP 2 of Phase 1 of the Scottsdale Stadium Renovation Project.

- 1) Adopt Resolution 11455 authorizing Contract Modification 2019-006-COS-A1 with Hunt Construction Group, Inc., in the amount of \$16,566,729 for design-build manager construction phase services, Guaranteed Maximum Price (GMP 2) to include the not-to-exceed costs for construction of remaining Phase 1 improvements of the Scottsdale Stadium Renovations capital project (PE05).
- 2) Adopt Resolution 11497 authorizing a FY 2018/19 budget appropriation transfer totaling \$22,200,000 from three capital contingency budgets for appropriation only including: 1) from the additional available budget appropriation in the Adopted FY 2018/19 Capital Improvement Plan (CIP) (\$15,553,700); 2) from the CIP Contingency for Future Grants (\$4,062,600); and 3) from the CIP Airport Contingency for Future Grants (\$2,583,700) to the Scottsdale Stadium Renovations capital project (PE05) to be funded by contributions from the San Francisco Giants (\$2,500,000) and the stadium's concessionaire (\$2,500,000) and from Municipal Property Corporation (MPC) Bonds that will be issued with debt service payments supported by an annual allocation from the Tourism Development Fund and capital contributions from the Giants and Charros (\$17,200,000).

BACKGROUND

The purpose of this action is to secure Design-Build Manager construction services (GMP 2) for construction of Phase 1 of the Scottsdale Stadium Renovations project.

The Phase 1 project cost is estimated at \$50.6 million based on the current cost model and the phase 1 GMP developed by the design-build team led by Hunt Construction Group. This cost includes the GMP 1 construction services contract in the amount of \$22,853,327 as well as design costs incurred to date and City expenses related to management of the project.

The existing Scottsdale Stadium is located on the northeast corner of Osborn Road and Drinkwater Boulevard, Scottsdale, Arizona. The Scottsdale Stadium is home to the San Francisco Giants for

City Council Report | Design-Build Construction Services – GMP 2 - Scottsdale Stadium Renovations Capital Project

Cactus League Spring Training, the Arizona Summer League, and the Scottsdale Scorpions of the Arizona Fall League (including the championship game at the end of November). The facility also hosts multiple year-round events.

Given the current age of the stadium, the increased demand of events and larger crowd attendance, the City, the San Francisco Giants and the Scottsdale Charros recognized the need for multiple upgrades to the stadium. On September 20, 2016, Council authorized Architectural Services Contract 2016-080-COS with Populous Group, LLC for master planning services for the Scottsdale Stadium and baseball operations. The recently completed masterplan of the stadium included practice facilities and noted that the stadium is also an integral part of the downtown Scottsdale retail and entertainment district. The subject master plan identified and prioritized opportunities for the stadium upgrades to include greater multi-use activities that would benefit the overall downtown Scottsdale area throughout the year.

Some of the key project elements included in Phase 1 will be a new multi-story multi-use facility that will serve as Clubhouse for the spring training season and multi-use event center throughout the year, shade improvements to the right field Charros Lodge area, upgrades to the main entry plaza adjacent to Drinkwater Boulevard, and other improvements determined to benefit the Giants and greater downtown Scottsdale users.

ANALYSIS & ASSESSMENT

Recent Staff Action

On July 2, 2018, Council awarded Contract 2018-078-COS with Hunt Construction Group, Inc. for design-build manager and design phase services for the Scottsdale Stadium Renovations capital project. Since July 2018 the City, the San Francisco Giants, and the Scottsdale Charros have worked with Hunt Construction Group, Inc. to design improvements to the Scottsdale Stadium. On March 19, 2019, Council awarded Contract 2019-006-COS with Hunt Construction Group for design-build GMP 1 Phase 1 construction services. Both design and construction improvements will be delivered as a phased, multi-year project with final completion of Phase 1 in January 2020.

Community Involvement

During the design-build construction services phase, the design-build team and city staff will meet with the public, stadium stakeholders including the San Francisco Giants, Scottsdale Charros, Experience Scottsdale and other Downtown user groups for input.

RESOURCE IMPACTS

Available funding

On March 19, 2019, Council adopted Resolution 11368 that authorized a FY 2018/19 budget appropriation transfer totaling \$23.4 million from the additional available budget appropriation in the Adopted FY 2018/19 Capital Improvement Plan (CIP) to the Scottsdale Stadium Renovations capital project (PE05) funded from: the FY 2018/19 Tourism Development Fund carry-over

City Council Report | Design-Build Construction Services – GMP 2 - Scottsdale Stadium Renovations Capital Project

undesignated, unreserved fund balance (\$5.0 million); a contribution from the San Francisco Giants (\$2.5 million); and from Municipal Property Corporation (MPC) Bonds that will be issued with debt service payments supported by an annual allocation from the Tourism Development Fund and capital contributions from the Giants and Charros (\$15.9 million).

An additional budget authorization of \$22.2 million is being requested to authorize the phase 1 GMP 2 and to fully fund phase 1. The funding for the additional budget authorization needed includes:

- 1) \$2.5 million from a contribution from the San Francisco Giants, in accordance with the Baseball Facilities Agreement;
- 2) \$2.5 million from the concessionaire to the stadium, in accordance with the Baseball Facilities Agreement;
- 3) The remaining \$17.2 million will be funded by MPC Bonds issued with debt service payments supported by an annual allocation from the Tourism Development Fund and capital contributions from the Giants and Charros.

Expenditure budget authority is available in three capital contingency budgets.

- 1) Additional CIP budget appropriation is available because the total FY 2018/19 CIP adopted budget amount was based on an inception-to-date, year-end expenditure forecast from March 2018. At fiscal year-end the forecasted figures were reconciled to actual expenditures as of June 2018 resulting in a reduction of the total budget by approximately \$42.9 million, which is considered additional available budget appropriation for the fiscal year. In October 2018, \$4.0 million of this additional budget appropriation was used for the Drinkwater and 68th Street Bridges and in March 2019, \$23.4 million was used for the Stadium GMP1, leaving the additional budget appropriation balance at \$15.5 million.
- 2) The CIP Contingency for Future Grants represents budgeted expenditure authority set aside for unforeseen grants that may be awarded during the fiscal year. A total of \$4.1 million of budget appropriation balance is available. No additional grant activity is anticipated by year-end.
- 3) The CIP Airport Contingency for Future Grants represents budgeted expenditure authority set aside for unforeseen aviation grants that may be awarded during the fiscal year. A total of \$3.4 million of budget appropriation balance is available. This action will require the use of \$2.6 million. No additional aviation grants are anticipated by year-end.

Staffing, Workload Impact

The contract administrator responsible for enforcement of all provisions of the contract is Anna Leyva, Senior Project Manager, Public Works Division. Community Services staff will provide support to the Senior Project Manager.

OPTIONS & STAFF RECOMMENDATION

Staff recommends the following:

- 1) Adopt Resolution 11455 authorizing Contract Modification 2019-006-COS-A1 with Hunt Construction Group, Inc., in the amount of \$16,566,729 for design-build manager construction phase services, Guaranteed Maximum Price (GMP 2) to include the not-to-exceed costs for construction of remaining Phase 1 improvements of the Scottsdale Stadium Renovations capital project (PE05).
- 2) Adopt Resolution 11497 authorizing a FY 2018/19 budget appropriation transfer totaling \$22,200,000 from three capital contingency budgets for appropriation only including: 1) from the additional available budget appropriation in the Adopted FY 2018/19 Capital Improvement Plan (CIP) (\$15,553,700); 2) from the CIP Contingency for Future Grants (\$4,062,600); and 3) from the CIP Airport Contingency for Future Grants (\$2,583,700) to the Scottsdale Stadium Renovations capital project (PE05) to be funded by contributions from the San Francisco Giants (\$2,500,000) and the stadium's concessionaire (\$2,500,000) and from Municipal Property Corporation (MPC) Bonds that will be issued with debt service payments supported by an annual allocation from the Tourism Development Fund and capital contributions from the Giants and Charros (\$17,200,000).

Proposed Next Steps:

Upon Council approval, GMP 2 work will commence immediately and continue through Phase 1 completion in January 2020.

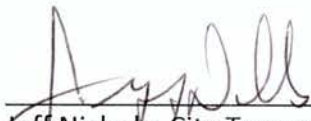
RESPONSIBLE DEPARTMENT(S)

Community Services Division, Capital Project Management

STAFF CONTACT (S)

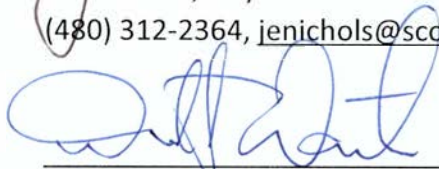
Anna Leyva, Sr. Project Manager, aleyva@scottsdaleaz.gov , (480) 312-7769

APPROVED BY


Jeff Nichols, City Treasurer

(480) 312-2364, jenichols@scottsdaleaz.gov

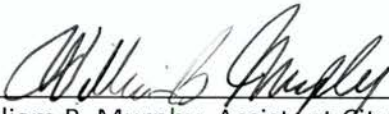

Date


Daniel J. Worth, Executive Director, Public Works

(480) 312-5555, dworth@scottsdaleaz.gov


Date

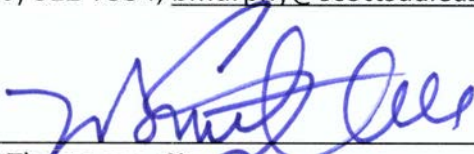
City Council Report | Design-Build Construction Services – GMP 2 - Scottsdale Stadium
Renovations Capital Project



William B. Murphy, Assistant City Manager
(480) 312-7954, bmurphy@scottsdaleaz.gov

6/7/19

Date



Jim Thompson, City Manager
(480) 312-2811, jthompson@scottsdaleaz.gov

6/10/19

Date

For

ATTACHMENTS

1. Resolution 11455
2. Resolution 11497
3. Location Map
4. Contract 2019-006-COS-A1

RESOLUTION NO 11496

A RESOLUTION OF THE COUNCIL OF THE CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA, AUTHORIZING A FY 2018/19 GENERAL FUND CAPITAL CONTINGENCY BUDGET APPROPRIATION TRANSFER TOTALING \$81,100 TO A NEWLY CREATED CIP PROJECT TITLED EXPANSION OF EXISTING DOWNTOWN PARKING GARAGES TO BE FUNDED BY THE IN-LIEU PARKING FEES FUND.

WHEREAS, funds are available in the in-lieu parking fees fund; and

WHEREAS, it is in the best interests of the City of Scottsdale to create a new capital project for the purpose of expanding existing downtown parking garage structures;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Scottsdale, Maricopa County, Arizona as follows:

Section 1. The City Council hereby authorizes a FY 2018/19 General Fund Capital Contingency budget appropriation transfer totaling \$81,100 to a newly created CIP project to be titled Expansion of Existing Downtown Parking Garages to be funded by the In-Lieu Parking Fees Fund.

PASSED AND ADOPTED by the City Council of the City of Scottsdale, Maricopa County, Arizona this ____ day of _____, 2019.

CITY OF SCOTTSDALE, an Arizona
municipal corporation

ATTEST:

Carolyn Jagger, City Clerk

W. J. "Jim" Lane, Mayor

APPROVED AS TO FORM:

Bruce Washburn, City Attorney

By: Eric C. Anderson, Senior Assistant City Attorney

RESOLUTION NO. 11497

A RESOLUTION OF THE COUNCIL OF THE CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA, AUTHORIZING A FY 2018/19 BUDGET APPROPRIATION TRANSFER TOTALING \$22,200,000 FROM THREE CAPITAL CONTINGENCY BUDGETS FOR APPROPRIATION ONLY INCLUDE: 1) FROM THE ADDITIONAL AVAILABLE BUDGET APPROPRIATION IN THE ADOPTED FY 2018/19 CAPITAL IMPROVEMENT PLAN (CIP) (\$15,553,700); 2) FROM THE CIP CONTINGENCY FOR FUTURE GRANTS (\$4,062,600); AND 3) FROM THE CIP AIRPORT CONTINGENCY FOR FUTURE GRANTS (\$2,583,700) TO THE SCOTTSDALE STADIUM RENOVATIONS CAPITAL PROJECT (PE05) TO BE FUNDED BY ANTICIPATED CONTRIBUTIONS FROM THE SAN FRANCISCO GIANTS (\$2,500,000) AND THE STADIUM'S CONCESSIONAIRE (\$2,500,000) AND FROM MUNICIPAL PROPERTY CORPORATION (MPC) BONDS THAT WILL BE ISSUED (\$17,200,000).

WHEREAS, the City desires design-build services to complete Phase 1 of needed upgrades to the Scottsdale Stadium Multi-Use Event Center; and

WHEREAS, Hunt Construction Group, Inc. has currently been providing the requisite design and construction services necessary for the stadium upgrades; and

WHEREAS, The City desires to fund the remaining design-build services necessary for the completion of Phase 1 services for the needed stadium upgrades, and

WHEREAS, Article 6, Section 11 of the Scottsdale City Charter permits the transfer of any unencumbered appropriation balance or portion thereof between general classifications of expenditures within an office, department, or agency or from one office, department or agency to another with the approval of the City Council; and

WHEREAS, Section 2 of Ordinance No. 4351 allows expenditures to be made from budget contingencies and reserves upon recommendation of the City Manager and approval of the City Council; and

BE IT RESOLVED by the Council of the City of Scottsdale as follows:

Section 1. The City Treasurer and the City Manager or designees are hereby authorized and directed to execute a FY 2018/19 budget appropriation transfer totaling \$22,200,000 from three capital contingency budgets for appropriation only including: 1) from the additional available budget appropriation in the Adopted FY 2018/19 Capital Improvement Plan (CIP) (\$15,553,700); 2) from the CIP Contingency for Future Grants (\$4,062,600); and 3) from the CIP Airport Contingency for Future Grants (\$2,583,700) to the Scottsdale Stadium Renovations capital project (PE05) to be funded by anticipated contributions from the San Francisco Giants (\$2,500,000) and the stadium's concessionaire (\$2,500,000) and from Municipal Property Corporation (MPC) Bonds that are planned to be issued (\$17,200,000).

PASSED AND ADOPTED by the City Council of the City of Scottsdale this ____ day of _____, 2019.

CITY OF SCOTTSDALE
an Arizona municipal corporation

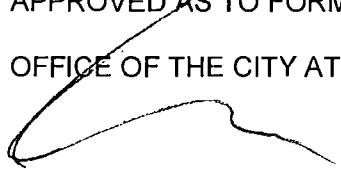
ATTEST:

Carolyn Jagger, City Clerk

W. J. "Jim" Lane, Mayor

APPROVED AS TO FORM:

OFFICE OF THE CITY ATTORNEY



Bruce Washburn, City Attorney
By: Eric C. Anderson, Senior Assistant City Attorney



ATTACHMENT 3					
LOCATION MAP					
PROJECT TITLE					
DEPT. S.M.	DRAWN	DATE	SCALE	SHT.	
CPM	RAH	08/16	NTS	1 OF 1	



**CITY OF SCOTTSDALE
MODIFICATION TO CONSTRUCTION MANAGER
AT RISK
PROJECT NO. PE05
CONTRACT NO. 2019-006-COS-A1**

THIS CONTRACT MODIFICATION entered into this _____ day of June 2019, by and between the City of Scottsdale, a municipal corporation of the State of Arizona, hereinafter referred to as "City", and Hunt Construction Group, an Indiana corporation, the Design-Build Manager, the "DBM".

WITNESSETH

The City desires design-build services for needed upgrades to the Scottsdale Stadium Multi-Use Event Center, the "Project", from the original construction agreement, Contract No. 2019-006-COS ("Agreement"), for construction services relating to the Project; and

City and DBM mutually agree to modify the Contract as provided in this Contract Modification. The City and DBM further acknowledge that this is the first modification (Modification #1) of the Contract and concur that all of the provisions of Contract No. 2019-006-COS, not modified herein, are incorporated by this reference and made part of this modification.

IN CONSIDERATION of the mutual promises and obligations set forth herein, the parties agree as follows:

MODIFICATIONS:

1.0 SCOPE OF SERVICES

Article 1, **DBM's Services and Responsibilities**, Section 1.0 is modified to include the new Scope of Work specified in the attached Exhibit A1 which is incorporated by this reference and made part of this modification.

2.0 PERIOD OF SERVICES

Article 3.0, Contract Time in accordance with the schedule provided in GMP2. The City will issue a new notice to proceed for GMP2.

3.0 CONTRACT PRICE

Article 4.0, **Contract Price**, is modified to add a second GMP contract price, as outlined in Exhibit C.2, "GMP Summary":

Total GMP: \$ 16,566,729

This second GMP is added to the previous approved GMP totaling \$22,853,327 for total approved GMP to date of \$39,420,056 for construction services.

4.0 PERFORMANCE AND PAYMENT BONDS

Article 9.0, Section 9.10(A), **Bonds and Other Performance Security**, is modified to read as follows:

- A. Before the commencement of the work specified in this contract modification, the DBM must provide a performance bond and a labor and materials bond, each in an amount equal to the total combined amount of all GMP's covering all phases of the Project. Bonds must be submitted in accordance with Title 34, Chapter 6 of the Arizona Revised Statutes and will be in substantially the same form as Exhibits D and E attached to Contract 2019-006-COS.

5.0 AFFIRMATION OF CONTRACT

All other provisions of Contract No. 2019-006-COS not modified herein are affirmed in their entirety.

END OF PAGE

The City of Scottsdale by its Mayor and City Clerk has subscribed their names this
_____ day of _____, 2019.

DESIGN-BUILD MANAGER
HUNT CONSTRUCTION GROUP, INC.,
an Indiana corporation

CITY OF SCOTTSDALE
an Arizona municipal corporation

By: _____
PRINT NAME _____

By: _____
W. J. "Jim" Lane, Mayor

RECOMMENDED:

ATTEST:

Dave Lipinski
City Engineer

Carolyn Jagger, City Clerk

APPROVED AS TO FORM:
OFFICE OF THE CITY ATTORNEY

Bruce Washburn, City Attorney
By: Eric C. Anderson,
Senior Assistant City Attorney

Anna Leyva
Contract Administrator

EXHIBIT A1
PROJECT DESCRIPTION
SCOPE OF WORK

Design-Build Manager Construction Services Contract (GMP 2) 2019-006-COS-A1 with Hunt Construction Group with a not-to-exceed cost of \$16,566,729 for the services specified in the contract to begin construction of improvements to Scottsdale Stadium

The project scope is further defined in the details noted in Exhibit C2

EXHIBIT B
DESIGN-BUILD AGREEMENT

Contract 2019-006-COS is included in this contract by reference and is on file in the Scottsdale City Clerk's Office at the below link:

<https://eservices.scottsdaleaz.gov/EdmViewer/17276155>

SCOTTSDALE STADIUM MULTI-USE EVENT CENTER

GMP #2

MAY 24, 2019



AECOM HUNT



POPULOUS

TABLE OF CONTENTS

1. Scope of Work
2. GMP 2 Summary
3. Schedule of Values/GMP Detail
4. GMP 2 Project Documents
 - a. Cover Page with Signatures
 - b. GMP 2 Project Document Log, dated 5/21/2019
 - c. Drawings
 - d. Specifications
 - e. Supplemental Info
 - i. Signage
 - ii. FF&E
 - f. City of Scottsdale Documents
 - g. Bidder RFIs
5. Clarifications and Assumptions
 - a. GMP 1 Clarifications and Assumptions
 - b. Budgetary Option Sketches
 - c. Press Tower Sectional Door Sketches
 - d. Sound Scope Clarification Drawings
 - e. Furniture, Fixtures, and Equipment Responsibility Matrix
 - f. Preliminary LEED Commissioning Specification 01 91 00
6. Scottsdale Stadium Schedule, dated 3/14/2019

SCOPE OF WORK

Due to the nature and schedule of the Scottsdale Stadium Multi-Use Event Center project, Phase 1 will be broken up into two separate GMP's. GMP 1 was approved in Contract No 2019-0006-COS on 3/19/2019. This GMP 2 includes the costs for the following remaining Phase 1 scope items:

- 06.10 Finish Carpentry / Millwork, Wood Lockers P3, P4
- 07.92 Firestopping, Caulking, Deck Coating P1, P2, P3, P4
- 08.33b Overhead Coiling Doors P3, P4
- 08.40b Interior & Exterior Glazing Systems P3, P4
- 09.30 Ceramic Tile P3, P4
- 09.50 Acoustical Ceilings P3, P4
- 09.65 Flooring - Resilient Base & Tile, Athletic Flooring, Carpet P3, P4
- 09.90 Painting / Special Coatings P1, P2, P3, P4
- 10.10 Signage and Graphics P3, P4
- 10.26 Fiberglass Reinforced Wall Panels P3, P4
- 10.28 Toilet Partitions & Accessories, FEC, Wall Protection P3, P4
- 11.23 Laundry Equipment P3
- 11.24 Fall Protection Equipment P2
- 12.20 Roller Shades P3, P4
- 12.63 Aluminum Stadium Seating P4
- 13.10 Hydrotherapy Equipment Start-up P3
- 13.24 Sauna and Steam Room Equipment P3
- 22.00b Plumbing P3, P4
- 23.00b HVAC P3, P4
- 26.00b Electrical, Security, Fire Alarm, Telecommunications P3, P4
- 27.00 Audio Video P3 & P4
- 32.30 Chain Link Fences, Tree Grate, Modify Netting P1, P2, P3, P4

This GMP 2 was prepared based upon the following Phase 1 project documents, which are outlined in detail on the document log included in section 4 of this GMP. A slipsheeted set of the latest documents themselves are also included in section 4 of this GMP.

1. Drawings

- a. General (G) Drawings
 - i. 100% CD Documents, dated 1/15/2019
 - ii. Delta 1/Addendum 1, dated 2/6/2019
 - iii. Delta 2/ASI 001, dated 2/18/2019
 - iv. Delta 3/ASI 002, dated 3/15/2019
 - v. Delta 4/ASI 003, dated 4/19/2019
- b. Drawing Package P1
 - i. 100% CD Documents, dated 1/15/2019
 - ii. Delta 1/Addendum 1, dated 2/6/2019

SCOPE OF WORK

- iii. Delta 2/ASI 001, dated 2/18/2019
 - iv. Delta 3/ASI 002, dated 3/15/2019
 - v. Delta 4/ASI 003, dated 4/19/2019
 - c. Drawing Package P2
 - i. 100% CD Documents, dated 1/15/2019
 - ii. Delta 1/Addendum 1, dated 2/6/2019
 - iii. Delta 2/ASI 001, dated 2/18/2019
 - iv. Delta 3/ASI 002, dated 3/15/2019
 - v. Delta 4/ASI 003, dated 4/19/2019
 - d. Drawing Package P3
 - i. 100% CD Documents, dated 4/15/2019
 - e. Drawing Package P4
 - i. 100% CD Documents, dated 4/15/2019
 - f. Drawing Package P4.1
 - i. 100% CD Documents, dated 4/15/2019
 - g. Drawing Package P4.2
 - i. 100% CD Documents, dated 4/15/2019
- 2. Specifications
 - a. 100% CD Documents, dated 1/15/2019
 - b. Delta 1/Addendum 1, dated 2/6/2019
 - c. Delta 2/ASI 001, dated 2/18/2019
 - d. Delta 3/ASI 002, dated 3/15/2019
 - e. Delta 4/ASI 003, dated 4/19/2019
- 3. Supplemental Information
 - a. Signage
 - b. FF&E
- 4. City of Scottsdale Documents
 - a. Building Supplemental Instructions, dated May 2018
 - b. Design Standards and Policies Manual, dated 2018
- 5. Bidder RFIs

The GMP 2 Package for Phase 1 of the Scottsdale Stadium Multi-Use Event Center is based upon the clarifications and assumptions provided in Section 5 of this GMP.

END OF DOCUMENT

AECOM HUNT

Project: Scottsdale Stadium Multi-Use Event Center Improvements
 Owner: City of Scottsdale
 Architect: DWL - Populous
 Location: Scottsdale, AZ
 Date: May 24, 2019

GMP SUMMARY - DIRECT COSTS (Organized by Bid Package #)					GMP 2
06.10 Finish Carpentry / Millwork P3, P4					\$503,946
07.92 Firestopping, Caulking, Deck Coating P1, P2, P3, P4					\$338,470
08.33b Overhead Coiling Doors P3 & P4					\$108,254
08.40b Interior & Exterior Glazing Systems P3 & P4					\$96,450
09.30 Ceramic Tile P3, P4					\$235,036
09.50 Acoustical Ceilings P3, P4					\$294,496
09.65 Flooring - Resilient Base & Tile, Athletic Flooring, Carpet P3, P4					\$330,021
09.90 Painting / Special Coatings P1, P2, P3, P4					\$426,979
10.10 Signage and Graphics P3, P4					\$181,658
10.26 Fiberglass Reinforced Wall Panels P3, P4					\$29,155
10.28 Toilet Partitions & Accessories, FEC P3, P4					\$96,951
11.24 Fall Protection EQ P2					\$90,897
13.24 Sauna & Steam Room Equipment P3					\$50,000
11.23 Laundry Equipment P3					\$79,909
12.20 Roller Shades P3, P4					\$148,739
13.10 Hydrotherapy Equipment Startup P3					\$31,000
12.63 Aluminum Stadium Seating P4					\$142,950
22.00b Plumbing P3, P4					\$1,657,576
23.00b HVAC P3, P4					\$2,661,986
26.00b Elec, Sec, F. Alarm, Telco P3, P4					\$4,141,817
27.00 Audio Video P3 & P4					\$1,109,282
32.30 CL Fences, Tree Grate, Netting, Budgetary Options P1, P2, P3, P4					\$340,677
City Permit Plan Review Changes 2% Allowance					\$261,925
A	Sub-Contractors Cost of Work (Labor Materials, Equipment Warranty) Sub Total				\$13,358,174
B	DBM Cost of Work (Labor, Materials, Equipment, Warranty)				See GMP 1
C	Design Fee (Construction Administration)				See GMP 1
D	COST of WORK (A+B+C)				\$13,358,174
E	Indirect Costs				
F	General Conditions		1	LS	See GMP 1
G	DBM Construction Fee (% of D)	5.00%	1	LS	\$667,909
H1	Performance & Payment Bond (% of D+E)	0.80%	1	LS	\$106,865
H2	Insurance (% of D+E)	0.95%	1	LS	\$126,903
H3	Builders Risk Insurance (% of D+E)	0.35%	1	LS	\$46,754
	Sub-Contractor Default Insurance (% of A)	1.25%	1	LS	\$166,977
I	Subtotal Indirect Costs				\$1,115,408
J	Direct + Indirect Costs (D+I)				\$14,473,582
K	Sales Tax (Scottsdale 7.95%+0.1% at 65% of rate - % of J)	5.23%	1	LS	\$757,330
L	Project Contingency (% of D)	10.00%	1	LS	\$1,335,817
M	TOTAL GMP 2				\$16,566,729

AECOM HUNT**GMP 2**

Project: Scottsdale Stadium Multi-Use Event Center Improvements

Architect: DWL - Populous

Date: May 24, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
	06.10 Finish Carpentry / Millwork		None			See 13.34 Aluminum Stadium Seating
Subtotal:	Package 4.5 Right Field Bleachers	06.10 Finish Carpentry / Millwork			0	
TOTAL:	06.10 Finish Carpentry / Millwork P3, P4				503,946	
	07.92 Firestopping, Caulking, Deck Coating P1, P2, P3, P4					
	Package 1 Site Improvements					
	07.92 Firestopping, Caulking, Deck Coating	1	LS	6,500.00	6,500	
07 90 00	Joint Protection	1	LS			Included above
	Joint Sealants	1	LS			Included above
Subtotal:	Package 1 Site Improvements	07.92 Firestopping, Caulking, Deck Coating			6,500	
	Package 3 Clubhouse Buildout					
	07.92 Firestopping, Caulking, Deck Coating	1	LS	116,396.00	116,396	
07 10 00	Damproofing and Waterproofing	1	LS			Included above
	COT - 1 Traffic Coating	1	LS			Included above
	CMU & Board Formed Water Repellants	1	LS			Included above
	Fluid Applied Air Barrier	1	LS			Included above
07 80 00	Fire and Smoke Protection	1	LS			Included above
	Spray Fireproofing		None			Excluded
	Intumescent Paint		None			Excluded
07 90 00	Joint Protection	1	LS			Included above
	Joint Sealants	1	LS			Included above
Subtotal:	Package 3 Clubhouse Buildout	07.92 Firestopping, Caulking, Deck Coating			116,396	
	Package 4.1 Team Shop Improvements					
	07.92 Firestopping, Caulking, Deck Coating	1	LS	950.00	950	
07 90 00	Joint Protection	1	LS			Included above
Subtotal:	Package 4.1 Team Shop Improvements	07.92 Firestopping, Caulking, Deck Coating			950	
	Package 4.2 Press Club Level					
	07.92 Firestopping, Caulking, Deck Coating	1	LS	24,197.00	24,197	
07 10 00	Damproofing and Waterproofing	1	LS			Included above
07 80 00	Fire and Smoke Protection	1	LS			Included above
07 90 00	Joint Protection	1	LS			Included above
	Traffic Coating Minor Repairs Press Level & Above City & Ticket Office- Allowance	1	ALLOW	15,000.00	15,000	Allowance
	Fluid Applied Air Barrier	1	LS			Included above
Subtotal:	Package 4.2 Press Club Level	07.92 Firestopping, Caulking, Deck Coating			39,197	
	Package 4.3 City & Ticket Offices					
	07.92 Firestopping, Caulking, Deck Coating	1	LS	32,278.00	32,278	
07 10 00	Damproofing and Waterproofing	1	LS			Included above
07 80 00	Fire and Smoke Protection	1	LS			Included above
07 90 00	Joint Protection	1	LS			Included above
	CMU Water Repellants	1	LS			Included above
	Fluid Applied Air Barrier	1	LS			Included above
Subtotal:	Package 4.3 City & Ticket Offices	07.92 Firestopping, Caulking, Deck Coating			32,278	

AECOM HUNT**GMP 2**

Project: Scottsdale Stadium Multi-Use Event Center Improvements

Architect: DWL - Populous

Date: May 24, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
Package 4.4 Charros Lodge						
07.92	Firestopping, Caulking, Deck Coating	1	LS	138,149.00	138,149	
07.10.00	Damproofing and Waterproofing	1	LS			Included above
07.90.00	Joint Protection	1	LS			Included above
	Deck Coating	1	LS			Included above
Subtotal:	Package 4.4 Charros Lodge	07.92 Firestopping, Caulking, Deck Coating			138,149	
Package 4.5 Right Field Bleachers						
07.92	Firestopping, Caulking, Deck Coating		None			
Subtotal:	Package 4.5 Right Field Bleachers	07.92 Firestopping, Caulking, Deck Coating			0	
Package 4.6 Main Entry Plaza						
07.92	Firestopping, Caulking, Deck Coating	1	LS	5,000.00	5,000	
07.90.00	Joint Protection	1	LS			Included above
Subtotal:	Package 4.6 Main Entry Plaza	07.92 Firestopping, Caulking, Deck Coating			5,000	
TOTAL:	07.92 Firestopping, Caulking, Deck Coating				338,470	
08.33b Overhead Coiling Doors P3 & P4						
Package 3 Clubhouse Buildout						
08.33b	Overhead Coiling Doors	1	LS	3,503.00	3,503	
08.30.00	Specialty Doors & Frames	1	LS			Included above
	Coiling Counter Door, Manual - Kitchen	1	LS			Included above
Subtotal:	Package 3 Clubhouse Buildout	08.33b Overhead Coiling Doors			3,503	
Package 4.2 Press Club Level						
08.33b	Overhead Coiling Doors	1	LS	104,751.00	104,751	
08.30.00	Specialty Doors & Frames	1	LS			Included above
	Rolling Glass Doors	1	LS			Included above
Subtotal:	Package 4.2 Press Club Level	08.33b Overhead Coiling Doors			104,751	
TOTAL:	08.33b Overhead Coiling Doors P3 & P4				108,254	
08.40b Interior & Exterior Glazing Systems P3 & P4						
Package 3 Clubhouse Buildout						
08.40b	Interior & Exterior Glazing Systems	1	LS	47,450.00	47,450	
08.40.00	Entrances, Storefront	1	LS			Included above
08.80.00	Glazing	1	LS			Included above
	Interior Storefront Doors	1	LS			Included above
	Sauna Doors - Storefront	1	LS			Included above
	Door Lites, Interior Glazing	1	LS			Included above
	Interior Glazing	1	LS			Included above
	Fire Rated Interior Glazing		None			Excluded
	Bathroom Mirrors		Excluded			See BP 10.28 Toilet Accessories
	Wall Mirrors 8'	1	LS			Included above
	Budgetary Option #7 Delete Glazing at Strength and Conditioning Coaches Office	1	LS			Included above

AECOM HUNT**GMP 2**

Project: Scottsdale Stadium Multi-Use Event Center Improvements

Architect: DWL - Populous

Date: May 24, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
Subtotal:	Package 3 Clubhouse Buildout	08.40b Interior & Exterior Glazi			47,450	
	Package 4.1 Team Shop Improvements 08.40b Interior & Exterior Glazing Systems		None			Existing to remain
Subtotal:	Package 4.1 Team Shop Improvements	08.40b Interior & Exterior Glazi			0	
	Package 4.2 Press Club Level 08.40b Interior & Exterior Glazing Systems					
	08 40 00 Entrances, Storefront	1	LS	600.00	600	
	08 80 00 Glazing	1	None			Included above
	Door Lites	1	LS			Included above
	Bathroom Mirrors	1	LS			See BP 10.28 Toilet Accessories
Subtotal:	Package 4.2 Press Club Level	08.40b Interior & Exterior Glazi			600	
	Package 4.3 City & Ticket Offices 08.40b Interior & Exterior Glazing Systems					
	08 40 00 Entrances, Storefront	1	LS	48,400.00	48,400	Included above
	08 80 00 Glazing	1	LS			Included above
	Storefront Doors, Including Hardware	1	LS			Included above
	Storefront	1	LS			Included above
	Install Ticket Windows (Reuse Existing)	1	LS			Included above
	Interior Glazing	1	LS			Included above
Subtotal:	Package 4.3 City & Ticket Offices	08.40b Interior & Exterior Glazi			48,400	
TOTAL:	08.40b Interior & Exterior Glazing Systems				96,450	
	P3 & P4					
	09.30 Ceramic Tile P3, P4					
	Package 3 Clubhouse Buildout 09.30 Ceramic Tile					
	09 30 00 Tile	1	LS	200,736.00	200,736	Included above
	Floor Tile TL-1A, TL-3A, TL-7, TL-8	1	LS			Included above
	Wall Tile TL-1A, TL-1B, TL-2, TL-3A, TL-3B, TL-4, TL-5, TL-11, B-4	1	LS			Included above
Subtotal:	Package 3 Clubhouse Buildout	09.30 Ceramic Tile			200,736	
	Package 4.1 Team Shop Improvements 09.30 Ceramic Tile		None			
Subtotal:	Package 4.1 Team Shop Improvements	09.30 Ceramic Tile			0	
	Package 4.2 Press Club Level 09.30 Ceramic Tile					
	09 30 00 Tile	1	LS	28,430.00	28,430	Included above
	Floor Tile TL-1A	1	LS			Included above
	Wall Tile TL-1A, TL-3A	1	LS			Included above
Subtotal:	Package 4.2 Press Club Level	09.30 Ceramic Tile			28,430	
	Package 4.3 City & Ticket Offices 09.30 Ceramic Tile					
		1	LS	5,870.00	5,870	

AECOM HUNT**GMP 2**

Project: Scottsdale Stadium Multi-Use Event Center Improvements

Architect: DWL - Populous

Date: May 24, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
09 30 00	Tile	1	LS			Included above
	Wall Tile TL-9	1	LS			Included above
Subtotal:	Package 4.3 City & Ticket Offices	09:30 Ceramic Tile			5,870	
TOTAL:	09:30 Ceramic Tile P3, P4				235,036	
09.50 Acoustical Ceilings P3, P4						
Package 3 Clubhouse Buildout						
09.50 Acoustical Ceilings						
09 50 00	Ceilings	1	LS	124,490.00	124,490	Included above
	Acoustical Ceilings C02, C03, C04, C05	1	LS			Included above
	Multipurpose Room Acoustical Wall Panels - Allowance	1	ALLOW	58,470.00	58,470	Allowance
	Callahan Studios Allowance	1	ALLOW	13,760.00	13,760	Allowance
	C06 Faux Wood Ceiling Slats	1	LS			Included above
Subtotal:	Package 3 Clubhouse Buildout	09:50 Acoustical Ceilings			196,720	
Package 4.1 Team Shop Improvements						
09.50 Acoustical Ceilings						
09 50 00	Ceilings	1	LS	16,280.00	16,280	Included above
	C07 K-13 Insulation	1	LS			Included above
Subtotal:	Package 4.1 Team Shop Improvements	09:50 Acoustical Ceilings			16,280	
Package 4.2 Press Club Level						
09.50 Acoustical Ceilings						
09 50 00	Ceilings	1	LS	33,136.00	33,136	Included above
	Acoustical Tile Ceilings, C02 & C03	1	LS			Included above
Subtotal:	Package 4.2 Press Club Level	09:50 Acoustical Ceilings			33,136	
Package 4.3 City & Ticket Offices						
09.50 Acoustical Ceilings						
09 50 00	Ceilings	1	LS	8,830.00	8,830	Included above
	Acoustical Tile Ceilings, C02 & C03	1	LS			Included above
Subtotal:	Package 4.3 City & Ticket Offices	09:50 Acoustical Ceilings			8,830	
Package 4.7 Existing Stadium Upgrades						
09.50 Acoustical Ceilings						
09 50 00	Ceilings	1	LS	39,530.00	39,530	Included above
	ACT Repairs	1	LS			Included above
		1	ALLOW		0	
Subtotal:	Package 4.7 Existing Stadium Upgrades	09:50 Acoustical Ceilings			39,530	
TOTAL:	09:50 Acoustical Ceilings P3, P4				294,496	
09.65 Flooring - Resilient Base & Tile, Athletic Flooring, Carpet P3, P4						
Package 3 Clubhouse Buildout						
09.65 Flooring - Resilient Base & Tile, Athletic Flooring, Carpet						
09 60 00	Flooring	1	LS	239,037.00	239,037	Included above
12 48 13	Entrance Floor Mats & Frames	1	LS			Included above

AECOM HUNT**GMP 2**

Project: Scottsdale Stadium Multi-Use Event Center Improvements

Architect: DWL - Populous

Date: May 24, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
	CPT-1 Spike Resistant Carpet Tile	1	LS			Included above
	CPT-2 Carpet Tile w/ Cushion Back	1	LS			Included above
	CPT-3 Standard Carpet Tile	1	LS			Included above
	CPT-4 Standard Carpet Tile	1	LS			Included above
	LVT-1 Luxury Vinyl Tile	1	LS			Included above
	Rubber Base	1	LS			Included above
	RF-1 Rubber Floor Tile	1	LS			Included above
	RF-2 Rubber Floor (Stairs)	1	LS			Included above
	UT-1 Urethane Resinous Flooring w/ Integral Cove Base	1	LS			Included above
	WD-1 Engineered Wood Floor	1	LS			Included above
	PC-1 Polished Concrete	1	LS			Included above
	SC-1 Sealed Concrete	1	LS			Included above
Subtotal:	Package 3 Clubhouse Buildout	09:65 Flooring - Resilient Base			239,037	
Package 4.1 Team Shop Improvements						
09 60 00	09.65 Flooring - Resilient Base & Tile, Athletic Flooring, Flooring	1	LS	12,297.00	12,297	Included above
	CPT-6 Standard Carpet Tile	1	LS			Included above
	Rubber Base	1	LS			Included above
Subtotal:	Package 4.1 Team Shop Improvements	09:65 Flooring - Resilient Base			12,297	
Package 4.2 Press Club Level						
09 60 00	09.65 Flooring - Resilient Base & Tile, Athletic Flooring, Flooring	1	LS	65,622.00	65,622	Included above
	CPT-3 Standard Carpet Tile, Natural Loom	1	LS			Included above
	CPT-4 Standard Carpet Tile, Natural Weft	1	LS			Included above
	Rubber Base	1	LS			Included above
Subtotal:	Package 4.2 Press Club Level	09:65 Flooring - Resilient Base			65,622	
Package 4.3 City & Ticket Offices						
09 60 00	09.65 Flooring - Resilient Base & Tile, Athletic Flooring, Flooring	1	LS	13,065.00	13,065	Included above
	CPT-5 Standard Carpet Tile	1	LS			Included above
	Rubber Base	1	LS			Included above
Subtotal:	Package 4.3 City & Ticket Offices	09:65 Flooring - Resilient Base			13,065	
TOTAL	09:65 Flooring - Resilient Base & Tile, Athletic Flooring - Corner P3, P4				330,021	
09.90 Painting / Special Coatings P1, P2, P3, P4						
Package 1 Site Improvements						
09 90 00	09.90 Painting / Special Coatings	1	LS	5,863.00	5,863	Included above
	Paint and Coating	1	LS			Included above
	Paint Site Gates, Fences, Bollards, and Trash Enclosure Canopy	1	LS			Included above
Subtotal:	Package 1 Site Improvements	09:90 Painting / Special Coatin			5,863	
Package 2 Clubhouse Core & Shell						
09 90 00	09.90 Painting / Special Coatings	1	LS	57,459.00	57,459	Included above
	Paint and Coating	1	LS			Included above
	Paint Exposed Ceiling Structure	1	LS			Included above

AECOM HUNT**GMP 2**

Project: Scottsdale Stadium Multi-Use Event Center Improvements

Architect: DWL - Populous

Date: May 24, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
	Paint Exterior Shade Canopies	1	LS			Included above
	Paint Hollow Metal Doors & Frames	1	LS			Included above
	Water Repellents	1	LS			Included above
	Paint Mechanical Screen Wall Supports	1	LS			Included above
Subtotal:	Package 2 Clubhouse Core & Shell	09.90	Painting / Special Coatin		57,459	
Package 3 Clubhouse Buildout						
09.90 Painting / Special Coatings		1	LS	114,758.00	114,758	
09 90 00	Paint and Coating	1	LS			Included above
	Paint Ceilings and Interior Drywall	1	LS			Included above
	Paint Hollow Metal Doors & Frames	1	LS			Included above
	Paint Guardrails	1	LS			Included above
	Paint Exposed Ceilings/Utilities	1	LS			Included above
	Paint Interior CMU Walls	1	LS			Included above
Subtotal:	Package 3 Clubhouse Buildout	09.90	Painting / Special Coatin		114,758	
Package 4.1 Team Shop Improvements						
09.90 Painting / Special Coatings		1	LS	11,550.00	11,550	
09 90 00	Paint and Coating	1	LS			Included above
	Paint Ceilings and Interior Drywall	1	LS			Included above
	Paint Hollow Metal Doors & Frames	1	LS			Included above
	Paint Exposed Ceilings/Utilities	1	LS			Included above
	Exterior Painting	1	LS			Included above
	Repair Frieze at Artwork Removal Damage	1	ALLOW	5,000.00	5,000	Allowance
Subtotal:	Package 4.1 Team Shop Improvements	09.90	Painting / Special Coatin		16,550	
Package 4.2 Press Club Level						
09.90 Painting / Special Coatings		1	LS	25,932.00	25,932	
09 90 00	Paint and Coating	1	LS			Included above
	Paint Ceilings and Interior Drywall	1	LS			Included above
	Paint Hollow Metal Doors & Frames	1	LS			Included above
	Paint Exposed Ceilings/Utilities	1	LS			Included above
	Paint Exterior Steel at Coiling Doors	1	LS			Included above
Subtotal:	Package 4.2 Press Club Level	09.90	Painting / Special Coatin		25,932	
Package 4.3 City & Ticket Offices						
09.90 Painting / Special Coatings		1	LS	6,980.00	6,980	
09 90 00	Paint and Coating	1	LS			Included above
	Paint Interior Drywall	1	LS			Included above
	Paint Hollow Metal Doors & Frames	1	LS			Included above
	Paint Exposed Exterior Structure	1	LS			Included above
	Water Repellents	1	LS			Included above
Subtotal:	Package 4.3 City & Ticket Offices	09.90	Painting / Special Coatin		6,980	
Package 4.4 Charros Lodge						
09.90 Painting / Special Coatings		1	LS	77,172.00	77,172	
09 90 00	Paint and Coating	1	LS			Included above
	Paint Exterior Shade Canopies and Steel Structure	1	LS			Included above
	Paint Guardrail and Handrail - Excludes Paint Existing Charros Railing	1	LS			Included above

AECOM HUNT**GMP 2**

Project: Scottsdale Stadium Multi-Use Event Center Improvements

Architect: DWL - Populous

Date: May 24, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
Subtotal:	Package 4.4 Charros Lodge	09.90	Painting / Special Coatin		77,172	
	Package 4.5 Right Field Bleachers 09.90 Painting / Special Coatings		None			
Subtotal:	Package 4.5 Right Field Bleachers	09.90	Painting / Special Coatin		0	
	Package 4.6 Main Entry Plaza 09.90 Painting / Special Coatings					
09 90 00	Paint and Coating	1	LS	23,265.00	23,265	Included above
	Paint Main Entry Canopy Steel	1	LS			Included above
	Paint Entry Gates	1	LS			Included above
Subtotal:	Package 4.6 Main Entry Plaza	09.90	Painting / Special Coatin		23,265	
	Package 4.7 Existing Stadium Upgrades 09.90 Painting / Special Coatings					
09 90 00	Paint and Coating	1	LS	99,000.00	99,000	Included above
Subtotal:	Package 4.7 Existing Stadium Upgrades	09.90	Painting / Special Coatin		99,000	
TOTAL:	09.90 Painting / Special Coatings P1, P2, P3, P4				426,979	
	10.10 Signage and Graphics P3, P4					
	Package 1 Site Improvements 10.10 Signage and Graphics					
10 10 00	Information Specialties		None			Existing to Remain
			None			Existing to Remain
Subtotal:	Package 1 Site Improvements	10.10	Signage and Graphics		0	
	Package 3 Clubhouse Buildout 10.10 Signage and Graphics					
10 10 00	Information Specialties	1	LS	102,401.00	102,401	Included above
	Signage - Code Required	1	LS			Included above
	Building Signage	1	LS			Included above
	Pageantry, Graphics	1	LS			Included above
Subtotal:	Package 3 Clubhouse Buildout	10.10	Signage and Graphics		102,401	
	Package 4.1 Team Shop Improvements 10.10 Signage and Graphics					
10 10 00	Information Specialties					
	Signage - Code Required		None			Existing to Remain
	Building Signage		None			Existing to Remain
	Pageantry, Graphics		None			
Subtotal:	Package 4.1 Team Shop Improvements	10.10	Signage and Graphics		0	
	Package 4.2 Press Club Level 10.10 Signage and Graphics					
10 10 00	Information Specialties	1	LS	12,124.00	12,124	Included above
	Signage - Code Required	1	LS			Existing to Remain
	Building Signage	1	LS			Included above
	Pageantry, Graphics		None			

AECOM HUNT**GMP 2**

Project: Scottsdale Stadium Multi-Use Event Center Improvements

Architect: DWL - Populous

Date: May 24, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
Subtotal	Package 4.2 Press Club Level	10.10 Signage and Graphics			12,124	
Package 4.3 City & Ticket Offices						
10.10 Signage and Graphics		1	LS	7,003.00	7,003	
10 10 00 Information Specialties		1	LS			Included above
Signage - Code Required			None			Existing to Remain
Building Signage		1	LS			Included above
Pageantry, Graphics		1	LS			Included above
Subtotal	Package 4.3 City & Ticket Offices	10.10 Signage and Graphics			7,003	
Package 4.4 Charros Lodge						
10.10 Signage and Graphics			None			
10 10 00 Information Specialties			None			
Signage - Code Required			None			
Building Signage			None			
Pageantry, Graphics			None			
Subtotal	Package 4.4 Charros Lodge	10.10 Signage and Graphics			0	
Package 4.5 Right Field Bleachers						
10.10 Signage and Graphics			None			
10 10 00 Information Specialties			None			
Building Signage			None			
Subtotal	Package 4.5 Right Field Bleachers	10.10 Signage and Graphics			0	
Package 4.6 Main Entry Plaza						
10.10 Signage and Graphics		1	LS	60,130.00	60,130	
10 10 00 Information Specialties		1	LS			Included above
Building Signage		1	LS			Included above
Subtotal	Package 4.6 Main Entry Plaza	10.10 Signage and Graphics			60,130	
TOTAL	10.10 Signage and Graphics P3, P4				181,658	
10.26 Fiberglass Reinforced Wall Panels P3, P4						
Package 3 Clubhouse Buildout						
10.26 Fiberglass Reinforced Wall Panels		1	LS	28,075.00	28,075	
09 77 20 FRP		1	LS			Included above
FRP - Janitors Closet		1	LS			Included above
FRP - Kitchen		1	LS			Included above
Subtotal	Package 3 Clubhouse Buildout	10.26 Fiberglass Reinforced W			28,075	
Package 4.1 Team Shop Improvements						
10.26 Fiberglass Reinforced Wall Panels			None			
Subtotal	Package 4.1 Team Shop Improvements	10.26 Fiberglass Reinforced W			0	
Package 4.2 Press Club Level						

AECOM HUNT**GMP 2**

Project: Scottsdale Stadium Multi-Use Event Center Improvements

Architect: DWL - Populous

Date: May 24, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
10.26	Fiberglass Reinforced Wall Panels	1	LS	1,080.00	1,080	
	09 77 20 FRP	1	LS			Included above
	FRP - Janitors Closet	1	LS			Included above
Subtotal:	Package 4.2 Press Club Level	10.26 Fiberglass Reinforced W			1,080	
	Package 4.3 City & Ticket Offices		None		0	
Subtotal:	Package 4.3 City & Ticket Offices	10.26 Fiberglass Reinforced W			0	
TOTAL:	10.26 Fiberglass Reinforced Wall Panels P3, P4				29,155	
	10.28 Toilet Partitions & Accessories, FEC P3, P4					
	Package 3 Clubhouse Buildout					
	10.28 Toilet Partitions & Accessories, FEC	1	LS	80,944.00	80,944	
10 20 00	Interior Specialties	1	LS			Included above
10 40 00	Safety Specialties	1	LS			Included above
	Toilet Compartments	1	LS			Included above
	Urinal Screens	1	LS			Included above
	Bathroom Accessories	1	LS			Included above
	ADA Shower Accessories	1	LS			Included above
	Wall & Door Protection	1	LS			Included above
	Fire Protection Specialties	1	LS			Included above
Subtotal:	Package 3 Clubhouse Buildout	10.28 Toilet Partitions & Acces			80,944	
	Package 4.1 Team Shop Improvements		None			Existing to remain
Subtotal:	Package 4.1 Team Shop Improvements	10.28 Toilet Partitions & Acces			0	
	Package 4.2 Press Club Level					
	10.28 Toilet Partitions & Accessories, FEC	1	LS	13,408.00	13,408	
10 20 00	Interior Specialties	1	LS			Included above
10 40 00	Safety Specialties	1	LS			Included above
	Toilet Compartments	1	LS			Included above
	Urinal Screens	1	LS			Included above
	Bathroom Accessories	1	LS			Included above
	Wall & Door Protection	1	LS			Included above
	Fire Protection Specialties	1	LS			Included above
Subtotal:	Package 4.2 Press Club Level	10.28 Toilet Partitions & Acces			13,408	
	Package 4.3 City & Ticket Offices					
	10.28 Toilet Partitions & Accessories, FEC	1	LS	2,599.00	2,599	
10 20 00	Interior Specialties	1	LS			Included above
10 40 00	Safety Specialties	1	LS			Included above
	Toilet Compartments	1	LS			Included above
	Urinal Screens	1	LS			Included above
	Bathroom Accessories	1	LS			Included above
	Wall & Door Protection	1	LS			Included above
	Fire Protection Specialties	1	LS			Included above

AECOM HUNT**GMP 2**

Project: Scottsdale Stadium Multi-Use Event Center Improvements

Architect: DWL - Populous

Date: May 24, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
Subtotal:	Package 4.3 City & Ticket Offices	10.28 Toilet Partitions & Acces			2,599	
	Package 4.4 Charros Lodge					
	10.28 Toilet Partitions & Accessories, FEC		None			
10 40 00	Safety Specialties		None			
Subtotal:	Package 4.4 Charros Lodge	10.28 Toilet Partitions & Acces			0	
	Package 4.5 Right Field Bleachers					
	10.28 Toilet Partitions & Accessories, FEC		None			
Subtotal:	Package 4.5 Right Field Bleachers	10.28 Toilet Partitions & Acces			0	
	Package 4.6 Main Entry Plaza					
	10.28 Toilet Partitions & Accessories, FEC		None			
Subtotal:	Package 4.6 Main Entry Plaza	10.28 Toilet Partitions & Acces			0	
TOTAL:	10.28 Toilet Partitions & Accessories, FEC P3, P4				96,951	
	11.24 Fall Protection EQ P2					
	Package 3 Clubhouse Buildout					
	11.24 Fall Protection EQ	1	LS	90,897.00	90,897	
	11 24 29 Facility Fall Protection	1	LS			Included above
	Fall Protection Equipment	1	LS			Included above
	Supply & Installation	1	LS			Included above
Subtotal:	Package 3 Clubhouse Buildout	11.24 Fall Protection EQ			90,897	
TOTAL:	11.24 Fall Protection EQ P2				90,897	
	13.24 Sauna & Steam Room Equipment P3					
	Package 3 Clubhouse Buildout					
	13.24 Sauna Equipment					
	Budgetary Option #5 Sauna & Steam Room	1	LS	50,000.00	50,000	Allowance
	Modifications - Allowance					
	Sauna & Steam Room Equipment	1	LS			Included above
	Drywall, Insulation, Tile, Flooring, Glass Doors, Steam					
	Generator, Plumbing, HVAC, and Electrical Revisions	1	LS			Included above
	All Associated Components, Trim, Supply & Installation	1	LS			Included above
Subtotal:	Package 3 Clubhouse Buildout	13.24 Sauna Equipment			50,000	
TOTAL:	13.24 Sauna & Steam Room Equipment P3				50,000	
	11.23 Laundry Equipment P3					
	Package 3 Clubhouse Buildout					
	11.23 Laundry Equipment	1	LS	79,909.00	79,909	
	11 23 00 Commercial Laundry Equipment	1	LS			Included above
	Commercial Equipment (Clothes Washer & Dryers)	1	LS			Included above
	Supply & Installation	1	LS			Included above

AECOM HUNT**GMP 2**

Project: Scottsdale Stadium Multi-Use Event Center Improvements

Architect: DWL - Populous

Date: May 24, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
Subtotal:	Package 3 Clubhouse Buildout	11.23 Laundry Equipment			79,909	
TOTAL:	11.23 Laundry Equipment P3				79,909	
12.20 Roller Shades P3, P4						
Package 3 Clubhouse Buildout						
12.20 Roller Shades						
12 20 00	Window Treatments	1	LS	120,443.00	120,443	Included above
	Supply & Installation	1	LS			Included above
	Allowance to Mount Roller Shades Adjacent to Coiling Doors	1	ALLOW	3,000.00	3,000	Allowance
Subtotal:	Package 3 Clubhouse Buildout	12.20 Roller Shades			123,443	
Package 4.1 Team Shop Improvements						
12.20 Roller Shades						
12 20 00	Window Treatments		None			Excluded, existing to remain
Subtotal:	Package 4.1 Team Shop Improvements	12.20 Roller Shades			0	
Package 4.2 Press Club Level						
12.20 Roller Shades						
12 20 00	Window Treatments	1	LS	17,712.00	17,712	Included above
	Supply & Installation	1	LS			Included above
Subtotal:	Package 4.2 Press Club Level	12.20 Roller Shades			17,712	
Package 4.3 City & Ticket Offices						
12.20 Roller Shades						
12 20 00	Window Treatments	1	LS	7,584.00	7,584	Included above
	Supply & Installation	1	LS			Included above
Subtotal:	Package 4.3 City & Ticket Offices	12.20 Roller Shades			7,584	
TOTAL:	12.20 Roller Shades P3, P4				148,739	
13.10 Hydrotherapy Equipment Startup P3						
Package 3 Clubhouse Buildout						
13.10 Hydrotherapy Equipment Startup						
	Hydrotherapy Startup	1	LS	31,000.00	31,000	Included above
Subtotal:	Package 3 Clubhouse Buildout	13.10 Hydrotherapy Equipment			31,000	
TOTAL:	13.10 Hydrotherapy Equipment Startup P3				31,000	
12.63 Aluminum Stadium Seating P4						
Package 4.5 Right Field Bleachers						
12.63 Aluminum Stadium Seating						
12 60 00	Multiple Seating	1	LS	142,950.00	142,950	Allowance
	Replace Bleachers - with SRO Platform	1	LS			Included above

AECOM HUNT**GMP 2**

Project: Scottsdale Stadium Multi-Use Event Center Improvements

Architect: DWL - Populous

Date: May 24, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
Subtotal:	Package 4.5 Right Field Bleachers	12,63	Aluminum Stadium Seating		142,950	
TOTAL:	12,63 Aluminum Stadium Seating P4				142,950	
22.00b Plumbing P3, P4						
Package 3 Clubhouse Buildout						
22.00b Plumbing		1	LS	1,075,405.00	1,075,405	
22 00 00 Plumbing	Interior Above Grade Plumbing & Fixtures	1	LS			Included above
	Budgetary Option #8 Add PH Balancer to Training Room Sink	1	LS			Included above
			None			Excluded
Subtotal:	Package 3 Clubhouse Buildout	22,00b Plumbing			1,075,405	
Package 4.1 Team Shop Improvements						
22.00b Plumbing		1	LS	22,500.00	22,500	
22 00 00 Plumbing	HVAC Upgrade Related Plumbing	1	LS			Included above
	Modify Roof Drains at Canopy	1	LS			Included above
Subtotal:	Package 4.1 Team Shop Improvements	22,00b Plumbing			22,500	
Package 4.2 Press Club Level						
22.00b Plumbing		1	LS	303,481.00	303,481	
22 00 00 Plumbing	Interior Above Grade Plumbing & Fixtures	1	LS			Included above
		1	LS			Included above
Subtotal:	Package 4.2 Press Club Level	22,00b Plumbing			303,481	
Package 4.3 City & Ticket Offices						
22.00b Plumbing		1	LS	7,103.00	7,103	
22 00 00 Plumbing	Plumbing & Fixtures	1	LS			Included above
		1	LS			Included above
Subtotal:	Package 4.3 City & Ticket Offices	22,00b Plumbing			7,103	
Package 4.4 Charros Lodge						
22.00b Plumbing		1	LS	85,054.00	85,054	
22 00 00 Plumbing	Replace Existing Deck Drains	1	LS			Included above
		1	LS			Included above
Subtotal:	Package 4.4 Charros Lodge	22,00b Plumbing			85,054	
Package 4.5 Right Field Bleachers						
22.00b Plumbing			None			No Plumbing Scope
22 00 00 Plumbing			None			No Plumbing Scope
Subtotal:	Package 4.5 Right Field Bleachers	22,00b Plumbing			0	
Package 4.6 Main Entry Plaza						
22.00b Plumbing			None			No Plumbing Scope
22 00 00 Plumbing			None			No Plumbing Scope



GMP 2

Project: Scottsdale Stadium Multi-Use Event Center Improvements

Architect: DWL - Populous

Date: May 24, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
Subtotal:	Package 4.6 Main Entry Plaza	22.00b Plumbing			0	
Package 4.7 Existing Stadium Upgrades						
22.00b Plumbing		1	LS	164,033.00	164,033	
22 00 00	Plumbing	1	LS			Included above
	Water Heaters & Water Softner	1	LS			Included above
Subtotal:	Package 4.7 Existing Stadium Upgrades	22.00b Plumbing			164,033	
TOTAL:	22.00b Plumbing P3, P4				1,657,576	
23.00b HVAC P3, P4						
Package 3 Clubhouse Buildout						
23.00b HVAC		1	LS	2,106,003.00	2,106,003	
23 00 00	H V A C	1	LS			Included above
	HVAC Piping, Distribution, Equipment, & Controls	1	LS			Included above
	Owner Cx Recommendations	1	LS			Included above
	Kitchen Air Curtain Allowance	1	ALLOW	4,500.00	4,500	Included above
Subtotal:	Package 3 Clubhouse Buildout	23.00b HVAC			2,110,503	
Package 4.1 Team Shop Improvements						
23.00b HVAC		1	LS	65,809.00	65,809	
23 00 00	H V A C	1	LS			Included above
	HVAC Fan Coil Units, Distribution, & Cotrols	1	LS			Included above
Subtotal:	Package 4.1 Team Shop Improvements	23.00b HVAC			65,809	
Package 4.2 Press Club Level						
23.00b HVAC		1	LS	279,950.00	279,950	
23 00 00	H V A C	1	LS			Included above
	HVAC Fan Coil Units, Distribution, & Cotrols	1	LS			Included above
Subtotal:	Package 4.2 Press Club Level	23.00b HVAC			279,950	
Package 4.3 City & Ticket Offices						
23.00b HVAC		1	LS	86,430.00	86,430	
23 00 00	H V A C	1	LS			Included above
	HVAC Fan Coil Units, Distribution, & Cotrols	1	LS			Included above
Subtotal:	Package 4.3 City & Ticket Offices	23.00b HVAC			86,430	
Package 4.4 Charros Lodge						
23.00b HVAC		1	LS	18,313.00	18,313	
23 00 00	H V A C	1	LS			Included above
	Outdoors Fans	1	LS			Included above
Subtotal:	Package 4.4 Charros Lodge	23.00b HVAC			18,313	
Package 4.7 Existing Stadium Upgrades						
23.00b HVAC		1	LS	100,981.00	100,981	
23 00 00	H V A C	1	LS			Included above

AECOM HUNT**GMP 2**

Project: Scottsdale Stadium Multi-Use Event Center Improvements

Architect: DWL - Populous

Date: May 24, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
	EMS System Upgrade	1	LS			Included above
	Lower Level Locker Rooms - Home & Tunnel	1	LS			Included above
	Lower Level Locker Rooms - Visitor	1	LS			Included above
	Concourse Level Concession					
	Stands/Restrooms/Enclosed Areas	1	LS			Included above
Subtotal:	Package 4.7 Existing Stadium Upgrades	23.00b	HVAC		100,981	
TOTAL:	23.00b HVAC P3, P4				2,661,986	
26.00b Elec, Sec, F. Alarm, Telco P3, P4						
Package 3 Clubhouse Buildout						
26.00b Elec, Sec, F. Alarm, Telco		1	LS	2,704,176.00	2,704,176	
26 00 00	Electrical	1	LS			Included above
27 00 00	Communications (Conduit Only)	1	LS			Included above
28 00 00	Electronic Safety and Security	1	LS			Included above
	Building Electrical & Lighting	1	LS			Included above
	Electrical & Lighting Attic Stock Allowance	1	ALLOW	15,000.00	15,000	Allowance
	Budgetary Option #6 Add Overhead Exam Lights to Doctor's Rooms	1	LS			Included above
Subtotal:	Package 3 Clubhouse Buildout	26.00b	Elec, Sec, F. Alarm, Telco		2,719,176	
Package 4.1 Team Shop Improvements						
26.00b Elec, Sec, F. Alarm, Telco		1	LS	125,404.00	125,404	
26 00 00	Electrical	1	LS			Included above
27 00 00	Communications (Conduit Only)	1	LS			Included above
28 00 00	Electronic Safety and Security	1	LS			Included above
Subtotal:	Package 4.1 Team Shop Improvements	26.00b	Elec, Sec, F. Alarm, Telco		125,404	
Package 4.2 Press Club Level						
26.00b Elec, Sec, F. Alarm, Telco		1	LS	403,992.00	403,992	
26 00 00	Electrical	1	LS			Included above
27 00 00	Communications (Conduit Only)	1	LS			Included above
28 00 00	Electronic Safety and Security	1	LS			Included above
	Building Electrical & Lighting	1	LS			Included above
Subtotal:	Package 4.2 Press Club Level	26.00b	Elec, Sec, F. Alarm, Telco		403,992	
Package 4.3 City & Ticket Offices						
26.00b Elec, Sec, F. Alarm, Telco		1	LS	95,859.00	95,859	
26 00 00	Electrical	1	LS			Included above
27 00 00	Communications (Conduit Only)	1	LS			Included above
28 00 00	Electronic Safety and Security	1	LS			Included above
	Building Electrical & Lighting	1	LS			Included above
Subtotal:	Package 4.3 City & Ticket Offices	26.00b	Elec, Sec, F. Alarm, Telco		95,859	
Package 4.4 Charros Lodge						
26.00b Elec, Sec, F. Alarm, Telco		1	LS	119,026.00	119,026	
26 00 00	Electrical	1	LS			Included above
27 00 00	Communications (Conduit Only)	1	LS			Included above
28 00 00	Electronic Safety and Security	1	LS			Included above
	Canopy Lighting	1	LS			Included above
	Power to Wheelchair Lift	1	LS			Included above

AECOM HUNT**GMP 2**

Project: Scottsdale Stadium Multi-Use Event Center Improvements

Architect: DWL - Populous

Date: May 24, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
Subtotal:	Package 4.4 Charros Lodge	26.00b	Elec, Sec, F. Alarm, Tel		119,026	
	Package 4.5 Right Field Bleachers					
26.00b	Elec, Sec, F. Alarm, Telco		None			No Electrical Scope
26 00 00	Electrical		None			No Electrical Scope
Subtotal:	Package 4.5 Right Field Bleachers	26.00b	Elec, Sec, F. Alarm, Tel		0	
	Package 4.6 Main Entry Plaza					
26.00b	Elec, Sec, F. Alarm, Telco	1	LS	36,148.00	36,148	
26 00 00	Electrical	1	LS			Included above
27 00 00	Communications (Conduit Only)	1	LS			Included above
28 00 00	Electronic Safety and Security	1	LS			Included above
	Canopy Lighting	1	LS			Included above
Subtotal:	Package 4.6 Main Entry Plaza	26.00b	Elec, Sec, F. Alarm, Tel		36,148	
	Package 4.7 Existing Stadium Upgrades					
26.00b	Elec, Sec, F. Alarm, Telco	1	LS	642,212.00	642,212	
26 00 00	Electrical	1	LS			Included above
27 00 00	Communications (Conduit Only)	1	LS			Included above
28 00 00	Electronic Safety and Security	1	LS			Included above
	Existing Fire Alarm Upgrades	1	LS		0	Included above
	Lower Level Locker Rooms - Home & Tunnel	1	LS			Included above
	Lower Level Locker Rooms - Visitor	1	LS			Included above
	Concourse Level Concession	1	LS			Included above
	Stands/Restrooms/Enclosed Areas	1	LS			Included above
	Concourse Level "Under Structure"	1	LS			Included above
	Electrical - Additional Pathways & Power	1	LS		0	Included above
Subtotal:	Package 4.7 Existing Stadium Upgrades	26.00b	Elec, Sec, F. Alarm, Tel		642,212	
TOTAL:	26.00b Elec, Sec, F. Alarm, Telco P3, P4				4,141,817	
	27.00 Audio Video P3 & P4					
	Package 3 Clubhouse Buildout					
27.00	Audio Video	1	LS	444,443.00	444,443	
27 00 00	Audio Video	1	LS			Included above
	Audio Video, Broadcast, Sound System, Distribution System, Related Cabling	1	LS			Included above
Subtotal:	Package 3 Clubhouse Buildout	27.00	Audio Video		444,443	
	Package 4.1 Team Shop Improvements					
27.00	Audio Video	1	LS	8,428.00	8,428	
27 00 00	Audio Video	1	LS			Included above
	Audio Video, Broadcast, Sound System, Distribution System, Related Cabling					
Subtotal:	Package 4.1 Team Shop Improvements	27.00	Audio Video		8,428	
	Package 4.2 Press Club Level					
27.00	Audio Video	1	LS	318,660.00	318,660	
27 00 00	Audio Video	1	LS			Included above

AECOM HUNT**GMP 2**

Project: Scottsdale Stadium Multi-Use Event Center Improvements

Architect: DWL - Populous

Date: May 24, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
	Audio Video, Broadcast, Sound System, Distribution System, Related Cabling Portion of Phase 2 Scope Included on Phase 1 Drawings - Allowance	1 1	LS ALLOW	 156,799.00	 156,799	Included above Allowance
Subtotal:	Package 4.2 Press Club Level	27.00	Audio Video		475,459	
Package 4.3 City & Ticket Offices						
27.00 Audio Video		1	LS	22,431.00	22,431	
27 00 00 Audio Video	Audio Video	1	LS			Included above
	Audio Video, Broadcast, Sound System, Distribution System, Related Cabling	1	LS			Included above
Subtotal:	Package 4.3 City & Ticket Offices	27.00	Audio Video		22,431	
Package 4.4 Charros Lodge						
27.00 Audio Video		1	LS	57,142.00	57,142	
27 00 00 Audio Video	Audio Video	1	LS			Included above
	Sound System, Related Cabling	1	LS			Included above
Subtotal:	Package 4.4 Charros Lodge	27.00	Audio Video		57,142	
Package 4.5 Right Field Bleachers						
27.00 Audio Video			None		0	
27 00 00 Audio Video	Audio Video					Excluded
Subtotal:	Package 4.5 Right Field Bleachers	27.00	Audio Video		0	
Package 4.6 Main Entry Plaza						
27.00 Audio Video		1	LS	1,994.00	1,994	
27 00 00 Audio Video	Audio Video	1	LS			Included above
	Sound System, Related Cabling	1	LS			Included above
Subtotal:	Package 4.6 Main Entry Plaza	27.00	Audio Video		1,994	
Package 4.7 Existing Stadium Upgrades						
27.00 Audio Video		1	LS	99,385.00	99,385	
27 00 00 Audio Video	Audio Video	1	LS			Included above
	Phase 1 Portion of Audio Video, Broadcast, Sound System, Distribution System, Related Cabling	1	LS			Included above
Subtotal:	Package 4.7 Existing Stadium Upgrades	27.00	Audio Video		99,385	
TOTAL:	27.00 Audio Video P3 & P4				1,109,282	
32.30 CL Fences, Tree Grate, Netting, Budgetary Options P1, P2, P3, P4						
Package 1 Site Improvements						
32.30 Chainlink Fences, Tree Grate at RF Bleacher, Mod		1	LS	16,950.00	16,950	
32 30 00 Site Improvements	Site Improvements	1	LS			Included above
	Modify Existing Field Netting - Allowance	1	ALLOW	10,000.00	10,000	Allowance
	Chainlink Fence	1	LS			Included above
	Chainlink Fence Gates	1	LS			Included above
Subtotal:	Package 1 Site Improvements	32.30	Chainlink Fences, Tree G		26,950	

AECOM HUNT**GMP 2**

Project: Scottsdale Stadium Multi-Use Event Center Improvements

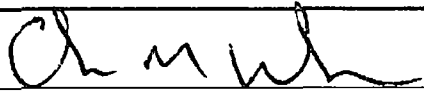
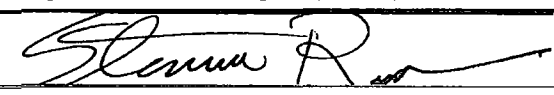
Architect: DWL - Populous

Date: May 24, 2019

MASTER FORMAT CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT	REMARKS
Package 3 Clubhouse Buildout						
32.30 Budgetary Options						
	Budgetary Option #2 Modifications to 2nd Level Clubhouse - Allowance	1	LS	87,700.00	87,700	Allowance
	Budgetary Option #3 Modifications to Managers Office - Allowance	1	LS	8,316.00	8,316	Allowance
	Additional Design Services for Budgetary Option #1-8	1	LS	30,362.00	30,362	
Subtotal:	Package 3 Clubhouse Buildout	32.30 Budgetary Options			126,378	
Package 4.2 Press Club Level						
32.30 Budgetary Options						
	Budgetary Option #1 Modifications to Press Tower Offices - Allowance	1	LS	4,000.00	4,000	Allowance
Subtotal:	Package 4.2 Press Club Level	32.30 Budgetary Options			4,000	
Package 4.5 Right Field Bleachers						
32.30 Chainlink Fences, Tree Grate at RF Bleacher, Modifications						
32 30 00	Site Improvements	1	LS		0	Included above
	Tree Grate System & Any Required Supports - Design to Allowance	1	ALLOW	183,349.00	183,349	Allowance
		1	LS			Included above
Subtotal:	Package 4.5 Right Field Bleachers	32.30 Chainlink Fences, Tree G			183,349	
Package 4.7 Existing Stadium Upgrades						
32.30 Chainlink Fences, Tree Grate at RF Bleacher, Modifications						
		1	None		0	
Subtotal:	Package 4.7 Existing Stadium Upgrades	32.30 Chainlink Fences, Tree G			0	
TOTAL	32.30 Chainlink Fences, Tree Grate, Netting, Budgetary Options P1, P2, P3, P4				340,677	

PROJECT DOCUMENTS

The attached GMP 2 Project Document Log, dated 5/16/2019, lists all of the documents that were used in preparation of this GMP 2 proposal. The documents themselves are also included for reference.

Plans Used for Preparation of GMP No. 2	
	5/17/2019
Design Build Manager (DBM)	Date
	5/17/2019
Design Consultant	Date
City of Scottsdale Project Manager	Date

SCOTTSDALE STADIUM MULTI USE EVENT CENTER

DOCUMENT LOG

PACKAGE 1 / PACKAGE 2
100% CONSTRUCTION DOCUMENTS

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
GENERAL SHEETS			
G000	G INDEX	4/19/19	DELTA 4
G003	AREA OF WORK	1/15/19	100% CONSTRUCTION DOCUMENTS
G008	PROJECT DATA AND GENERAL NOTES	2/18/19	DELTA 2
G009	SYMBOLS AND ABBREVIATIONS	1/15/19	100% CONSTRUCTION DOCUMENTS
G010	CODE ANALYSIS -OVERALL SITE	1/15/19	100% CONSTRUCTION DOCUMENTS
G011	CODE ANALYSIS -STADIUM	2/18/19	DELTA 2
G012	CODE PLANS -EXISTING CLUBHOUSE LEVEL	1/15/19	100% CONSTRUCTION DOCUMENTS
G013	CODE PLANS -STADIUM CONCOURSE	1/15/19	100% CONSTRUCTION DOCUMENTS
G014	CODE PLANS -STADIUM PRESS LEVEL	3/15/19	DELTA 3
G015	CODE ANALYSIS - TICKETING & CITY OFFICES, CHARROS	4/19/19	DELTA 4
G016	CODE ANALYSIS - PRESS LEVEL T.I.	4/19/19	DELTA 4
G020	CODE ANALYSIS -EVENT CENTER	3/15/19	DELTA 3
G021	CODE PLANS -EVENT CENTER	2/18/19	DELTA 2
G022	FIRE RATING DIAGRAM -EVENT CENTER FIRE SEPARATION	2/18/19	DELTA 2
G023	FIRE RATING DIAGRAM -EVENT CENTER FIRST FLOOR	1/15/19	100% CONSTRUCTION DOCUMENTS
G024	FIRE RATING DIAGRAM -EVENT CENTER SECOND FLOOR	1/15/19	100% CONSTRUCTION DOCUMENTS
G025	FIRE RATING DIAGRAM -EVENT CENTER THIRD FLOOR	4/19/19	DELTA 4
G050	FIRE RESISTIVE SYSTEMS NOTES	2/18/19	DELTA 2
G051	FIRE RESISTIVE SYSTEMS	1/15/19	100% CONSTRUCTION DOCUMENTS
G052	FIRE RESISTIVE SYSTEMS	1/15/19	100% CONSTRUCTION DOCUMENTS
G053	FIRE RESISTIVE SYSTEMS	1/15/19	100% CONSTRUCTION DOCUMENTS
G054	FIRE RESISTIVE SYSTEMS	3/15/19	DELTA 3
G110	WALL TYPES	4/19/19	DELTA 4
G111	WALL TYPES	4/19/19	DELTA 4
G112	WALL TYPES	1/15/19	100% CONSTRUCTION DOCUMENTS
G113	WALL TYPES	3/15/19	DELTA 3
G114	WALL TYPES	3/15/19	DELTA 3
G115	STOREFRONT TYPES	4/19/19	DELTA 4
G116	WALL DETAILS	4/19/19	DELTA 4
G117	WALL TYPES	4/19/19	DELTA 4
G118	STOREFRONT DETAILS	4/19/19	DELTA 4
G120	FLOOR TYPES	1/15/19	100% CONSTRUCTION DOCUMENTS
G130	CEILING TYPES	4/19/19	DELTA 4
G131	CEILING TYPES	4/19/19	DELTA 4
G135	CEILING DETAILS	4/19/19	DELTA 4
G150	ROOF TYPES	1/15/19	DELTA 3
G151	ROOF DETAILS	3/15/19	DELTA 3
G152	ROOF DETAILS	2/6/19	ADDENDUM 01
G153	ROOF DETAILS	2/6/19	ADDENDUM 01
G170	DOOR DETAILS	4/19/19	DELTA 4
G200	OVERALL SITE PLAN	4/19/19	DELTA 4
G201	REFERENCE ALTA SURVEY 1 OF 5	2/18/19	DELTA 2
G202	REFERENCE ALTA SURVEY 2 OF 5	2/18/19	DELTA 2
G203	REFERENCE ALTA SURVEY 3 OF 5	2/18/19	DELTA 2
G204	REFERENCE ALTA SURVEY 4 OF 5	2/18/19	DELTA 2
G205	REFERENCE ALTA SURVEY 5 OF 5	2/18/19	DELTA 2
G206	REFERENCE APS DESIGN	4/19/19	DELTA 4
G207	REFERENCE APS DESIGN	4/19/19	DELTA 4

SCOTTSDALE STADIUM MULTI USE EVENT CENTER

DOCUMENT LOG

PACKAGE 1 / PACKAGE 2
100% CONSTRUCTION DOCUMENTS

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
-----------	-------	------------	------------

CIVIL			
PACKAGE 1			
P1-G000	DRAWING INDEX	4/19/19	DELTA 4
P1-C1.1	COVER SHEET	4/19/19	DELTA 4
P1-C1.2	NOTES	2/18/19	DELTA 2
P1-C1.3	KEYMAP	2/18/19	DELTA 2
P1-C2.4	DEMOLITION PLAN	4/19/19	DELTA 4
P1-C2.5	DEMOLITION PLAN	4/19/19	DELTA 4
P1-C2.6	DEMOLITION PLAN	4/19/19	DELTA 4
P1-C3.4	PAVING PLAN	2/18/19	DELTA 2
P1-C3.5	PAVING PLAN	3/15/19	DELTA 3
P1-C3.6	PAVING PLAN	4/19/19	DELTA 4
P1-C4.4	GRADING & DRAINAGE PLAN	2/18/19	DELTA 2
P1-C4.5	GRADING & DRAINAGE PLAN	4/19/19	DELTA 4
P1-C4.6	GRADING & DRAINAGE PLAN	4/19/19	DELTA 4
P1-C4.10	STORM DRAIN PLAN	2/6/19	ADDENDUM 01
P1-C4.11	STORM DRAIN PLAN	3/15/19	DELTA 3
P1-C4.12	STORM DRAIN PLAN	2/18/19	DELTA 2
P1-C5.4	UTILITY PLAN	2/18/19	DELTA 2
P1-C5.5	UTILITY PLAN	4/19/19	DELTA 4
P1-C5.6	UTILITY PLAN	4/19/19	DELTA 4
P1-C5.7	SEWER PLAN & PROFILE	4/19/19	DELTA 4
P1-C6.1	DETAILS	2/18/19	DELTA 2
P1-C7.1	STORM WATER MANAGEMENT PLAN	2/18/19	DELTA 2
P1-C7.2	STORM WATER MANAGEMENT DETAILS	2/18/19	DELTA 2

LANDSCAPE			
PACKAGE 1			
LC1.1	LANDSCAPE COVER	4/19/19	DELTA 4
LP1.1	LANDSCAPE PROTECTION AND REMOVAL - AREA #1	3/15/19	DELTA 3
LP1.2	LANDSCAPE PROTECTION AND REMOVAL AREA #2	3/15/19	DELTA 3
LH1.1	HARDSCAPE P AREA #1	3/15/19	DELTA 3
LH1.2	HARDSCAPE P AREA #2	3/15/19	DELTA 3
LH2.1	HARDSCAPE DETAILS	3/15/19	DELTA 3
LH2.2	HARDSCAPE DETAILS	3/15/19	DELTA 3
LL1.1	LANDSCAPE PLAN AREA #1	4/19/19	DELTA 4
LL1.2	LANDSCAPE PLAN AREA #2	4/19/19	DELTA 4
LL2.1	LANDSCAPE DETAILS	3/15/19	DELTA 3
LI1.1	IRRIGATION PL AREA #1	3/15/19	DELTA 3
LI1.2	IRRIGATION PL AREA #2	3/15/19	DELTA 3
LI2.1	IRRIGATION DETAILS	3/15/19	DELTA 3
LI2-1	IRRIGATION DETAILS	1/15/19	100% CONSTRUCTION DOCUMENTS
LX1.1	HOME PLAT PLAZA BUILD-OUT ALTERNATE PLAN	3/15/19	DELTA 3
LX1.2	HOME PLAT PLAZA BUILD-OUT ALTERNATE PLAN	3/15/19	DELTA 3

ARCHITECTURAL			
PACKAGE 1			
P1-A010	OVERALL SITE DEMOLITION PLAN	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-A011	SITE DEMOLITION PLAN -HOME PLATE PLAZA	2/6/19	ADDENDUM 01
P1-A012	SITE DEMOLITION PLAN -PARKING LOT	4/19/19	DELTA 4
P1-A013	SITE DEMOLITION PLAN -RIGHT FIELD & CHARROS	4/19/19	DELTA 4
P1-A050	OVERALL SITE PLAN	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-A051	SITE PLAN -HOME PLATE PLAZA	2/18/18	DELTA 2
P1-A052	SITE PLAN -CLUB HOUSE PLAZA & PARKING	4/19/19	DELTA 4
P1-A053	SITE PLAN - RIGHT FIELD & CHARROS	2/6/19	ADDENDUM 01
P1-A060	SITE DETAILS	3/15/19	DELTA 3

SCOTTSDALE STADIUM MULTI USE EVENT CENTER

DOCUMENT LOG

PACKAGE 1 / PACKAGE 2

100% CONSTRUCTION DOCUMENTS

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
P1-A061	SITE DETAILS	3/15/19	DELTA 3
P1-A062	SITE DETAILS	4/19/19	DELTA 4
P1-A063	SITE DETAILS	3/15/19	DELTA 3
P1-A064	SITE DETAILS	3/15/19	DELTA 3

STRUCTURAL

PACKAGE 1

P1-S200	PARTIAL (E) FLOOR FRAMING PLAN	2/18/18	DELTA 2
P1-S201	PARTIAL (E) ROOF FRAMING PLAN	2/18/18	DELTA 2
P1-S300	DETAILS	1/15/19	100% CONSTRUCTION DOCUMENTS

MECHANICAL

PACKAGE 1

P1-M001	MECHANICAL GENERAL SHEET	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-M101	MECH DEMO PLAN CONCOURSE AREAS A & B	1/15/19	100% CONSTRUCTION DOCUMENTS

PLUMBING

PACKAGE 1

P1-P001	PLUMBING GENERAL SHEET	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-P101	PLUMBING DEMO PLAN CONCOURSE AREA A	3/15/19	DELTA 3
P1-P102	PLUMBING DEMO PLAN CONCOURSE AREA B	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-P103	PLUMBING DEMO PLAN CONCOURSE AREA F	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-P104	PLUMBING DEMO PLAN CONCOURSE AREA L	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-P105	PLUMBING DEMO PLAN CONCOURSE AREA M	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-P106	PLUMBING DEMO PLAN CONCOURSE AREA N	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-P107	PLUMBING DEMO PLAN CONCOURSE AREA O	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-P108	PLUMBING DEMO PLAN CONCOURSE AREA P	1/15/19	100% CONSTRUCTION DOCUMENTS
PT- P109	PLUMBING DEMO PLAN CONCOURSE MECHANICAL ROOM	1/15/19	100% CONSTRUCTION DOCUMENTS

ELECTRICAL

PACKAGE 1

P1-E001	ELECTRICALS YMBOLS	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E002	FIXTURE SCHEDULE AND NOTES	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E003	PHOTOMETRIC SITE PLAN	2/18/18	DELTA 2
P1-E101	ELECTRICAL DEMOLITION SITE PLAN	3/15/19	DELTA 3
P1-E102	ELECTRICAL SITE PLAN	4/19/19	DELTA 4
P1-E201	ELEC DEMO PLAN CONCOURSE AREA A	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E202	ELEC DEMO PLAN CONCOURSE AREA B	4/19/19	DELTA 4
P1-E203	ELEC DEMO PLAN CONCOURSE AREA E	4/19/19	DELTA 4
P1-E204	ELEC DEMO PLAN CONCOURSE AREA N	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E205	ELEC DEMO PLAN CHARROS AREA F	4/19/19	DELTA 4
P1-E206	ELEC DEMO PLAN CONCOURSE ROOF AREA A	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E207	ELEC DEMO PLAN CONCOURSE ROOF AREA B	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E401	ELEC POWER PLAN CONCOURSE AREA N	2/6/19	ADDENDUM 01
P1-E501	ELECTRICAL ENLARGED POWER PLANS	3/15/19	DELTA 3
P1-E502	ELECTRICAL ENLARGED POWER PLANS	2/18/19	DELTA 2
P1-E601	ELECTRICAL DETAILS	2/18/19	DELTA 2
P1-E801	ELECTRICAL FEEDER SCHEDULE	4/19/19	DELTA 4
P1-E811	ELECTRICAL DEMOLITION ONE-LINE DIAGRAMS	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E812	ELECTRICAL DEMOLITION ONE-LINE DIAGRAMS	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E813	ELECTRICAL DEMOLITION ONE-LINE DIAGRAMS	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E814	ELECTRICAL DEMOLITION ONE-LINE DIAGRAMS	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E821	ELECTRICAL ONE-LINE DIAGRAMS	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E822	ELECTRICAL ONE-LINE DIAGRAMS	2/18/19	DELTA 2
P1-E831	ELECTRICAL ONE-LINE DIAGRAMS	3/15/19	DELTA 3
P1-E832	ELECTRICAL ONE-LINE DIAGRAMS	4/19/19	DELTA 4

SCOTTSDALE STADIUM MULTI USE EVENT CENTER

DOCUMENT LOG

PACKAGE 1 / PACKAGE 2
100% CONSTRUCTION DOCUMENTS

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
P1-E841	ELECTRICAL ONE-LINE DIAGRAMS	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E852	ELECTRICAL ONE-LINE DIAGRAMS	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-E900	ELECTRICAL CALCULATIONS	1/15/19	100% CONSTRUCTION DOCUMENTS

TECHNOLOGY

PACKAGE 1

P1-T101	TECHNOLOGY SITE PLAN	4/19/19	DELTA 4
P1-T201	TECH DEMO PLAN CLUBHOUSE AREA A	1/15/19	100% CONSTRUCTION DOCUMENTS
P1-T202	TECH DEMO PLAN CLUBHOUSE AREA B	1/15/19	100% CONSTRUCTION DOCUMENTS

GENERAL SHEETS

PACKAGE 2

P2-G000	DRAWING INDEX	4/19/19	DELTA 4
---------	---------------	---------	---------

ARCHITECTURAL

PACKAGE 2

P2-A050	OVERALL SITE PLAN	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-A051	P2 CLUBHOUSE OVERALL FIRST FLOOR PLAN	2/18/19	DELTA 2
P2-A052	P2 CLUBHOUSE OVERALL SECOND FLOOR PLAN	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-A053	P2 CLUBHOUSE OVERALL THIRD FLOOR PLAN	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-A200	CLUBHOUSE FIRST FLOOR PLAN AREA A	4/19/19	DELTA 4
P2-A201	CLUBHOUSE FIRST FLOOR PLAN AREA B	4/19/19	DELTA 4
P2-A202	CLUBHOUSE FIRST FLOOR PLAN AREA C	4/19/19	DELTA 4
P2-A203	CLUBHOUSE FIRST FLOOR PLAN AREA D	3/15/19	DELTA 3
P2-A204	CLUBHOUSE SECOND FLOOR PLAN AREA A	3/15/19	DELTA 3
P2-A205	CLUBHOUSE SECOND FLOOR PLAN AREA B	4/19/19	DELTA 4
P2-A206	CLUBHOUSE THIRD FLOOR PLAN AREA A	4/19/19	DELTA 4
P2-A207	CLUBHOUSE THIRD FLOOR PLAN AREA B	4/19/19	DELTA 4
P2-A220	CLUBHOUSE HIGH ROOF PLAN	2/18/19	DELTA 2
P2-A221	CLUBHOUSE LOWER ROOF PLAN	4/19/19	DELTA 4
P2-A222	CLUBHOUSE MULTIUSE ROOF PLAN	4/19/19	DELTA 4
P2-A250	PLAN DETAILS	4/19/19	DELTA 4
P2-A260	CLUBHOUSE BASEMENT	3/15/19	DELTA 3
P2-A261	ENLARGED HYDROTHERAPY PLAN & DETAILS	4/19/19	DELTA 4
P2-A400	CLUBHOUSE EXTERIOR ELEVATIONS	4/19/19	DELTA 4
P2-A401	CLUBHOUSE EXTERIOR ELEVATIONS	3/15/19	DELTA 3
P2-A402	CLUBHOUSE ENLARGED ELEVATIONS AND DETAILS	4/19/19	DELTA 4
P2-A420	BOARDFORM CONC WALL -SO. OF MULTI-USE RM	4/19/19	DELTA 4
P2-A421	BOARDFORM CONC WALL -CLUBHSE ENTRY AREA	4/19/19	DELTA 4
P2-A500	BUILDING SECTIONS	2/18/19	DELTA 2
P2-A501	BUILDING SECTIONS	4/19/19	DELTA 4
P2-A502	BUILDING SECTIONS	4/19/19	DELTA 4
P2-A520	CLUBHOUSE WALL SECTIONS	2/18/19	DELTA 2
P2-A521	CLUBHOUSE WALL SECTIONS	3/15/19	DELTA 3
P2-A522	CLUBHOUSE WALL SECTIONS	3/15/19	DELTA 3
P2-A523	CLUBHOUSE WALL SECTIONS MULTIUSE ROOM	4/19/19	DELTA 4
P2-A550	CLUBHOUSE WALL SECTION DETAILS	2/18/19	DELTA 2
P2-A551	CLUBHOUSE WALL SECTION DETAILS	2/18/19	DELTA 2
P2-A552	CLUBHOUSE WALL SECTION DETAILS	4/19/19	DELTA 4
P2-A553	CLUBHOUSE WALL SECTION DETAILS	4/19/19	DELTA 4
P2-A560	DETAILS	4/19/19	DELTA 4
P2-A600	STAIR 2 ENLARGED PLANS AND SECTIONS	3/15/19	DELTA 3
P2-A601	STAIR 3 ENLARGED PLANS AND SECTIONS	3/15/19	DELTA 3
P2-A602	ELEVATOR DETAILS	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-A603	STAIR DETAILS	2/18/19	DELTA 2
P2-A604	STAIR DETAILS	4/19/19	DELTA 4

SCOTTSDALE STADIUM MULTI USE EVENT CENTER

DOCUMENT LOG

PACKAGE 1 / PACKAGE 2
100% CONSTRUCTION DOCUMENTS

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
P2-A700	DOOR SCHEDULE	4/19/19	DELTA 4
P2-A701	INTERIOR STOREFRONT ELEVATIONS	4/19/19	DELTA 4

STRUCTURAL
PACKAGE 2

P2-S100	GENERAL STRUCTURAL NOTES	4/19/19	DELTA 4
P2-S101	GENERAL STRUCTURAL NOTES (CONT)	2/18/19	DELTA 2
P2-S102	TABLES	2/18/19	DELTA 2
P2-S103	TYPICAL DETAILS - CONCRETE	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-S104	TYPICAL DETAILS - CONCRETE	2/18/19	DELTA 2
P2-S105	TYPICAL DETAILS - CMU	2/18/19	DELTA 2
P2-S106	TYPICAL DETAILS - METAL STUDS	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-S107	TYPICAL DETAILS - STEEL	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-S108	TYPICAL DETAILS - STEEL	4/19/19	DELTA 4
P2-S109	TYPICAL DETAILS - STEEL	4/19/19	DELTA 4
P2-S110	SCHEDULES	2/18/19	DELTA 2
P2-S150	CLUBHOUSE - BASEMENT LEVEL FOUNDATION PLAN - AREA A	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-S200	CLUBHOUSE - FOUNDATION PLAN - AREA A	4/19/19	DELTA 4
P2-S201	CLUBHOUSE - FOUNDATION PLAN - AREA B	4/19/19	DELTA 4
P2-S202	CLUBHOUSE - FOUNDATION PLAN - AREA C	4/19/19	DELTA 4
P2-S203	CLUBHOUSE - FOUNDATION PLAN - AREA D	4/19/19	DELTA 4
P2-S220	CLUBHOUSE - 2nd FLOOR/LOW ROOF FRAMING PLAN - AREA A	4/19/19	DELTA 4
P2-S221	CLUBHOUSE - 2nd FLOOR/LOW ROOF FRAMING PLAN - AREA B	4/19/19	DELTA 4
P2-S222	CLUBHOUSE - 3rd FLOOR FRAMING PLAN - AREA A & B	4/19/19	DELTA 4
P2-S223	CLUBHOUSE - HIGH ROOF FRAMING PLAN - AREA A & B	4/19/19	DELTA 4
P2-S224	CLUBHOUSE - LOW ROOF FRAMING PLAN - AREA C & D	4/19/19	DELTA 4
P2-S225	CLUBHOUSE - HIGH ROOF FRAMING PLAN - AREA C & D	4/19/19	DELTA 4
P2-S300	ENLARGED FOUNDATION & FRAMING PLANS	2/18/19	DELTA 2
P2-S301	FOUNDATION DETAILS	2/18/19	DELTA 2
P2-S302	FOUNDATION DETAILS	2/18/19	DELTA 2
P2-S400	FOUNDATION DETAILS	4/19/19	DELTA 4
P2-S401	FOUNDATION DETAILS	4/19/19	DELTA 4
P2-S500	FLOOR FRAMING DETAILS	4/19/19	DELTA 4
P2-S501	FLOOR FRAMING DETAILS	4/19/19	DELTA 4
P2-S600	ROOF FRAMING DETAILS	4/19/19	DELTA 4
P2-S601	ROOF FRAMING DETAILS	4/19/19	DELTA 4
P2-S602	ROOF FRAMING DETAILS	4/19/19	DELTA 4
P2-S700	TILT PANEL DETAILS	4/19/19	DELTA 4
P2-S701	TILT PANEL ELEVATIONS	4/19/19	DELTA 4
P2-S702	TILT PANEL ELEVATIONS	4/19/19	DELTA 4

MECHANICAL
PACKAGE 2

P2-M001	MECHANICAL GENERAL SHEET	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-M201	MECH HVAC PLAN CLUBHOUSE FIRST FLOOR	3/15/19	DELTA 3
P2-M202	MECH HVAC PLAN CLUBHOUSE FIRST FLOOR AREA R	4/19/19	DELTA 4
P2-M203	MECH HVAC PLAN CLUBHOUSE FIRST FLOOR AREA R	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-M204	MECH HVAC PLAN CLUBHOUSE FIRST FLOOR AREA H	4/19/19	DELTA 4
P2-M205	MECH HVAC PLAN CLUBHOUSE SECOND FLOOR AREA A & B	3/15/19	DELTA 3
P2-M206	MECH HVAC PLAN CLUBHOUSE THIRD FLOOR AREA A & RA	3/15/19	DELTA 3
P2-M401	MECHANICAL DIAGRAM	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-M701	MECHANICAL SCHEDULES	1/15/19	100% CONSTRUCTION DOCUMENTS

PLUMBING
PACKAGE 2

P2-P001	PLUMBING GENERAL SHEET	4/19/19	DELTA 4
---------	------------------------	---------	---------

SCOTTSDALE STADIUM MULTI USE EVENT CENTER

DOCUMENT LOG

PACKAGE 1 / PACKAGE 2

100% CONSTRUCTION DOCUMENTS

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
P2-P201	PLUMBING DRAINAGE PLAN CLUBHOUSE C&S AREA A	4/19/19	DELTA 4
P2-P202	PLUMBING DRAINAGE PLAN CLUBHOUSE C&S AREA B	4/19/19	DELTA 4
P2-P203	PLUMBING DRAINAGE PLAN CLUBHOUSE C&S AREA C	4/19/19	DELTA 4
P2-P204	PLUMBING DRAINAGE PLAN CLUBHOUSE C&S AREA D	4/19/19	DELTA 4
P2-P205	PLUMBING WATER PLAN CLUBHOUSE C&S AREA A	2/18/19	DELTA 2
P2-P206	PLUMBING WATER PLAN CLUBHOUSE C&S AREA B	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-P207	PLUMBING WATER PLAN CLUBHOUSE C&S AREA D	4/19/19	DELTA 4
P2-P208	PLUMBING WATER PLAN CLUBHOUSE C&S AREA D	3/15/19	DELTA 3

ELECTRICAL

PACKAGE 2

P2-E001	ELECTRICAL SYMBOLS	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-E002	FIXTURE SCHEDULE AND NOTES	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-E101	ELECTRICAL PARTIAL SITE PLAN	4/19/19	DELTA 4
P2-E601	ELECTRICAL DETAILS	4/19/19	DELTA 4
P2-E801	ELECTRICAL FEEDER SCHEDULE	4/19/19	DELTA 4
P2-E831	ELECTRICAL ONE-LINE DIAGRAMS	4/19/19	DELTA 4
P2-E832	ELECTRICAL ONE-LINE DIAGRAMS	4/19/19	DELTA 4
P2-E852	ELECTRICAL ONE-LINE DIAGRAMS	1/15/19	100% CONSTRUCTION DOCUMENTS

TECHNOLOGY

PACKAGE 2

P2-T001	TECH GENERAL SHEET	3/15/19	DELTA 3
P2-T301	TECH C&S PLAN CLUBHOUSE FIRST FLOOR AREA A	4/19/19	DELTA 4
P2-T302	TECH C&S PLAN CLUBHOUSE FIRST FLOOR AREA B	1/15/19	100% CONSTRUCTION DOCUMENTS
P2-T303	TECH C&S PLAN CLUBHOUSE FIRST FLOOR AREA C	3/15/19	DELTA 3
P2-T304	TECH C&S PLAN CLUBHOUSE FIRST FLOOR AREA D	4/19/19	DELTA 4

SCOTTSDALE STADIUM MULTI USE EVENT CENTER

DOCUMENT LOG

PACKAGE 3 / PACKAGE 4
100% CONSTRUCTION DOCUMENTS

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
GENERAL SHEETS			
PACKAGE 3			
P3	COVER SHEET	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-G000	DRAWING INDEX	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-G001	DRAWING INDEX	4/15/19	100% CONSTRUCTION DOCUMENTS
ARCHITECTURALS			
PACKAGE 3			
P3-A050	OVERALL SITE PLAN	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A051	P3 CLUBHOUSE OVERALL FIRST FLOOR PLAN	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A052	P3 CLUBHOUSE OVERALL SECOND FLOOR PLAN	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A053	P3 CLUBHOUSE THIRD FLOOR OVERALL PLAN	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A200	CLUBHOUSE FIRST FLOOR PLAN AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A200D	CLUBHOUSE FIRST FLOOR DIMENSION PLAN AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A201	CLUBHOUSE FIRST FLOOR PLAN AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A201D	CLUBHOUSE FIRST FLOOR DIMENSION PLAN AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A202	CLUBHOUSE FIRST FLOOR PLAN AREA C	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A202D	CLUBHOUSE FIRST FLOOR DIMENSION PLAN AREA C	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A203	CLUBHOUSE FIRST FLOOR PLAN AREA D	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A203D	CLUBHOUSE FIRST FLOOR DIMENSION PLAN AREA D	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A204	CLUBHOUSE SECOND FLOOR PLAN AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A204D	CLUBHOUSE SECOND FLOOR DIMENSION PLAN AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A205	CLUBHOUSE SECOND FLOOR PLAN AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A205D	CLUBHOUSE SECOND FLOOR DIMENSION PLAN AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A206	CLUBHOUSE THIRD FLOOR PLAN AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A206D	CLUBHOUSE THIRD FLOOR DIMENSION PLAN AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A207	CLUBHOUSE THIRD FLOOR PLAN AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A207D	CLUBHOUSE THIRD FLOOR DIMENSION PLAN AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A260	HYDROTHERAPY PIT	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A261	ENLARGED HYDROTHERAPY PLAN & DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A300	CLUBHOUSE FIRST FLOOR RCP AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A301	CLUBHOUSE FIRST FLOOR RCP AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A302	CLUBHOUSE FIRST FLOOR RCP AREA C	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A303	CLUBHOUSE FIRST FLOOR RCP AREA D	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A304	CLUBHOUSE SECOND FLOOR RCP AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A305	CLUBHOUSE SECOND FLOOR RCP AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A306	CLUBHOUSE THIRD FLOOR RCP AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A307	CLUBHOUSE THIRD FLOOR RCP AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A350	CEILING DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A500	BUILDING SECTIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A501	BUILDING SECTIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A551	PARTITION DOOR DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A651	RESTROOM MOUNTING DIMENSIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A652	TOILET STALL TYPES	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A653	ENLARGED RESTRM PLANS -FIRST FLOOR	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A654	ENLARGED RESTRM PLANS -FIRST FLOOR	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A655	ENLARGED RESTRM PLANS -FIRST FLOOR	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A656	ENLARGED RESTRM PLANS -FIRST FLOOR	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A657	ENLARGED RESTRM PLANS -FIRST FLOOR	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A658	ENLARGED RESTRM PLANS -SECOND/THIRDFLOOR	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A661	RR INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A662	RR INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A663	RR INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A664	RR INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A665	RR INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A666	RR INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS

SCOTTSDALE STADIUM MULTI USE EVENT CENTER

DOCUMENT LOG

PACKAGE 3 / PACKAGE 4
100% CONSTRUCTION DOCUMENTS

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
P3-A667	RR INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A671	RR DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A700	DOOR SCHEDULE	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A800	CLUBHOUSE GENERAL NOTES AND MATERIAL SCHEDULE	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A801	CLUBHOUSE FIRST FLOOR FINISH PLAN OVERALL	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A802	CLUBHOUSE FIRST FLOOR FINISH PLAN AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A803	CLUBHOUSE FIRST FLOOR FINISH PLAN AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A804	CLUBHOUSE FIRST FLOOR FINISH PLAN AREA C	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A805	CLUBHOUSE FIRST FLOOR FINISH PLAN AREA D	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A806	CLUBHOUSE SECOND FLOOR FINISH PLAN	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A807	CLUBHOUSE THIRD FLOOR FINISH PLAN	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A810	INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A811	INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A812	INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A813	INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A814	INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A815	INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A816	INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A817	INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A818	INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A819	INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A820	INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A821	INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A822	INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A823	INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A824	INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A844	P3 CLUBHOUSE FIRST FLOOR PLAN NORTH FFE	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A847	P3 CLUBHOUSE OVERALL FIRST FLOOR PLAN FFE	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A848	P3 CLUBHOUSE OVERALL SECOND FLOOR PLAN FFE	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A849	P3 CLUBHOUSE OVERALL THIRD FLOOR PLAN FFE	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A850	CLUBHOUSE FIRST FLOOR PLAN SOUTH FFE	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A851	CLUBHOUSE FIRST FLOOR PLAN AREA B FFE	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A852	CLUBHOUSE FIRST FLOOR PLAN AREA C FFE	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A853	CLUBHOUSE FIRST FLOOR PLAN AREA D FFE	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A854	CLUBHOUSE SECOND FLOOR PLAN AREA A FFE	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A855	CLUBHOUSE SECOND FLOOR PLAN AREA B FFE	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A856	CLUBHOUSE THIRD FLOOR PLAN AREA A FFE	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A857	CLUBHOUSE THIRD FLOOR PLAN AREA B FFE	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A860	LOCKER DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A861	LOCKER ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A862	MILLWORK	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A863	MILLWORK	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A865	DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A866	DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-A867	DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS

MECHANICAL

PACKAGE 3

P3-M001	MECHANICAL GENERAL SHEET	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-M200	MECH PLAN CLUBHOUSE BASEMENT	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-M201	MECH HVAC PLAN CLUBHOUSE FIRST FLOOR AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-M202	MECH HVAC PLAN CLUBHOUSE FIRST FLOOR AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-M203	MECH HVAC PLAN CLUBHOUSE FIRST FLOOR AREA C	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-M204	MECH HVAC PLAN CLUBHOUSE FIRST FLOOR AREA D	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-M205	MECH HVAC PLAN CLUBHOUSE SECOND FLOOR AREAS A & B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-M206	MECH HVAC PLAN CLUBHOUSE THIRD FLOOR AREAS A & B	4/15/19	100% CONSTRUCTION DOCUMENTS

SCOTTSDALE STADIUM MULTI USE EVENT CENTER

DOCUMENT LOG

PACKAGE 3 / PACKAGE 4
100% CONSTRUCTION DOCUMENTS

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
P3-M301	MECH PIPING CLUBHOUSE FIRST FLOOR AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-M302	MECH PIPING CLUBHOUSE FIRST FLOOR AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-M303	MECH PIPING CLUBHOUSE FIRST FLOOR AREA C	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-M304	MECH PIPING CLUBHOUSE FIRST FLOOR AREA D	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-M305	MECH PIPING CLUBHOUSE SECOND FLOOR AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-M306	MECH PIPING CLUBHOUSE SECOND FLOOR AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-M307	MECH PIPING CLUBHOUSE THIRD FLOOR AREA A&B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-M401	MECHANICAL SCHEMATICS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-M402	MECHANICAL SCHEMATICS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-M403	MECHANICAL ENLARGED PLANS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-M404	MECHANICAL ENLARGED PLANS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-M501	MECHANICAL CONTROLS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-M502	MECHANICAL CONTROLS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-M503	MECHANICAL CONTROLS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-M601	MECHANICAL DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-M602	MECHANICAL DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-M603	MECHANICAL DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-M604	MECHANICAL DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-M701	MECHANICAL SCHEDULES	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-M702	MECHANICAL SCHEDULES	4/15/19	100% CONSTRUCTION DOCUMENTS

PLUMBING
PACKAGE 3

P3-P001	PLUMBING GENERAL SHEET	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P002	PLUMBING GENERAL SHEET	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P201	PLUMBING DRAIN. CLUBHOUSE FIRST FLOOR AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P202	PLUMBING DRAIN. CLUBHOUSE FIRST FLOOR AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P203	PLUMBING DRAIN. CLUBHOUSE FIRST FLOOR AREA C	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P204	PLUMBING DRAIN. CLUBHOUSE FIRST FLOOR AREA D	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P205	PLUMBING DRAIN. CLUBHOUSE SECOND FLOOR AREA A & B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P206	PLUMBING DRAIN. CLUBHOUSE THIRD FLOOR AREA A & B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P207	PLUMBING DRAIN. CLUBHOUSE ROOF AREA A & B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P208	PLUMBING DRAIN. CLUBHOUSE ROOF AREA C & D	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P301	PLUMBING CLUBHOUSE FIRST FLOOR AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P302	PLUMBING CLUBHOUSE FIRST FLOOR AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P303	PLUMBING CLUBHOUSE FIRST FLOOR AREA C	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P304	PLUMBING CLUBHOUSE FIRST FLOOR AREA D	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P305	PLUMBING CLUBHOUSE SECOND FLOOR AREA A & B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P306	PLUMBING CLUBHOUSE THIRD FLOOR AREA A & B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P401	PLUMBING ENLARGED PLANS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P402	PLUMBING ENLARGED PLANS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P403	PLUMBING WASTE SCHEMATIC -AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P404	PLUMBING WASTE SCHEMATIC -AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P405	PLUMBING WASTE SCHEMATIC -AREA C	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P406	PLUMBING WASTE SCHEMATICS -KITCHEN	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P407	PLUMBING WATER SCHEMATIC -AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P408	PLUMBING WATER SCHEMATIC -AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P409	PLUMBING WATER SCHEMATIC -AREA C	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P410	PLUMBING WATER SCHEMATIC -2ND AND 3RD FLOOR	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P411	PLUMBING WATER SCHEMATIC -KITCHEN	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P412	PLUMBING SCHEMATICS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P501	PLUMBING DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-P601	PLUMBING SCHEDULES	4/15/19	100% CONSTRUCTION DOCUMENTS

SCOTTSDALE STADIUM MULTI USE EVENT CENTER

DOCUMENT LOG

PACKAGE 3 / PACKAGE 4
100% CONSTRUCTION DOCUMENTS

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
ELECTRICAL			
PACKAGE 3			
P3-E001	ELECTRICAL SYMBOLS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E002	FIXTURE SCHEDULE AND NOTES	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E003	COMCHECK	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E101	ELECTRICAL PARTIAL SITE PLAN	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E301	ELEC LTG PLAN CLUBHOUSE FIRST FLOOR AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E302	ELEC LTG PLAN CLUBHOUSE FIRST FLOOR AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E303	ELEC LTG PLAN CLUBHOUSE FIRST FLOOR AREA C	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E304	ELEC LTG PLAN CLUBHOUSE FIRST FLOOR AREA D	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E305	ELEC LTG PLAN CLUBHOUSE SECOND FLOOR AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E306	ELEC LTG PLAN CLUBHOUSE SECOND FLOOR AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E307	ELEC LTG PLAN CLUBHOUSE SECOND FLOOR AREA C	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E308	ELEC LTG PLAN CLUBHOUSE SECOND FLOOR AREA D	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E309	ELEC LTG PLAN CLUBHOUSE THIRD FLOOR AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E310	ELEC LTG PLAN CLUBHOUSE THIRD FLOOR AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E401	ELEC PWR PLAN CLUBHOUSE FIRST FLOOR AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E402	ELEC PWR PLAN CLUBHOUSE FIRST FLOOR AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E403	ELEC PWR PLAN CLUBHOUSE FIRST FLOOR AREA C	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E404	ELEC PWR PLAN CLUBHOUSE FIRST FLOOR AREA D	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E405	ELEC PWR PLAN CLUBHOUSE SECOND FLOOR AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E406	ELEC PWR PLAN CLUBHOUSE SECOND FLOOR AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E407	ELEC PWR PLAN CLUBHOUSE SECOND FLOOR AREA C	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E408	ELEC PWR PLAN CLUBHOUSE SECOND FLOOR AREA D	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E409	ELECTRICAL PWR PLAN CLUBHOUSE THIRD FLOOR AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E410	ELEC PWR PLAN CLUBHOUSE THIRD FLOOR AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E501	ELECTRICAL ENLARGED POWER PLANS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E502	ELECTRICAL ENLARGED POWER PLANS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E503	ELECTRICAL ENLARGED POWER PLANS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E601	ELECTRICAL DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E602	ELECTRICAL DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E603	ELECTRICAL DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E604	ELECTRICAL DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E701	ELECTRICAL DIAGRAMS AND SCHEMATICS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E801	ELECTRICAL FEEDER SCHEDULE	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E831	ELECTRICAL ONE-LINE DIAGRAMS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E832	ELECTRICAL ONE-LINE DIAGRAMS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E852	ELECTRICAL ONE-LINE DIAGRAMS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E901	ELECTRICAL EQUIPMENT SCHEDULE	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E902	ELECTRICAL EQUIPMENT SCHEDULE	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E903	ELECTRICAL CALCULATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E904	ELECTRICAL CALCULATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E905	ELECTRICAL CALCULATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E910	ELECTRICAL PANEL SCHEDULES	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E911	ELECTRICAL PANEL SCHEDULES	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E912	ELECTRICAL PANEL SCHEDULES	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E913	ELECTRICAL PANEL SCHEDULES	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-E914	ELECTRICAL PANEL SCHEDULES	4/15/19	100% CONSTRUCTION DOCUMENTS

FIRE ALARM			
PACKAGE 3			
P3-FA001	FIRE ALARM GENERAL SHEET	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-FA201	FIRE ALARM PLAN NEW CLUBHOUSE FIRST FLOOR AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-FA202	FIRE ALARM PLAN NEW CLUBHOUSE FIRST FLOOR AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-FA203	FIRE ALARM PLAN NEW CLUBHOUSE FIRST FLOOR AREA C	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-FA204	FIRE ALARM PLAN NEW CLUBHOUSE FIRST FLOOR AREA D	4/15/19	100% CONSTRUCTION DOCUMENTS

SCOTTSDALE STADIUM MULTI USE EVENT CENTER

DOCUMENT LOG

PACKAGE 3 / PACKAGE 4

100% CONSTRUCTION DOCUMENTS

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
P3-FA205	FIRE ALARM PLAN NEW CLUBHOUSE SECOND FLOOR AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-FA206	FIRE ALARM PLAN NEW CLUBHOUSE SECOND FLOOR AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-FA207	FIRE ALARM PLAN NEW CLUBHOUSE THIRD FLOOR AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-FA208	FIRE ALARM PLAN NEW CLUBHOUSE THIRD FLOOR AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-FA601	FIRE ALARM RISER DIAGRAM	4/15/19	100% CONSTRUCTION DOCUMENTS

FIRE SUPPRESSION

PACKAGE 3

P3-FS001	FIRE SUPPR. GENERAL SHEET	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-FS201	FIRE SUPPR. CLUBHOUSE FIRST FLOOR AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-FS202	FIRE SUPPR. CLUBHOUSE FIRST FLOOR AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-FS203	FIRE SUPPR. CLUBHOUSE FIRST FLOOR AREA C	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-FS204	FIRE SUPPR. CLUBHOUSE FIRST FLOOR AREA D	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-FS205	FIRE SUPPR. CLUBHOUSE SECOND FLOOR AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-FS206	FIRE SUPPR. CLUBHOUSE SECOND FLOOR AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-FS207	FIRE SUPPR. CLUBHOUSE THIRD FLOOR AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-FS208	FIRE SUPPR. CLUBHOUSE THIRD FLOOR AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS

TECHNOLOGY

PACKAGE 3

P3-T001	TECH GENERAL SHEET	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-T101	TECHNOLOGY SITE PLAN -PARKING LOT	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-T301	TECH CLUBHOUSE INTERIOR FIRST FLOOR AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-T302	TECH CLUBHOUSE INTERIOR FIRST FLOOR AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-T303	TECH CLUBHOUSE INTERIOR FIRST FLOOR AREA C	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-T304	TECH CLUBHOUSE INTERIOR FIRST FLOOR AREA D	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-T306	TECH CLUBHOUSE INTERIOR SECOND FLOOR AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-T310	TECH CLUBHOUSE INTERIOR THIRD FLOOR AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-T311	TECH CLUBHOUSE RCP FIRST FLOOR AREA A	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-T312	TECH CLUBHOUSE RCP FIRST FLOOR AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-T313	TECH CLUBHOUSE RCP FIRST FLOOR AREA C	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-T314	TECH CLUBHOUSE RCP FIRST FLOOR AREA D	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-T316	TECH CLUBHOUSE RCP SECOND FLOOR AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-T318	TECH CLUBHOUSE RCP THIRD FLOOR AREA B	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-T401	IDF 156 PLAN AND DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-T501	TECH SYSTEMS DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-T502	TECH SYSTEMS DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-T503	TECH SYSTEMS DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS

FOOD SERVICE

PACKAGE 3

QF000-1	Index Sheet	4/15/19	100% CONSTRUCTION DOCUMENTS
QF100-1	Foodservice Key Plan	4/15/19	100% CONSTRUCTION DOCUMENTS
QF400-1	Foodservice Equipment Plan	4/15/19	100% CONSTRUCTION DOCUMENTS
QF400-2	Foodservice Utility Schedule	4/15/19	100% CONSTRUCTION DOCUMENTS
QF400-2A	Foodservice Utility Schedule	4/15/19	100% CONSTRUCTION DOCUMENTS
QF400-3	Foodservice Building Conditions & Ventilation Plan	4/15/19	100% CONSTRUCTION DOCUMENTS
QF400-4	Foodservice Plumbing Plan	4/15/19	100% CONSTRUCTION DOCUMENTS
QF400-5	Foodservice Electrical Plan	4/15/19	100% CONSTRUCTION DOCUMENTS
QF500-1	Foodservice Elevation Key Plan	4/15/19	100% CONSTRUCTION DOCUMENTS
QF500-2	Foodservice Elevations	4/15/19	100% CONSTRUCTION DOCUMENTS
QF500-3	Foodservice Elevations	4/15/19	100% CONSTRUCTION DOCUMENTS
QF501-1	Foodservice Details	4/15/19	100% CONSTRUCTION DOCUMENTS
QF501-2	Foodservice Details	4/15/19	100% CONSTRUCTION DOCUMENTS
QF501-3	Foodservice Details	4/15/19	100% CONSTRUCTION DOCUMENTS
QF501-4	Foodservice Details	4/15/19	100% CONSTRUCTION DOCUMENTS

SCOTTSDALE STADIUM MULTI USE EVENT CENTER

DOCUMENT LOG

PACKAGE 3 / PACKAGE 4

100% CONSTRUCTION DOCUMENTS

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
QF501-5	Foodservice Details	4/15/19	100% CONSTRUCTION DOCUMENTS
QF700-1	Foodservice Refrigeration System Details	4/15/19	100% CONSTRUCTION DOCUMENTS
QF701-1	Foodservice Walk-In Refrigerator Details	4/15/19	100% CONSTRUCTION DOCUMENTS
QF702-1	Foodservice Exhaust Hoods Make-Up Air Planning Guide	4/15/19	100% CONSTRUCTION DOCUMENTS
QF702-2	Foodservice Exhaust Hood Detail	4/15/19	100% CONSTRUCTION DOCUMENTS
QF702-3	Foodservice Exhaust Hood Detail	4/15/19	100% CONSTRUCTION DOCUMENTS

FOODSERVICE

PACKAGE 3

P3-G000	DRAWING INDEX	4/16/19	100% CONSTRUCTION DOCUMENTS
P3-G001	DRAWING INDEX	4/16/19	100% CONSTRUCTION DOCUMENTS
AV000	GENERAL NOTES AND LEGENDS	4/16/19	100% CONSTRUCTION DOCUMENTS
AV001	GENERAL NOTES AND LEGENDS	4/16/19	100% CONSTRUCTION DOCUMENTS
AV101	OVERALL SITE PLAN	4/16/19	100% CONSTRUCTION DOCUMENTS
P3-AV200	CLUBHOUSE FIRST FLOOR AREA A	4/16/19	100% CONSTRUCTION DOCUMENTS
P3-AV201	CLUBHOUSE FIRST FLOOR AREA B	4/16/19	100% CONSTRUCTION DOCUMENTS
P3-AV202	CLUBHOUSE FIRST FLOOR AREA C	4/16/19	100% CONSTRUCTION DOCUMENTS
P3-AV203	CLUBHOUSE FIRST FLOOR AREA D	4/16/19	100% CONSTRUCTION DOCUMENTS
P3-AV204	CLUBHOUSE SECOND FLOOR AREA A	4/16/19	100% CONSTRUCTION DOCUMENTS
P3-AV205	CLUBHOUSE SECOND FLOOR AREA B	4/16/19	100% CONSTRUCTION DOCUMENTS
P3-AV206	CLUBHOUSE THIRD FLOOR AREA A	4/16/19	100% CONSTRUCTION DOCUMENTS
P3-AV207	CLUBHOUSE THIRD FLOOR AREA B	4/16/19	100% CONSTRUCTION DOCUMENTS
P3-AV300	CLUBHOUSE FIRST FLOOR RCP AREA A	4/16/19	100% CONSTRUCTION DOCUMENTS
P3-AV301	CLUBHOUSE FIRST FLOOR RCP AREA B	4/16/19	100% CONSTRUCTION DOCUMENTS
P3-AV302	CLUBHOUSE FIRST FLOOR RCP AREA C	4/16/19	100% CONSTRUCTION DOCUMENTS
P3-AV303	CLUBHOUSE FIRST FLOOR RCP AREA D	4/16/19	100% CONSTRUCTION DOCUMENTS
P3-AV304	CLUBHOUSE SECOND FLOOR RCP AREA A	4/16/19	100% CONSTRUCTION DOCUMENTS
P3-AV305	CLUBHOUSE SECOND FLOOR RCP AREA B	4/16/19	100% CONSTRUCTION DOCUMENTS
P3-AV306	CLUBHOUSE THIRD FLOOR RCP AREA A	4/16/19	100% CONSTRUCTION DOCUMENTS
P3-AV307	CLUBHOUSE THIRD FLOOR RCP AREA B	4/16/19	100% CONSTRUCTION DOCUMENTS
P3-AV401	ENLARGED PLANS	4/16/19	100% CONSTRUCTION DOCUMENTS
P3-AV501	SECTIONS	4/16/19	100% CONSTRUCTION DOCUMENTS
P3-AV502	SECTIONS	4/16/19	100% CONSTRUCTION DOCUMENTS
P3-AV601	ELEVATIONS	4/16/19	100% CONSTRUCTION DOCUMENTS

ARCHITECTURAL DEMOLITION

PACKAGE 4

P4	COVER SHEET DEMOLITION	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-G000	INDEX	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-A014	CONCOURSE LEVEL DEMOLITION PLAN AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-A016	CONCOURSE LEVEL DEMOLITION PLAN AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-A017	PRESS LEVEL DEMOLITION PLAN AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-A018	PRESS LEVEL DEMOLITION PLAN AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-A019	PRESS LEVEL DEMOLITION PLAN AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-A032	CONCOURSE LEVEL DEMOLITION RCP AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-A034	CONCOURSE LEVEL DEMOLITION RCP AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-A035	PRESS LEVEL DEMOLITION RCP AREA N	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-A036	PRESS LEVEL DEMOLITION RCP AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-A037	PRESS LEVEL DEMOLITION RCP AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-A038	PRESS LEVEL DEMOLITION RCP AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-A040	CITY OFFICES DEMOLITION ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS

MECHANICAL DEMOLITION

PACKAGE 4

P4-M001	MECHANICAL GENERAL SHEET	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-M101	MECH DEMO PLAN CONCOURSE AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS

SCOTTSDALE STADIUM MULTI USE EVENT CENTER

DOCUMENT LOG

PACKAGE 3 / PACKAGE 4

100% CONSTRUCTION DOCUMENTS

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
P4-M102	MECH DEMO PLAN PRESS AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-M103	MECH DEMO PLAN PRESS AREA O & P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-M104	MECH DEMO PLAN ROOF AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-M105	MECH DEMO PLAN ROOF AREA O & P	4/15/19	100% CONSTRUCTION DOCUMENTS

PLUMBING DEMOLITION

PACKAGE 4

P4-P001	PLUMBING GENERAL SHEET	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-P101	PLUMBING DEMO PLAN PRESS AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-P102	PLUMBING DEMO PLAN PRESS AREA N & O	4/15/19	100% CONSTRUCTION DOCUMENTS

ELECTRICAL DEMOLITION

PACKAGE 4

P4-E001	ELECTRICAL SYMBOLS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-E002	FIXTURE SCHEDULE AND NOTES	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-E201	ELEC DEMO PLAN EXST HOME CLUBHOUSE AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-E202	ELEC DEMO PLAN CONCOURSE AREA L	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-E203	ELEC DEMO PLAN CONCOURSE AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-E204	ELEC DEMO PLAN CONCOURSE AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-E205	ELEC DEMO POWER PLAN PRESS AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-E206	ELEC DEMO PLAN PRESS AREA N	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-E207	ELEC DEMO PLAN PRESS AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-E208	ELEC DEMO PLAN PRESS AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-E209	ELEC DEMO PLAN PRESS ROOF AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-E210	ELEC DEMO PLAN PRESS ROOF AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-E811	ELECTRICAL DEMOLITION ONE-LINE DIAGRAMS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-E812	ELECTRICAL DEMOLITION ONE-LINE DIAGRAMS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-E813	ELECTRICAL DEMOLITION ONE-LINE DIAGRAMS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-E815	ELECTRICAL DEMOLITION ONE-LINE DIAGRAMS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-E816	ELECTRICAL DEMOLITION ONE-LINE DIAGRAMS	4/15/19	100% CONSTRUCTION DOCUMENTS

TECHNOLOGY DEMOLITION

PACKAGE 4

P4-T201	TECH INTERIOR DEMO CONCOURSE AREA L	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-T202	TECH INTERIOR DEMO CONCOURSE AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-T203	TECH INTERIOR DEMO CONCOURSE AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-T204	TECH INTERIOR DEMO CONCOURSE AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-T205	TECH DEMO PRESS AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-T206	TECH DEMO PRESS AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-T207	TECH DEMO CHARROS AREA F	4/15/19	100% CONSTRUCTION DOCUMENTS

STRUCTURAL

PACKAGE 4.1

P4.1	COVER SHEET	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.1-G000	DRAWING INDEX	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.1-S100	GENERAL STRUCTURAL NOTES	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.1-S101	GENERAL STRUCTURAL NOTES (CONT)	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.1-S102	TABLES	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.1-S103	TYPICAL DETAILS - CONCRETE	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.1-S104	TYPICAL DETAILS - CONCRETE	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.1-S105	TYPICAL DETAILS - CMU	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.1-S106	TYPICAL DETAILS - METAL STUDS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.1-S107	TYPICAL DETAILS - STEEL	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.1-S108	TYPICAL DETAILS - STEEL	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.1-S109	TYPICAL DETAILS STEEL	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.1-S110	SCHEDULES	4/15/19	100% CONSTRUCTION DOCUMENTS

SCOTTSDALE STADIUM MULTI USE EVENT CENTER

DOCUMENT LOG

PACKAGE 3 / PACKAGE 4

100% CONSTRUCTION DOCUMENTS

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
P4.1-S202	ENTRY PLAZA -FOUNDATIONPLAN - AREA N	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.1-S203	TICKETING -FOUNDATIONPLAN - AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.1-S204	PRESS LEVEL - (E) FLOOR FRAMING PLAN - AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.1-S205	BREEZEWAY FOUNDATION AND FRAMING PLANS -AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.1-S221	CHARROS -(E) FLOOR FRAMING PLAN -AREA F	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.1-S222	CHARROS -(N) 2nd FLOOR/ ROOF FRAMING PLAN -AREA F	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.1-S223	CHARROS -(N) HIGH ROOF FRAMING PLAN -AREA F	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.1-S224	ENTRY PLAZA -ROOF FRAMING PLAN -AREA N	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.1-S225	TICKETING -ROOF FRAMING PLAN -AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.1-S226	(E) ROOF FRAMING PLAN -AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.1-S400	FOUNDATIONDETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.1-S500	FRAMINGDETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-S501	FRAMINGDETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.1-S502	FRAMINGDETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.1-S503	FRAMINGDETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.1-S600	TILT PANEL DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.1-S601	TILT PANEL DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS

ARCHITECTURAL

PACKAGE 4.2

P4.2	COVER SHEET	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-G000	DRAWING INDEX	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-G001	DRAWING INDEX	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A050	OVERALL SITE PLAN	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A200	CHARROS LEVEL FLOOR PLAN AREA F	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A201	RIGHT FIELD BLEACHERS FLOOR PLAN AREA E	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A202	CONCOURSE LEVEL FLOOR PLAN AREA N	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A203	CONCOURSE LEVEL FLOOR PLAN AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A204	CONCOURSE LEVEL FLOOR PLAN AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A205	CONCOURSE LEVEL FLOOR PLAN AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A206	PRESS LEVEL FLOOR PLAN AREA N	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A207	PRESS LEVEL FLOOR PLAN AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A208	PRESS LEVEL FLOOR PLAN AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A209	PRESS LEVEL FLOOR PLAN AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A220	CHARROS ROOF PLAN AREA F	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A221	ENTRY PLAZA ROOF PLAN AREA N	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A222	TICKETING ROOF PLAN AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A223	TICKETING ROOF PLAN AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A224	RIGHT FIELD BLEACHERS ROOF PLAN AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A300	CHARROS RCP AREA F	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A302	CONCOURSE LEVEL RCP AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A304	CONCOURSE LEVEL RCP AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A305	PRESS LEVEL RCP AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A306	PRESS LEVEL RCP AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A400	CITY OFFICES ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A501	CHARROS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A502	ENTRY CANOPY	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A503	TICKETING & CITY OFFICES / TEAM STORE SECTIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A504	RIGHT FIELD BLEACHERS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A510	STADIUM BUILDING SECTIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A520	WALL SECTIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A560	PARTITION DOOR DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A630	CHARROS STAIRS ENLARGED PLANS AND SECTIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A631	CHARROS STAIR & GUARDRAIL DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A651	RESTROOM MOUNTING DIMENSIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A652	TOILET STALL TYPES	4/15/19	100% CONSTRUCTION DOCUMENTS

SCOTTSDALE STADIUM MULTI USE EVENT CENTER

DOCUMENT LOG

PACKAGE 3 / PACKAGE 4

100% CONSTRUCTION DOCUMENTS

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
P4.2-A653	ENLARGED RR PLANS -C.O.S. / PRESS BOX LVLS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A654	ENLARGED RR PLANS -C.O.S. / PRESS BOX LVLS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A661	PRESS RR INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A662	PRESS RR INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A700	DOOR SCHEDULE	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A716	EXTERIOR OPENING DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A800	STADIUM GENERAL NOTES AND MATERIAL SCHEDULE	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A801	PRESS LEVEL FINISH PLAN AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A802	PRESS LEVEL FINISH PLAN AREA O, P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A803	TICKETING & CITY OFFICES FINISH PLAN	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A804	TEAM STORE FINISH PLAN	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A810	PRESS INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A811	PRESS INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A812	PRESS INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A813	TICKETING & CITY OFFICES INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A814	TICKETING & CITY OFFICES INTERIOR ELEVATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A845	PRESS LEVEL FLOOR PLAN FFE	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A846	TICKETING -CITY OFFICES FLOOR PLAN FFE	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-A860	MILLWORK	4/15/19	100% CONSTRUCTION DOCUMENTS

MECHANICAL

PACKAGE 4.2

P4.2-M001	MECHANICAL GENERAL SHEET	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-M002	MECHANICAL GENERAL SHEET	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-M201	MECH HVAC PLAN CONCOURSE AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-M202	MECH HVAC PLAN CONCOURSE AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-M203	MECH HVAC PLAN PRESS AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-M204	MECH HVAC PLAN PRESS AREA O & P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-M205	MECH HVAC PLAN ROOF AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-M206	MECH HVAC PLAN ROOF AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-M207	MECH HVAC PLAN CHARROS AREA F	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-M301	MECH PIPING PLAN CONCOURSE AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-M302	MECH PIPING PLAN CONCOURSE AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-M303	MECH PIPING PLAN CONCOURSE AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-M304	MECH PIPING PLAN PRESS AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-M305	MECH PIPING PLAN PRESS AREA O & P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-M306	MECH PIPING PLAN ROOF AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-M501	MECHANICAL CONTROLS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-M601	MECHANICAL DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-M602	MECHANICAL DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-M701	MECHANICAL SCHEDULES	4/15/19	100% CONSTRUCTION DOCUMENTS

PLUMBING

PACKAGE 4.2

P4.2-P001	PLUMBING GENERAL SHEET	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-P201	PLUMBING DRAIN. CHARROS AREA F	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-P202	PLUMBING DRAIN. CONCOURSE AREA L	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-P203	PLUMBING DRAIN. CONCOURSE AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-P204	PLUMBING DRAIN. CONCOURSE AREA N & O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-P205	PLUMBING DRAIN. CONCOURSE AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-P206	PLUMBING DRAIN. PRESS AREA L	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-P207	PLUMBING DRAIN. PRESS AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-P208	PLUMBING DRAIN. PLAN PRESS AREA N & O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-P209	PLUMBING DRAIN. PRESS AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-P210	PLUMBING DRAIN. ROOF AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-P211	PLUMBING DRAIN. ROOF AREA N, O, & P	4/15/19	100% CONSTRUCTION DOCUMENTS

SCOTTSDALE STADIUM MULTI USE EVENT CENTER

DOCUMENT LOG

PACKAGE 3 / PACKAGE 4

100% CONSTRUCTION DOCUMENTS

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
P4.2-P301	PLUMBING WATER PLAN CONCOURSE AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-P302	PLUMBING WATER PLAN CONCOURSE AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-P303	PLUMBING WATER PLAN PRESS AREA N & O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-P401	PLUMBING SCHEMATICS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-P402	PLUMBING SCHEMATICS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-P501	PLUMBING SCHEDULES AND DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS

ELECTRICAL

PACKAGE 4.2

P4.2-E001	ELECTRICAL SYMBOLS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E002	FIXTURE SCHEDULE AND NOTES	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E003	COMCHECK	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E301	ELEC LTG PLAN FIELD AREA F	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E302	ELEC LTG PLAN CHARROS AREA F	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E303	ELEC LTG PLAN CONCOURSE AREA E	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E304	ELEC LTG PLAN CONCOURSE AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E305	ELEC LTG PLAN CONCOURSE AREA N	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E306	ELEC LTG PLAN CONCOURSE AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E307	ELEC LTG PLAN CONCOURSE AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E308	ELEC LTG PLAN PRESS AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E309	ELEC LTG PLAN PRESS AREA N	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E310	ELEC LTG PLAN PRESS AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E311	ELEC LTG PLAN PRESS AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E401	ELEC POWER PLAN EXST HOME CLUBHOUSE AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E402	ELEC POWER PLAN FIELD AREA F	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E403	ELEC POWER PLAN CHARROS AREA F	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E404	ELEC POWER PLAN CHARROS LEVEL 2 AREA F	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E405	ELEC POWER PLAN CONCOURSE AREA E	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E406	ELEC POWER PLAN CONCOURSE AREA L	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E407	ELEC POWER PLAN CONCOURSE AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E408	ELEC POWER PLAN CONCOURSE AREA N	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E409	ELEC POWER PLAN CONCOURSE AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E410	ELEC POWER PLAN CONCOURSE AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E411	ELEC POWER PLAN PRESS AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E412	ELEC POWER PLAN PRESS AREA N	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E413	ELEC POWER PLAN PRESS AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E414	ELEC POWER PLAN PRESS AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E415	ELEC PWR PLAN PRESS ROOF AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E416	ELEC PWR PLAN PRESS ROOF AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E501	ELECTRICAL ENLARGED POWER PLANS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E601	ELECTRICAL DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E602	ELECTRICAL DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E603	ELECTRICAL DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E801	ELECTRICAL FEEDER SCHEDULE	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E821	ELECTRICAL ONE-LINE DIAGRAMS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E822	ELECTRICAL ONE-LINE DIAGRAMS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E823	ELECTRICAL ONE-LINE DIAGRAMS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E831	ELECTRICAL ONE-LINE DIAGRAMS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E832	ELECTRICAL ONE-LINE DIAGRAMS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E841	ELECTRICAL ONE-LINE DIAGRAMS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E851	ELECTRICAL ONE-LINE DIAGRAMS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E852	ELECTRICAL ONE-LINE DIAGRAMS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E901	ELECTRICAL EQUIPMENT SCHEDULE	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E902	ELECTRICAL CALCULATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E903	ELECTRICAL CALCULATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E904	ELECTRICAL CALCULATIONS	4/15/19	100% CONSTRUCTION DOCUMENTS

SCOTTSDALE STADIUM MULTI USE EVENT CENTER

DOCUMENT LOG

PACKAGE 3 / PACKAGE 4

100% CONSTRUCTION DOCUMENTS

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
P4.2-E910	ELECTRICAL PANEL SCHEDULES	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E911	ELECTRICAL PANEL SCHEDULES	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E912	ELECTRICAL PANEL SCHEDULES	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-E913	ELECTRICAL PANEL SCHEDULES	4/15/19	100% CONSTRUCTION DOCUMENTS

FIRE ALARM

PACKAGE 4.2

P4.2-FA001	FIRE ALARM GENERAL SHEET	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-FA201	FIRE ALARM PLAN EXISTING HOME CLUBHOUSE	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-FA202	FIRE ALARM PLAN EXISTING VISITORS CLUBHOUSE	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-FA203	FIRE ALARM PLAN CONCOURSE LEVEL AREA K	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-FA204	FIRE ALARM PLAN CONCOURSE LEVEL AREA L	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-FA205	FIRE ALARM PLAN CONCOURSE LEVEL AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-FA206	FIRE ALARM PLAN CONCOURSE LEVEL AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-FA207	FIRE ALARM PLAN CONCOURSE LEVEL AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-FA208	FIRE ALARM PLAN CONCOURSE LEVEL AREA E	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-FA209	FIRE ALARM PLAN PRESS LEVEL AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-FA210	FIRE ALARM PLAN PRESS LEVEL AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-FA211	FIRE ALARM PLAN PRESS LEVEL AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-FA212	FIRE ALARM PLAN CHARROS LEVEL 1	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-FA213	FIRE ALARM PLAN CHARROS LEVEL 2	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-FA214	FIRE ALARM PLAN CHARROS LEVEL 3	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-FA215	FIRE ALARM PLAN GATE A BUILDING	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-FA216	FIRE ALARM PLAN MAINTENANCE BUILDING	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-FA601	FIRE ALARM RISER DIAGRAM	4/15/19	100% CONSTRUCTION DOCUMENTS

FIRE SUPPRESSION

PACKAGE 4.2

P4.2-FS001	FIRE SUPPR. GENERAL SHEET	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-FS201	FIRE SUPPR. CHARROS AREA F	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-FS202	FIRE SUPPR. CONCOURSE LEVEL AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-FS203	FIRE SUPPR. CONCOURSE LEVEL AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-FS204	FIRE SUPPR. PRESS LEVEL AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-FS205	FIRE SUPPR. PRESS LEVEL AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS

TECHNOLOGY

PACKAGE 4.2

P4.2-T001	TECH GENERAL SHEET	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-T301	TECHNOLOGY PLAN EXISTING HOME CLUBHOUSE	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-T302	TECHNOLOGY PLAN EXISTING VISITOR CLUBHOUSE	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-T303	TECH CONCOURSE AREA L	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-T304	TECH CONCOURSE AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-T305	TECH CONCOURSE AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-T306	TECH CONCOURSE AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-T307	TECH CONCOURSE AREA E	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-T308	TECH PRESS AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-T309	TECH PRESS AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-T310	TECH PRESS AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-T311	TECHNOLOGY PLAN CHARROS -LEVEL 1	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-T312	TECHNOLOGY PLAN CHARROS -LEVEL 2	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-T313	TECHNOLOGY PLAN CHARROS -LEVEL 3	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-T314	TECH RCP PRESS AREA M	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-T315	TECH RCP PRESS AREA O	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-T316	TECH RCP PRESS AREA P	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-T401	MDF 205 PLAN AND DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-T501	TECH SYSTEMS DETAILS	4/15/19	100% CONSTRUCTION DOCUMENTS

SCOTTSDALE STADIUM MULTI USE EVENT CENTER

DOCUMENT LOG

PACKAGE 3 / PACKAGE 4

100% CONSTRUCTION DOCUMENTS

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
P4.2-T601	CITY OF SCOTTSDALE NETWORK RISER DIAGRAM	4/15/19	100% CONSTRUCTION DOCUMENTS
P4.2-T602	TECH GIANTS RISER	4/15/19	100% CONSTRUCTION DOCUMENTS

AUDIO-VISUAL

PACKAGE 4.2:

P4.2-G000	DRAWING INDEX	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-G001	DRAWING INDEX	4/16/19	100% CONSTRUCTION DOCUMENTS
AV000	GENERAL NOTES AND LEGENDS	4/16/19	100% CONSTRUCTION DOCUMENTS
AV001	GENERAL NOTES AND LEGENDS	4/16/19	100% CONSTRUCTION DOCUMENTS
AV101	OVERALL SITE PLAN	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV106	FIELD LEVEL AREA D	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV107	FIELD LEVEL AREA G	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV108	FIELD LEVEL AREA L	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV109	FIELD LEVEL AREA M	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV110	FIELD LEVEL AREA P	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV200	CHARROS LEVEL FLOOR PLAN AREA F	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV202	CONCOURSE LEVEL FLOOR PLAN AREA N	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV203	CONCOURSE LEVEL FLOOR PLAN AREA O	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV204	CONCOURSE LEVEL FLOOR PLAN AREA M	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV205	CONCOURSE LEVEL FLOOR PLAN AREA P	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV206	PRESS LEVEL FLOOR PLAN AREA N	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV207	PRESS LEVEL FLOOR PLAN AREA O	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV208	PRESS LEVEL FLOOR PLAN AREA M	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV209	PRESS LEVEL FLOOR PLAN AREA P	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV210	CONCOURSE LEVEL FLOOR PLAN AREA L	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV213	PRESS LEVEL FLOOR PLAN AREA E	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV214	PRESS LEVEL FLOOR PLAN AREA K	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV221	ENTRY PLAZA ROOF PLAN AREA N	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV222	TICKETING ROOF PLAN AREA O	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV223	TICKETING ROOF PLAN AREA M	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV300	CHARROS RCP AREA F	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV301	CONCOURSE LEVEL RCP AREA N	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV302	CONCOURSE LEVEL RCP AREA O	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV303	CONCOURSE LEVEL RCP AREA M	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV304	CONCOURSE LEVEL RCP AREA P	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV305	PRESS LEVEL RCP AREA N	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV306	PRESS LEVEL RCP AREA O	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV307	PRESS LEVEL RCP AREA M	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV308	PRESS LEVEL RCP AREA P	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV311	CONCOURSE LEVEL RCP AREA L	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV401	ENLARGED PLANS	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV501	SECTIONS	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV601	ELEVATIONS	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV1080	BROADCAST BOX MOUNTING DETAILS	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV1081	BROADCAST BOX DETAILS	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV1090	BROADCAST BOX SCHEDULE	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV1100	AV FUNCTIONAL LEGEND AND STANDARD DETAILS	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV1101	AV FUNCTIONAL LEGEND AND STANDARD DETAILS	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV1110	AUDIO CONTROL BOOTH SYSTEM DIAGRAM	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV1111	FUNCTIONALS	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV1112	DIGITAL AUDIO NETWORK	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV1113	FUNCTIONALS	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV1114	FUNCTIONALS	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV1170	PLATE AND PANEL DETAIL	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV1190	AUDIO-VIDEO EQUIPMENT RACK DETAILS	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV1191	LOUDSPEAKER JUNCTION BOX AND MOUNTING DETAIL	4/16/19	100% CONSTRUCTION DOCUMENTS

Rev. 5/21/2019

DOCUMENT LOG - 18

SCOTTSDALE STADIUM MULTI USE EVENT CENTER

DOCUMENT LOG

PACKAGE 3 / PACKAGE 4

100% CONSTRUCTION DOCUMENTS

SHEET NO.	TITLE	ISSUE DATE	ISSUED FOR
P4.2-AV1401	TV DISTRIBUTION RISER DIAGRAM	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV1410	TV DISTRIBUTION FUNCTIONAL DIAGRAM	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV1411	TV DISTRIBUTION FUNCTIONAL DIAGRAM	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV1412	TV DISTRIBUTION FUNCTIONAL DIAGRAM	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV1480	TV DISTRIBUTION RACK ELEVATIONS	4/16/19	100% CONSTRUCTION DOCUMENTS
P4.2-AV1490	INDOOR TV MOUNTING DETAILS	4/16/19	100% CONSTRUCTION DOCUMENTS

SCOTTSDALE STADIUM MULTI USE EVENT CENTER

SPECIFICATIONS LOG

100% CONSTRUCTION DOCUMENTS

SECTION	TITLE	ISSUE DATE	ISSUED FOR
DIVISION 00 - PROCUREMENT AND CONTRACTING REQUIREMENTS			
00 00 30	TABLE OF CONTENTS	04/19/19	Delta 4
00 01 05	PROJECT PRINCIPLES	01/15/19	100% CONSTRUCTION DOCUMENTS
00 10 00	CITY OF SCOTTSDALE BUILDING SUPPLEMENTAL INSTRUCTIONS	01/15/19	100% CONSTRUCTION DOCUMENTS
00 20 10	SUBCONTRACTOR BIDDING	01/15/19	100% CONSTRUCTION DOCUMENTS
00 26 00	PRIOR APPROVALS	01/15/19	100% CONSTRUCTION DOCUMENTS
00 31 32	GEOTECHNICAL DATA	02/18/19	Delta 2
00 72 00	AIA A201 GENERAL CONDITIONS	01/15/19	100% CONSTRUCTION DOCUMENTS
DIVISION 01 - GENERAL REQUIREMENTS			
01 10 00	SUMMARY		
01 11 16	OWNER FURNISHED ITEMS AND WORK	01/15/19	100% CONSTRUCTION DOCUMENTS
01 22 00	UNIT PRICES	01/15/19	100% CONSTRUCTION DOCUMENTS
01 25 00	SUBSTITUTION PROCEDURES	01/15/19	100% CONSTRUCTION DOCUMENTS
01 26 00	CONTRACT MODIFICATION PROCEDURES	01/15/19	100% CONSTRUCTION DOCUMENTS
01 29 00	PAYMENT PROVISIONS	01/15/19	100% CONSTRUCTION DOCUMENTS
01 31 00	PROJECT MANAGEMENT AND COORDINATION	01/15/19	100% CONSTRUCTION DOCUMENTS
01 32 00	CONSTRUCTION PROGRESS DOCUMENTATION	01/15/19	100% CONSTRUCTION DOCUMENTS
01 33 00	SUBMITTAL PROCEDURES	01/15/19	100% CONSTRUCTION DOCUMENTS
01 34 00	COMPUTER MODEL DISCLOSURE AGREEMENT	01/15/19	100% CONSTRUCTION DOCUMENTS
01 35 16	ALTERATION PROJECT PROCEDURES	01/15/19	100% CONSTRUCTION DOCUMENTS
01 40 00	QUALITY REQUIREMENTS	01/15/19	100% CONSTRUCTION DOCUMENTS
01 42 00	REFERENCES	01/15/19	100% CONSTRUCTION DOCUMENTS
01 43 39	MOCKUPS	01/15/19	100% CONSTRUCTION DOCUMENTS
01 50 00	TEMPORARY FACILITIES AND CONTROLS	01/15/19	100% CONSTRUCTION DOCUMENTS
01 56 39	TEMPORARY TREE & PLANT PROTECTION	01/15/19	100% CONSTRUCTION DOCUMENTS
01 60 00	PRODUCT REQUIREMENTS	01/15/19	100% CONSTRUCTION DOCUMENTS
01 73 00	EXECUTION	01/15/19	100% CONSTRUCTION DOCUMENTS
01 77 00	CLOSEOUT PROCEDURES	01/15/19	100% CONSTRUCTION DOCUMENTS
01 78 23	OPERATION AND MAINTENANCE DATA	01/15/19	100% CONSTRUCTION DOCUMENTS
01 78 39	PROJECT RECORD DOCUMENTS	03/15/19	Delta 3
01 79 00	DEMONSTRATION AND TRAINING COS	01/15/19	100% CONSTRUCTION DOCUMENTS
01 81 13	SUSTAINABLE DESIGN REQUIREMENTS	03/15/19	Delta 3
DIVISION 02 - EXISTING CONDITIONS			
02 41 19	SELECTIVE DEMOLITION	01/15/19	100% CONSTRUCTION DOCUMENTS
DIVISION 03 - CONCRETE			
03 11 16	BOARD FORM CONCRETE FORMING	03/15/19	Delta 3
03 30 00	CAST-IN-PLACE CONCRETE	04/19/19	Delta 4
03 35 43	POLISHED CONCRETE FINISHING 2	01/15/19	100% CONSTRUCTION DOCUMENTS
03 39 00	CONCRETE SEALING	04/19/19	Delta 4
03 53 00	CONCRETE TOPPING	03/15/19	Delta 3
DIVISION 04 - MASONRY			
04 20 00	UNIT MASONRY	01/15/19	100% CONSTRUCTION DOCUMENTS
04 72 00	CAST STONE MASONRY	01/15/19	100% CONSTRUCTION DOCUMENTS
DIVISION 05 - METALS			
05 12 00	STRUCTURAL STEEL FRAMING	01/15/19	100% CONSTRUCTION DOCUMENTS
05 12 13	ARCHITECTURALLY EXPOSED STRUCTURAL STEEL FRAMING	03/15/19	Delta 3
05 21 00	STEEL JOIST FRAMING	01/15/19	100% CONSTRUCTION DOCUMENTS
05 31 00	STEEL DECKING	04/19/19	Delta 4
05 31 23	ACOUSTICAL ROOF DECKING	01/15/19	100% CONSTRUCTION DOCUMENTS
05 40 00	COLD-FORMED METAL FRAMING	01/15/19	100% CONSTRUCTION DOCUMENTS
05 50 00	METAL FABRICATIONS	04/19/19	Delta 4
05 51 13	METAL PAN STAIRS	01/15/19	100% CONSTRUCTION DOCUMENTS
05 52 13	PIPE AND TUBE RAILINGS	01/15/19	100% CONSTRUCTION DOCUMENTS
05 52 16	ALUMINUM COMPONENT RAILING SYSTEM	01/15/19	100% CONSTRUCTION DOCUMENTS
05 58 17	METAL SCREEN WALL PANELS	04/19/19	Delta 4
05 73 00	DECORATIVE METAL RAILINGS	04/19/19	Delta 4

DIVISION 06 - WOOD, PLASTICS AND COMPOSITES

06 10 53	MISCELLANEOUS ROUGH CARPENTRY	04/19/19	Delta 4
06 16 00	SHEATHING	04/19/19	Delta 4
06 40 00	ARCHITECTURAL WOODWORK	04/19/19	Delta 4
06 41 16	PLASTIC-LAMINATE-FACED ARCHITECTURAL CABINETS	04/19/19	Delta 4

DIVISION 07 - THERMAL AND MOISTURE PROTECTION

07 13 26	SELF-ADHERING SHEET WATERPROOFING - Spec Removed	03/15/19	Delta 3
07 14 13	HOT FLUID-APPLIED WATERPROOFING - Spec Removed	03/15/19	Delta 3
07 14 16	COLD FLUID-APPLIED WATERPROOFING	04/19/19	Delta 4
07 19 00	WATER REPELLENTS	04/19/19	Delta 4
07 21 00	THERMAL INSULATION	04/19/19	Delta 4
07 24 13	POLYMER-BASED EXTERIOR INSULATION AND FINISH SYSTEM (EIFS)	04/19/19	Delta 4
07 25 00	WEATHER BARRIERS	04/19/19	Delta 4
07 27 26	FLUID-APPLIED MEMBRANE AIR BARRIERS	04/19/19	Delta 4
07 42 13	METAL COMPOSITE MATERIAL WALL PANELS	04/19/19	Delta 4
07 42 14	FORMED METAL WALL PANELS	04/19/19	Delta 4
07 54 23	THERMOPLASTIC POLYOLEFIN (TPO) ROOFING	04/19/19	Delta 4
07 62 00	SHEET METAL FLASHING AND TRIM	01/15/19	100% CONSTRUCTION DOCUMENTS
07 72 00	ROOF ACCESSORIES	01/15/19	100% CONSTRUCTION DOCUMENTS
07 81 00	APPLIED FIREPROOFING - Spec Removed	04/19/19	Delta 4
07 84 13	PENETRATION FIRESTOPPING	04/19/19	Delta 4
07 92 00	JOINT SEALANTS	04/19/19	Delta 4

DIVISION 08 - OPENINGS

08 11 13	HOLLOW METAL DOORS AND FRAMES	01/15/19	100% CONSTRUCTION DOCUMENTS
08 14 16	FLUSH WOOD DOORS	04/19/19	Delta 4
08 31 13	ACCESS DOORS AND FRAMES ss	01/15/19	100% CONSTRUCTION DOCUMENTS
08 32 13	ALUMINUM FRAMED SLIDING GLASS DOORS	03/15/19	Delta 3
08 33 13	COILING COUNTER DOORS	03/15/19	Delta 3
08 33 23	OVERHEAD COILING DOORS	01/15/19	100% CONSTRUCTION DOCUMENTS
08 36 13	SECTIONAL DOORS	03/15/19	Delta 3
08 41 13	ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS	04/19/19	Delta 4
08 56 59	TICKET WINDOWS AND ACCESSORIES	04/19/19	Delta 4
08 63 00	METAL FRAMED SKYLIGHTS	04/19/19	Delta 4
08 71 00	DOOR HARDWARE 2019-01-11	04/19/19	Delta 4
08 80 00	GLAZING	01/15/19	100% CONSTRUCTION DOCUMENTS
08 83 00	MIRRORS	01/15/19	100% CONSTRUCTION DOCUMENTS
08 90 00	LOUVERS AND VENTS	01/15/19	100% CONSTRUCTION DOCUMENTS

DIVISION 09 - FINISHES

09 22 16	NON-STRUCTURAL METAL FRAMING	01/15/19	100% CONSTRUCTION DOCUMENTS
09 29 16	GYPSUM BOARD	04/19/19	Delta 4
09 30 13	CERAMIC TILING	04/19/19	Delta 4
09 51 13	ACOUSTICAL PANEL CEILINGS	04/19/19	Delta 4
09 54 23	LINEAR METAL CEILINGS - Spec removed	03/15/19	Delta 3
09 64 00	WOOD FLOORING	04/19/19	Delta 4
09 65 13	RESILIENT BASE AND ACCESSORIES	04/19/19	Delta 4
09 65 19	RESILIENT TILE FLOORING	04/19/19	Delta 4
09 65 66	RESILIENT ATHLETIC FLOORING	04/19/19	Delta 4
09 67 23	RESINOUS FLOORING	04/19/19	Delta 4
09 67 26	ACRYLIC FLAKE FLOOR COATINGS - Spec removed	03/15/19	Delta 3
09 68 13	TILE CARPETING	04/19/19	Delta 4
09 68 23	SYNTHETIC TURF	04/19/19	Delta 4
09 72 00	Wall Coverings - Scottsdale	04/19/19	Delta 4
09 77 20	FIBERGLASS REINFORCED WALL PANELS (FRP)	04/19/19	Delta 4
09 91 00	PAINTING	04/19/19	Delta 4
09 96 46	INTUMESCENT PAINTING- Spec removed	03/15/19	Delta 3
09 96 53	ELECTROSTATIC SPRAY COATINGS	01/15/19	100% CONSTRUCTION DOCUMENTS
09 97 13	SPECIAL STRUCTURAL STEEL COATINGS	04/19/19	Delta 4

DIVISION 10 - SPECIALTIES

10 14 00	SIGNAGE	04/19/19	Delta 4
10 21 13	TOILET COMPARTMENTS	04/19/19	Delta 4
10 22 26	OPERABLE PANEL PARTITIONS	04/19/19	Delta 4
10 26 00	WALL AND DOOR PROTECTION	04/19/19	Delta 4
10 28 00	TOILET AND BATH ACCESSORIES	04/19/19	Delta 4

10 44 13	FIRE EXTINGUISHER CABINETS	01/15/19	100% CONSTRUCTION DOCUMENTS
10 51 13	METAL LOCKERS - Spec Removed	04/19/19	Delta 4
10 56 26	MOBILE STORAGE SHELVING - Spec removed	03/15/19	Delta 3

DIVISION 11 - EQUIPMENT

11 23 00	COMMERCIAL LAUNDRY EQUIPMENT	04/19/19	Delta 4
11 24 29	FACILITY FALL PROTECTION	01/15/19	100% CONSTRUCTION DOCUMENTS
11 40 00	FOOD SERVICE EQUIPMENT	04/19/19	Delta 4

DIVISION 12 - FURNISHINGS

12 24 13	ROLLER WINDOW SHADES	04/19/19	Delta 4
12 36 23	PLASTIC-LAMINATE-CLAD COUNTERTOPS	04/19/19	Delta 4
12 36 61	SOLID SURFACING COUNTERTOPS	04/19/19	Delta 4
12 36 63	QUARTZ AGGLOMERATE COUNTERTOPS	04/19/19	Delta 4
12 48 13	ENTRANCE FLOOR MATS AND FRAMES	01/15/19	100% CONSTRUCTION DOCUMENTS
12 63 13	STADIUM BENCH SEATING	03/15/19	Delta 3

DIVISION 13 - SPECIAL CONSTRUCTION

13 17 13	HOT POOL	01/15/19	100% CONSTRUCTION DOCUMENTS
13 17 16	COLD POOL (Revised)	01/15/19	100% CONSTRUCTION DOCUMENTS
13 17 23	AQUATIC THERAPY POOL (Revised)	01/15/19	100% CONSTRUCTION DOCUMENTS
13 24 16	SAUNAS	04/19/19	Delta 4
13 24 26	STEAM ROOMS	04/19/19	Delta 4

DIVISION 14 - CONVEYING EQUIPMENT

14 24 00	HYDRAULIC ELEVATORS	03/15/19	Delta 3
14 42 00	WHEELCHAIR LIFTS	03/15/19	Delta 3

DIVISION 21 - FIRE SUPPRESSION

21 00 00	DIVISION 21 INDEX	01/15/19	100% CONSTRUCTION DOCUMENTS
21 05 00	GENERAL PROVISIONS	01/15/19	100% CONSTRUCTION DOCUMENTS
21 05 01	DEMONSTRATION & TRAINING	01/15/19	100% CONSTRUCTION DOCUMENTS
21 05 17	SLEEVES & SLEEVE SEALS FOR FIRE SUPPRESSION PIPING	01/15/19	100% CONSTRUCTION DOCUMENTS
21 05 53	IDENTIFICATION FOR FIRE SUPPRESSION PIPING & EQUIPMENT	01/15/19	100% CONSTRUCTION DOCUMENTS
21 13 13	WET PIPE SPRINKLER SYSTEMS	01/15/19	100% CONSTRUCTION DOCUMENTS

DIVISION 22 - PLUMBING

22 00 00	DIVISION 22 INDEX	01/15/19	100% CONSTRUCTION DOCUMENTS
22 05 00	GENERAL PROVISIONS	01/15/19	100% CONSTRUCTION DOCUMENTS
22 05 01	DEMONSTRATION & TRAINING	01/15/19	100% CONSTRUCTION DOCUMENTS
22 05 13	COMMON MOTOR REQUIREMENTS FOR PLUMBING EQUIPMENT	01/15/19	100% CONSTRUCTION DOCUMENTS
22 05 16	EXPANSION FITTINGS FOR PLUMBING PIPING	01/15/19	100% CONSTRUCTION DOCUMENTS
22 05 17	SLEEVES & SLEEVE SEALS FOR PLUMBING PIPING	01/15/19	100% CONSTRUCTION DOCUMENTS
22 05 18	ESCUTCHEONS FOR PLUMBING PIPING	01/15/19	100% CONSTRUCTION DOCUMENTS
22 05 19	METERS AND GAGES FOR PLUMBING PIPING	01/15/19	100% CONSTRUCTION DOCUMENTS
22 05 23	GENERAL DUTY VALVES FOR PLUMBING PIPING	01/15/19	100% CONSTRUCTION DOCUMENTS
22 05 29	HANGERS & SUPPORTS FOR PLUMBING PIPING & EQUIPMENT	01/15/19	100% CONSTRUCTION DOCUMENTS
22 05 33	HEAT TRACING FOR PLUMBING PIPING	01/15/19	100% CONSTRUCTION DOCUMENTS
22 05 48	VIBRATION CONTROLS FOR PLUMBING PIPING & EQUIPMENT	01/15/19	100% CONSTRUCTION DOCUMENTS
22 05 53	IDENTIFICATION FOR PLUMBING PIPING & EQUIPMENT	01/15/19	100% CONSTRUCTION DOCUMENTS
22 07 16	PLUMBING EQUIPMENT INSULATION	01/15/19	100% CONSTRUCTION DOCUMENTS
22 07 19	PLUMBING PIPING INSULATION	01/15/19	100% CONSTRUCTION DOCUMENTS
22 08 00	COMMISSIONING OF PLUMBING	01/15/19	100% CONSTRUCTION DOCUMENTS
22 11 16	DOMESTIC WATER PIPING (COPPER ONLY)	01/15/19	100% CONSTRUCTION DOCUMENTS
22 11 19	DOMESTIC WATER PIPING SPECIALTIES	01/15/19	100% CONSTRUCTION DOCUMENTS
22 11 23	DOMESTIC HOT WATER RECIRCULATING PUMPS	01/15/19	100% CONSTRUCTION DOCUMENTS
22 13 16	SANITARY WASTE & VENT PIPING (ALL MATERIALS)	01/15/19	100% CONSTRUCTION DOCUMENTS
22 13 19	SANITARY WASTE PIPING SPECIALTIES	01/15/19	100% CONSTRUCTION DOCUMENTS
22 13 23	SANITARY WASTE INTERCEPTORS	04/19/19	Delta 4
22 13 29	SANITARY SEWAGE PUMPS	01/15/19	100% CONSTRUCTION DOCUMENTS
22 14 13	STORM DRAINAGE PIPING (ALL MATERIALS)	03/15/19	Delta 3
22 14 29	SUMP PUMPS	01/15/19	100% CONSTRUCTION DOCUMENTS
22 16 23	FACILITY NATURAL GAS PIPING	01/15/19	100% CONSTRUCTION DOCUMENTS
22 31 00	DOMESTIC WATER SOFTENERS	01/15/19	100% CONSTRUCTION DOCUMENTS
22 32 00	DOMESTIC WATER FILTRATION EQUIPMENT	01/15/19	100% CONSTRUCTION DOCUMENTS
22 33 00	ELECTRIC, DOMESTIC WATER HEATERS	01/15/19	100% CONSTRUCTION DOCUMENTS
22 34 00	FUEL FIRED DOMESTIC WATER HEATERS	01/15/19	100% CONSTRUCTION DOCUMENTS
22 35 44	DOMESTIC HOT WATER STORAGE TANKS	01/15/19	100% CONSTRUCTION DOCUMENTS

22 40 00	PLUMBING FIXTURES	01/15/19	100% CONSTRUCTION DOCUMENTS
22 45 00	EMERGENCY PLUMBING FIXTURES	01/15/19	100% CONSTRUCTION DOCUMENTS
22 47 00	DRINKING FOUNTAINS & WATER COOLERS	01/15/19	100% CONSTRUCTION DOCUMENTS

DIVISION 23: HEATING, VENTILATING & AIR CONDITIONING

23 00 00	DIVISION 23 INDEX	01/15/19	100% CONSTRUCTION DOCUMENTS
23 05 01	DEMONSTRATION & TRAINING	01/15/19	100% CONSTRUCTION DOCUMENTS
23 05 13	COMMON MOTOR REQUIREMENTS FOR HVAC EQUIPMENT	01/15/19	100% CONSTRUCTION DOCUMENTS
23 05 14	VARIABLE FREQUENCY MOTOR DRIVES	01/15/19	100% CONSTRUCTION DOCUMENTS
23 05 15	ENCLOSED MOTOR CONTROLLERS	01/15/19	100% CONSTRUCTION DOCUMENTS
23 05 16	EXPANSION FITTINGS & LOOPS FOR HVAC PIPING	01/15/19	100% CONSTRUCTION DOCUMENTS
23 05 17	SLEEVES & SLEEVE SEALS FOR HVAC PIPING	01/15/19	100% CONSTRUCTION DOCUMENTS
23 05 18	ESCUTCHEONS FOR HVAC PIPING	01/15/19	100% CONSTRUCTION DOCUMENTS
23 05 19	METERS & GAGES FOR HVAC PIPING	01/15/19	100% CONSTRUCTION DOCUMENTS
23 05 20	ELECTRICAL & CONTROL WIRING FOR MECHANICAL SYSTEMS	01/15/19	100% CONSTRUCTION DOCUMENTS
23 05 23	GENERAL DUTY VALVES FOR HVAC HYDRONIC PIPING	01/15/19	100% CONSTRUCTION DOCUMENTS
23 05 29	HANGERS & SUPPORTS FOR HVAC PIPING & EQUIPMENT	01/15/19	100% CONSTRUCTION DOCUMENTS
23 05 48.13	VIBRATION CONTROLS FOR HVAC PIPING & EQUIPMENT	01/15/19	100% CONSTRUCTION DOCUMENTS
23 05 53	IDENTIFICATION FOR HVAC PIPING & EQUIPMENT	01/15/19	100% CONSTRUCTION DOCUMENTS
23 05 93	TESTING, ADJUSTING & BALANCING FOR HVAC	01/15/19	100% CONSTRUCTION DOCUMENTS
23 07 13	DUCT INSULATION	03/15/19	Delta 3
23 07 19	HVAC PIPING INSULATION	01/15/19	100% CONSTRUCTION DOCUMENTS
23 08 00	COMMISSIONING OF HVAC	01/15/19	100% CONSTRUCTION DOCUMENTS
23 09 00	BLDG AUTOMATION SYSTEM FOR HVAC	04/19/19	Delta 4
23 21 13	HYDRONIC PIPING	01/15/19	100% CONSTRUCTION DOCUMENTS
23 23 00	REFRIGERANT PIPING	01/15/19	100% CONSTRUCTION DOCUMENTS
23 25 00	HVAC WATER TREATMENT	01/15/19	100% CONSTRUCTION DOCUMENTS
23 25 01	GLYCOL FEED SYSTEM	01/15/19	100% CONSTRUCTION DOCUMENTS
23 31 13	METAL DUCTS	03/15/19	Delta 3
23 33 00	AIR DUCT ACCESSORIES	01/15/19	100% CONSTRUCTION DOCUMENTS
23 34 23	HVAC POWER VENTILATORS	01/15/19	100% CONSTRUCTION DOCUMENTS
23 36 00	AIR TERMINAL UNITS	01/15/19	100% CONSTRUCTION DOCUMENTS
23 37 13	DIFFUSERS, LOUVERS, REGISTERS & GRILLES	01/15/19	100% CONSTRUCTION DOCUMENTS
23 41 00	PARTICULATE AIR FILTRATION	01/15/19	100% CONSTRUCTION DOCUMENTS
23 51 23	FUEL-FIRED APPLIANCE VENTS	01/15/19	100% CONSTRUCTION DOCUMENTS
23 52 33.13	COPPER FIN TUBE BOILERS	01/15/19	100% CONSTRUCTION DOCUMENTS
23 53 13	BOILER FEEDWATER PUMPS	01/15/19	100% CONSTRUCTION DOCUMENTS
23 64 26	ROTARY-SCREW WATER CHILLERS	01/15/19	100% CONSTRUCTION DOCUMENTS
23 73 14	OUTDOOR AIR HANDLING UNITS	01/15/19	100% CONSTRUCTION DOCUMENTS
23 73 33	OUTDOOR, INDIRECT, FUEL-FIRED MAKEUP UNITS	01/15/19	100% CONSTRUCTION DOCUMENTS
23 81 26	SPLIT-SYSTEM AIR CONDITIONERS	01/15/19	100% CONSTRUCTION DOCUMENTS
23 82 16.14	ELECTRIC RESISTANCE AIR COILS	01/15/19	100% CONSTRUCTION DOCUMENTS
23 82 19	FAN COIL UNITS	01/15/19	100% CONSTRUCTION DOCUMENTS
23 84 16	MECHANICAL DEHUMIDIFICATION UNITS-CEK	01/15/19	100% CONSTRUCTION DOCUMENTS

DIVISION 26: ELECTRICAL

26 05 00	GENERAL PROVISIONS	01/15/19	100% CONSTRUCTION DOCUMENTS
26 05 01	SCOPE OF WORK	01/15/19	100% CONSTRUCTION DOCUMENTS
26 05 02	TEMPORARY & REMODELING WORK	01/15/19	100% CONSTRUCTION DOCUMENTS
26 05 19	LOW-VOLTAGE ELECTRICAL POWER CONDUCTORS & CABLES	01/15/19	100% CONSTRUCTION DOCUMENTS
26 05 26	GROUNDING & BONDING OF ELECTRICAL EQUIPMENT	01/15/19	100% CONSTRUCTION DOCUMENTS
26 05 33	RACEWAY & BOXES FOR ELECTRICAL SYSTEMS	01/15/19	100% CONSTRUCTION DOCUMENTS
26 05 43	UNDERGROUND DUCTS & RACEWAYS FOR ELECTRICAL SYSTEMS	01/15/19	100% CONSTRUCTION DOCUMENTS
26 05 44	UNDERGROUND PULL BOXES & HANDHOLES	01/15/19	100% CONSTRUCTION DOCUMENTS
26 05 48	VIBRATION & SEISMIC CONTROL - Spec deleted	03/15/19	Delta 3
26 05 53	IDENTIFICATION FOR ELECTRICAL SYSTEMS	01/15/19	100% CONSTRUCTION DOCUMENTS
26 09 13	POWER SYSTEM METERING	01/15/19	100% CONSTRUCTION DOCUMENTS
26 09 23	LIGHTING CONTROL DEVICES - DELTA 4 - ASI 002 2019	04/19/19	Delta 4
26 09 24	LIGHTING CONTROL DEVICES - RELAY PANEL NETWORK SYSTEM	04/19/19	Delta 4
26 22 13	LOW VOLTAGE DISTRIBUTION-TRANSFORMERS	01/15/19	100% CONSTRUCTION DOCUMENTS
26 24 12	SERVICE ENTRANCE SWITCHBOARDS	01/15/19	100% CONSTRUCTION DOCUMENTS
26 24 13	DISTRIBUTION SWITCHBOARDS	01/15/19	100% CONSTRUCTION DOCUMENTS
26 24 16	PANELBOARDS	01/15/19	100% CONSTRUCTION DOCUMENTS
26 27 26	WIRING DEVICES	01/15/19	100% CONSTRUCTION DOCUMENTS
26 28 13	OVERCURRENT PROTECTION	01/15/19	100% CONSTRUCTION DOCUMENTS
26 28 16	ENCLOSED SWITCHES & CIRCUIT BREAKERS	01/15/19	100% CONSTRUCTION DOCUMENTS
26 32 13	DIESEL ENGINE DRIVEN GENERATOR SETS	01/15/19	100% CONSTRUCTION DOCUMENTS
26 32 15	WEATHERPROOF SOUND ATTENUATED ENCLOSURE	01/15/19	100% CONSTRUCTION DOCUMENTS

26 36 23	AUTOMATIC TRANSFER SWITCHES	01/15/19	100% CONSTRUCTION DOCUMENTS
26 41 13	LIGHTNING PROTECTION SYSTEM - Spec deleted	03/15/19	Delta 3
26 43 13	SURGE PROTECTIVE DEVICES	01/15/19	100% CONSTRUCTION DOCUMENTS
26 51 00	INTERIOR LIGHTING FIXTURES & LAMPS (LED ONLY)	01/15/19	100% CONSTRUCTION DOCUMENTS
26 56 00	EXTERIOR LIGHTING FIXTURES & LAMPS (LED ONLY)	01/15/19	100% CONSTRUCTION DOCUMENTS

DIVISION 27 - COMMUNICATIONS

27 05 00	GENERAL PROVISIONS	01/15/19	100% CONSTRUCTION DOCUMENTS
27 05 26	GROUNDING & BONDING FOR COMMUNICATIONS SYSTEMS	01/15/19	100% CONSTRUCTION DOCUMENTS
27 05 28	PATHWAYS FOR COMMUNICATIONS SYSTEMS	01/15/19	100% CONSTRUCTION DOCUMENTS
27 05 36	CABLE TRAY FOR COMMUNICATIONS SYSTEMS	03/15/19	Delta 3
27 05 44	SLEEVES & SLEEVE SEALS FOR COMMUNICATIONS PATHWAYS & CABLING	01/15/19	100% CONSTRUCTION DOCUMENTS
27 11 00	COMMUNICATIONS EQUIPMENT ROOM FITTINGS	01/15/19	100% CONSTRUCTION DOCUMENTS
27 13 00	COMMUNICATIONS BACKBONE CABLING	01/15/19	100% CONSTRUCTION DOCUMENTS
27 13 43.53	DISTRIBUTED TELEVISION SYSTEM	04/19/19	Delta 4
27 15 00	COMMUNICATIONS HORIZONTAL CABLING	01/15/19	100% CONSTRUCTION DOCUMENTS
27 41 16	AUDIO VISUAL SYSTEMS	04/19/19	Delta 4
27 41 43	INSTALLATION OF TELEVISION DISPLAYS, MOUNTS	04/19/19	Delta 4
27 60 00.30	VIDEO COACHING CABLING PLANT	04/19/19	Delta 4

DIVISION 28 - ELECTRONIC SAFETY & SECURITY

28 05 00	GENERAL PROVISIONS	03/15/19	Delta 3
28 05 01	SCOPE OF WORK	03/15/19	Delta 3
28 05 02	TEMPORARY & REMODELING WORK	03/15/19	Delta 3
28 05 93	TESTING OF DUCT DETECTORS & SMOKE/FIRE DAMPERS	03/15/19	Delta 3
28 31 00	FIRE DETECTION & ALARM	03/15/19	Delta 3
28 31 01	FIRE ALARM SYSTEM GRAPHIC COMMAND WORKSTATION	03/15/19	Delta 3

DIVISION 31 - EARTHWORK

31 00 00	EARTHWORK	02/18/19	Delta 2
31 10 00	SITE CLEARING	01/15/19	100% CONSTRUCTION DOCUMENTS
31 31 16	TERMITE CONTROL	01/15/19	100% CONSTRUCTION DOCUMENTS

DIVISION 32 - EXTERIOR IMPROVEMENTS

32 12 16	ASPHALT PAVING	02/18/19	Delta 2
32 13 13	CONCRETE PAVING	03/15/19	Delta 3
32 13 73	CONCRETE PAVING JOINT SEALANTS	01/15/19	100% CONSTRUCTION DOCUMENTS
32 17 23	PAVEMENT MARKINGS	02/18/19	Delta 2
32 80 00	IRRIGATION SYSTEMS PH1	02/18/19	Delta 2
32 90 00	PLANTINGS PH1	01/15/19	100% CONSTRUCTION DOCUMENTS
32 92 00	TURF SOD PH1	01/15/19	100% CONSTRUCTION DOCUMENTS

SCOTTSDALE STADIUM MULTI USE EVENT CENTER

SUPPLEMENTAL INFORMATION

TITLE	ISSUE DATE	ISSUED FOR
CITY OF SCOTTSDALE		
COS Building Supplemental Instructions (Revision Date: May 2018)	5/1/18	100% CD AND PROGRESS SET
COS Design Standards and Policies Manual (City of Scottsdale - 2018)	2018	100% CD AND PROGRESS SET
SIGNAGE		
Scottsdale CD - Message Schedule - Ballpark	4/15/19	100% CONSTRUCTION DOCUMENTS
Scottsdale CD - Message Schedule - Clubhouse	4/15/19	100% CONSTRUCTION DOCUMENTS
Scottsdale CD - Pageantry Design Manual	4/15/19	100% CONSTRUCTION DOCUMENTS
Multi-Use Event Center		
G.2.0 - General Notes, Contact Information and Sign Type List		
G.3.0 - Document Symbols, Abbreviations, Materials and Colors		
G.4.0 - Location Plan		
G.5.0 P-01 Vinyl Entry Door Logo		
G.6.0 P-02 Aluminum Print		
G.7.0 P-03 FCO SF Giants Logo		
G.8.0 P-04 Vinyl Locker room Door		
G.9.0 P-05 Vinyl Scottsdale Image		
G.10.0 P-06 San Francisco FCO Copper		
G.11.0 P-07 Framed Hall of Fame Images		
G.12.0 P-08 World Series Logos		
G.13.0 P-09 Giants Mirror Vinyl		
G.14.0 P-10A World Series Champions FCO		
G.15.0 P-10B World Series Years FCO		
Scottsdale CD - Signage Design Manual	4/15/19	100% CONSTRUCTION DOCUMENTS
Multi-Use Event Center		
<u>SIGN TYPE D - DIRECTIONAL SIGNS</u>		
G.2.0 - General Notes, Contact Information and Sign Type List		
G.3.0 - PROJECT PICTOGRAMS & LOGOS		
G.4.0 D-04A Info Wall Plaque		
G.5.0 D-04B Info Wall Plaque (Larger)		
<u>SIGN TYPE ID - IDENTIFICATION SIGNS</u>		
G.8.0 ID-01A Room ID - Interior (Front of House)		
G.9.0 ID-01B Room ID - Exterior		
G.10.0 ID-02 Room ID - Interior (Back of House)		
G.11.0 ID-03A Pictogram ID		
G.12.0 ID-03B Removable Pictogram ID		
G.13.0 ID-03C Pictogram ID Ext.		
G.14.0 ID-04A Blade w/ Pictogram		
G.15.0 ID-04B Blade w/ Pictogram Ext.		
G.16.0 ID-05 Office/Conference Room ID		
G.18.0 ID-10A Stair Egress		
G.19.0 ID-10B Stair Egress Ext.		
G.20.0 ID-11A Elevator Level ID		
G.22.0 ID-13 Door Vinyl		
<u>SIGN TYPE R - REGULATORY SIGNS</u>		
G.25.0 R-03A In Case of Fire		
G.27.0 R-04 MEP		
G.28.0 R-06 Exit Path		
G.30.0 R-11 Informational Content		
<u>SIGN TYPE X - EXTERIOR SIGNS</u>		
G.32.0 X-01B Building ID - South		
G.33.0 X-02 Building ID - West		
G.35.0 X-07 Building Address		

SCOTTSDALE STADIUM MULTI USE EVENT CENTER

SUPPLEMENTAL INFORMATION

TITLE	ISSUE DATE	ISSUED FOR
<u>SIGN TYPE B - ENVIRONMENTAL GRAPHICS</u>		
G.36.0 B-01 Suspended Logo - Option 1		
G.37.0 B-01 Suspended Logo - Option 2		
Ballpark		
<u>SIGN TYPE D - DIRECTIONAL SIGNS</u>		
G.6.0 D-04C Info Wall Plaque - Exterior		
G.7.0 D-05 Map Wall Plaque		
<u>SIGN TYPE ID - IDENTIFICATION SIGNS</u>		
G.8.0 ID-01A Room ID - Interior (Front of House)		
G.9.0 ID-01B Room ID - Exterior		
G.10.0 ID-02 Room ID - Interior (Back of House)		
G.11.0 ID-03A Pictogram ID		
G.13.0 ID-03C Pictogram ID Ext.		
G.15.0 ID-04B Blade w/ Pictogram Ext.		
G.16.0 ID-05 Office/Conference Room ID		
G.17.0 ID-06 Press ID		
G.19.0 ID-10B Stair Egress Ext.		
G.21.0 ID-11B Elevator Level ID Ext.		
G.23.0 ID-14 Assistive Listening Device		
<u>SIGN TYPE R - REGULATORY SIGNS</u>		
G.24.0 R-02 Code of Conduct		
G.26.0 R-03B In Case of Fire Ext.		
G.28.0 R-06 Exit Path		
G.29.0 R-10 Snap Frame Map Graphic		
<u>SIGN TYPE X - EXTERIOR SIGNS</u>		
G.31.0 X-01A Canopy Signage		
G.34.0 X-04 Gate ID		
Scottsdale P3 Sign Location Plan - CD Set 2019.04.09 - Clubhouse	4/15/19	100% CONSTRUCTION DOCUMENTS
P3-G201 - CLUBHOUSE SIGN LOCATION PLAN - FIRST LEVEL AREA A		
P3-G202 - CLUBHOUSE SIGN LOCATION PLAN - FIRST LEVEL AREA B		
P3-G203 - CLUBHOUSE SIGN LOCATION PLAN - FIRST LEVEL AREA C		
P3-G204 - CLUBHOUSE SIGN LOCATION PLAN - FIRST LEVEL AREA D		
P3-G205 - CLUBHOUSE SIGN LOCATION PLAN - SECOND FLOOR AREA A+B		
P3-G206 - CLUBHOUSE SIGN LOCATION PLAN - THIRD FLOOR AREA A+B		
Scottsdale P4 Sign Location Plans - Permit Set 2019.04.10 - Ballpark	4/15/19	100% CONSTRUCTION DOCUMENTS
P4-G201 - SIGN LOCATION PLAN - CONCOURSE LEVEL AREA N		
P4-G202 - SIGN LOCATION PLAN - CONCOURSE LEVEL AREA O		
P4-G203 - SIGN LOCATION PLAN - PRESS LEVEL AREA M		
P4-G204 - SIGN LOCATION PLAN - PRESS LEVEL AREA O		

FF&E FLOORPLANS & SPECIFICATIONS

20190410_CofS Multi-Use Event Center FFE Spec's	4/15/19	100% CONSTRUCTION DOCUMENTS
---	---------	-----------------------------

SCOTTSDALE STADIUM MULTIPURPOSE EVENT CENTER

GMP 2 - RFI LOG
P.0104

*GMP 2- RFI No.	Open / Closed	Date	Author	Discipline	Reference Document	Question	Response	Date	Response by
001	Closed	3/26/19	Dennis M / HUNT	Architectural	Specifications	Refer to Sheets G150, P4-A206, P4-S224, and Specification Section 05 58 17. 1) Sheet P4-S224 specifies the Entry Canopy Roof Deck as 1 1/2" Type B x 22 ga galvanized perforated (43% open) metal deck by Verco (or equal). Sheet P4-A206 calls out roof type R3 for this material which is specified, per Sheet G150, as 1 1/2" perforated steel deck, powder coated. We would like to propose using the MTL-7 material, outlined in specification section 05 58 17, to be used for the Entry Canopy Roof Deck in lieu of powder coated perforated steel deck. The material would match the MTL-7 material on the Clubhouse and it would have a 20 year Finish Warranty. Is this acceptable? 2) For the MTL-7 material, we would like to propose an equal material to the specified panels. See details below. Is this an acceptable option? • SPECIFIED MATERIAL: PAC-CLAD by Peterson Aluminum - 0.040 thickness aluminum - round 1/4" diameter perforations on 3/8" staggered centers - 7.2 Panel Profile (per RFI 010) • PROPOSED MATERIAL: ATAS Belvedere - 0.040 thickness aluminum - round 1/4" diameter perforations on 3/8" staggered centers for a 40% Open Area - 7.2 Rib Profile	1. yes MTL-7 is acceptable at entry canopy. Prefinished color to be Morin non-custom premium color medium gray or approved equal. Yes 20 yr warranty is good. .040 aluminum round 1/4" dia perf on 3/8" staggered centers 40% open. 2. Pac-clad or Atas are both acceptable as they have same perf, same metal profile and same thickness.	4/22/19	Adam Sprenger DWL
002	Closed	3/17/19	Dennis M / HUNT	Architectural	Drawings	Refer to sheets P4.2-A203 and P4.2-A700. On Sheet P4.2-A203, Doors C-106A, C-109A, C-111A, C-113A, & C-115A are all shown with side lites. On the Door Schedule on Sheet P4.2-A700, these doors are all listed with Door Frame Type 1, which does not have a side lite, but are listed with GL-3 glass in the 'Glass' column. Will these side lites be integral with the door frames or will they be separate openings? Also, what size are the side lites?	Doors have a 1'-6" HM sidelite. Sidelite is integral to HM frame. Revised to frame type 6. yes GL-3 1/4" tempered. See attached revised door schedule.	4/22/19	Adam Sprenger DWL
003	Closed	3/17/19	Dennis M / HUNT	Architectural	Drawings	Refer to Sheets P4.2-A208 and P4.2-A700. 1) On Sheet P4.2-A208, Doors P-226A, P-P227A, P-2285A, & P-231A are all drawn as swinging doors. On the Door Schedule on Sheet P4.2-A700, these are shown as having frame Type 4, which is for a pocket door. Which is correct? 2) On the Door Schedule on Sheet P4.2-A700, these are shown with GL-1 listed in the 'Glass' column. The door type and frame type for these does not show any glass. Which is correct?	See attached P4.2-A700 delta 5 door schedule with hardware sets. See delta 4 for revised hardware spec with sets. Doors P-226A, P-P227A, P-2285A, & P-231A HM frame type revised to type 5. field verify openings for transom heights. Doors are flush HM doors (no glass). Transom is a 1" IGU type GL-1.	4/22/19	Adam Sprenger DWL
004	Closed	3/17/19	Dennis M / HUNT	Architectural	Drawings	Refer to Sheets P3-A656 & P3-A666. Elevation 8/P3-A666 appears to show a Sanitary Products Dispenser in Women's Restroom CH-150. This item is not listed on the Restroom Accessories Legend on Sheet P3-A656. 1) Please provide a specification for this item. 2) Are there any other locations where this item will be installed.	Sanitary products dispensers are not included in this project. See 100% CD Enlarged restroom plan sheets P3A653-658 accessories legend for approved products. A Sndisposal is shown on plans type Bobrick B-353 1 sided and Bobrick B354 back to back are approved. The object on the DD set may have been the recessed baby changer station.	4/22/19	Adam Sprenger DWL
005	Closed	3/17/19	Dennis M / HUNT	Architectural	Drawings	Refer to Sheets P3-A654 & P3-A663. Elevation 11/P3-A663 and note 296/P3-A654 show a wall-mounted paper towel dispenser and trash disposal unit. This item is not listed and specified on the Accessories Legend on Sheet P3-A654. Please provide a specification for this item.	Auto paper tower dispenser Bobrick B-29744 has a 4" recess into wall and is noted on P3 enlarged restroom plan sheets P3-A653 thru 658. This requires power to each. Trash units will be provided and installed by COS.	4/24/19	Adam Sprenger DWL
006	Closed	3/17/19	Dennis M / HUNT	Architectural	Drawings	Refer to Sheets P4.2-A203 & P4.2-A503 and the response to GMP2 RFI 018. Section 4/P4.2-A503 shows a clerestory window on the north exterior wall of the City Offices. GMP2 RFI 018 was written to ask for the size(s) of the clerestory windows. The response said that there will be (3) 2'x 4' clerestory windows along the north wall, but it did not provide a layout for the windows. Please provide an elevation view of this exterior wall showing where the clerestory windows will go.	See attached sheet P4.2-A400 for north elevation dimensioning windows. Yes, (3) 2x4 storefront SF1.	4/22/19	Adam Sprenger DWL
007	Closed	3/17/19	Dennis M / HUNT	Architectural	Drawings	Refer to Sheet P4.2-A700. Please provide door hardware sets for all the doors listed on the door schedule.	See attached P4.2-A700 delta 5 door schedule with hardware sets. See delta 4 for revised hardware spec with sets.	4/22/19	Adam Sprenger DWL

SCOTTSDALE STADIUM MULTI-USE EVENT CENTER

GMP 2 - RF LOG
P3: P4

*GMP 2- RFI No.	Open / Closed	Date	Author	Discipline	Reference Document	Question	Response	Date	Response by
008	Closed	4/18/19	Kevin Z / HUNT	Architectural	Drawings	<p>1. TL-1A and TL-2 appear to be the same product, installed in the same orientation based on the Material Schedule on P3-A800 and various elevations. Please confirm if there is any difference between the product or installation of TL-1A and TL-2.</p> <p>2. Elevation 7/P3-A818 shows TL-3B installed staggered. Please add stagger note to Material Schedule on P3-A800.</p> <p>3. Elevation 7/P3-A818 does not label the narrow wall accent tile. Confirm TL-5 is the correct product to install.</p>	<p>1. TL-2 - COLOR: BEIGE (REVISED ON MATERIAL SCHEDULE - SHEET P3-A800).</p> <p>2. TL-3B - YES, INSTALLATION IS STAGGERED (NOTED ON MATERIAL SCHEDULE - SHEET P3-A800).</p> <p>3. ACCENT TILE AT HYDROTHERAPY WALLS IS TL-5 (TAGGED ON ELEVATION 7/P3-A818). See attached revised schedule. Will be included in delta 5.</p>	4/23/19	Melissa Lowenthal DWL
009	Closed	4/19/19	Kevin Z / HUNT	Architectural	Drawings	<p>On sheet P3-A802, at the north entrance to room CH 199 (no door #) there is no floor finish shown. 9/P3-A815 appears to show a ramp at the door opening. Please provide details for this ramp.</p>	<p>See delta 4 sheets P2-A200 and P2-5/P2-A604. Ramp is a tube steel construction with diamond plate floor surface. It is not an accessible route. Floor surface not shown on 4.2 finish plans because its constructed under P2.</p>	4/22/19	Adam Sprenger DWL
010	Closed	4/22/19	Dennis M / HUNT	Architectural	Drawings	<p>Refer to Sheets P3-A860 & P3-A861 regarding locker details. As discussed in our Phone Meeting on Thursday 4/18/19, please confirm the following:</p> <p>1) Sheet P3-A860 shall be deleted in its entirety.</p> <p>2) Sheet P3-A861 shall be revised to remove all references to perforated metal vents in the lockers. Also, the drywall behind the lockers will be left off to allow for ventilation.</p>	<p>1. confirmed. Sheet P3-A860 has been deleted and index updated. 2. metal screen behind locker references deleted and notes added to not instal gyp from 0 to 7" behind lockers on sheet P3-A61. see attached.</p>	4/23/19	Adam Sprenger DWL
011	Closed	2/23/19	Dennis M / HUNT	Architectural	Drawings	<p>Refer to P3-A201 & 3/P3-A657.</p> <p>The toilet stall in CH142 Hydrotherapy Room appears to have a toilet partition on the north side of it, but it is not labeled as such. Should this be a type 'PART-1' partition & door in this location?</p>	<p>Confirmed hydro rr partition is label PART-1 on 100% P3 CD sheet P3-A657 dated 4/15/19</p>	4/24/19	Adam Sprenger DWL
012	Closed	4/23/19	Dennis M / HUNT	Architectural	Drawings	<p>Refer to Sheets P3-A652 - P3-A667.</p> <p>1) The only mirror listed on the accessory schedule (page P3-A656) is model #8026 by ASI, which is a stainless steel mirror with masonite backing (see attached cut sheet). Typically this mirror is installed in highly vandalized locations like high school and city parks. Is this intended only for the Public Restrooms CH-148 & CH-150? What type of mirrors shall go in the Locker Rooms and other Restrooms?</p> <p>2) Restrooms CH-148, CH-150 and C-104 do not show mirrors in these rooms. Should these Restrooms have mirrors? Where will they go and how many shall be installed in CH148 & CH-150?</p> <p>3) Restrooms CH-148 & CH-150 do not show soap dispensers. Do soap dispensers need to be installed or are they integral with the LAV-4 wash stations? If they are required, where will they go and how many shall be installed?</p> <p>4) Toilet accessories Legend Keynote 'US' is a utility shelf. None of the stall types on Sheet P3-A652 show any utility shelves. The enlarged restroom plans for Restrooms CH-105, CH-108, CH-142, CH-148, CH-150, CH-302, P-203 & P-224 appear to show utility shelves in several of the stalls (see attached sheet). Are these to be utility shelves or something else?</p> <p>5) Toilet accessories Legend Keynote 'MSC' is for a Medical Sharps Container. These are not labeled anywhere on the drawings. Are these to be installed in Doctor's Offices CH-130 & CH-132? Will they need to be installed anywhere else?</p>	<p>1. COS directed to not install mirrors in public rr's CH-148 and CH-150. Mirrors for other restrooms are currently indicated as #8026. ASI has other mirrors of higher quality models#8287B polished tempered glass good rating or 8287L interlayered mirror excellent rating. Hunt please price and direct if we can adjust to the L model typ. See attached cut sheet.</p> <p>2. COS directed to not install mirrors in public rr's CH-148 and CH-150.</p> <p>3. See added soap dispensers on attached sheet for CH-148 and CH-150 however we are waiting for approval by COS on model number.</p> <p>4. utility shelves removed from individual stalls. See attached enlarged rr plans.</p> <p>5. COS has confirmed sharp containers are not required on this project. Accessories legend revised to remove sharps.</p>	4/30/19	Adam Sprenger DWL
013	Closed	4/23/19	Dennis M / HUNT	Plumbing	Drawings	<p>Refer to Sheets P3-A656 & P3-202.</p> <p>Enlarged Restroom Plan 1/P3-A656 shows LAV4 wash stations in Restrooms CH-148 & CH-150. Sheet P3-202 shows (4) LAV-1 fixtures (counter top mounted lavatories) in each Restroom. Which is correct? if these shall be counter top mounted, please also provide counter top details for these lavs.</p>	<p>Lavs in CH 148 and CH-150 are the gang style lavs not individual lavs. COS approved sloan D5WD-83000 (has 2 drains in lav basin) with (3) moen 8886 faucets for each restroom CH-148 and CH-150. These lavs are are wall mounted - no counter top.</p>	5/2/19	Adam Sprenger DWL
014	Closed	4/23/19	Dennis M / HUNT	Architectural	Drawings	<p>Refer to Sheet P3-A800 and Details 3, 5, & 6 on Sheet P3-A867.</p> <p>These details all show Stainless Steel base at the wood panels around the elevator hoistway. The Material Schedule on Sheet P3-A800 does not list Stainless Steel base as a type of wall base.</p> <p>Please provide a specification for the Stainless Steel base and call out any other locations that are to receive it.</p>	<p>Stainless steel base only occurs on this project at the base of elevator wall finish at L1 L2 and L3. Finish schedule P3-A800 updated to indicate wall base type B-5 stainless steel base #4 horiz brushed on wood backing. Yes construct per details 3,5,6 on P3-A867.</p>	4/30/19	Adam Sprenger DWL
015	Closed	4/23/19	Dennis M / HUNT	Architectural	Specifications	<p>Refer to Specification Section 06 40 00-1.4-D.</p> <p>Specification Section 06 40 00 Architectural Woodwork paragraph 1.4.D is calling for Woodwork Institute-certified compliance certificates. Custom locker manufacturers do not belong to either the Woodwork Institute or AWI. They do adhere to FSC and LEED requirements. Can the Woodwork Institute Certification requirement be waived for the custom wood lockers?</p>	<p>OK AWI requirement waived for custom locker manufacture only.</p>	4/30/19	Adam Sprenger DWL

SCOTTSDALE STADIUM MULTI-USE EVENT CENTER

GMP 2 - RFI LOG
P3 / P4

*GMP 2- RFI No.	Open / Closed	Date	Author	Discipline	Reference Document	Question	Response	Date	Response by
016	Closed	4/26/19	Lindsey H / Western Millwork, Inc	Architectural	Drawings	Page P3-A863 is showing Player lockers Type 1A and 1B. Is millworker to quote these two variations based on the floor plans which appear to show two types of lockers? See attached marked up drawing.	correct: 1a is for player lockers with the bench seat and type 1b is for without the bench seat. mark up is correct.	5/2/19	Adam Sprenger DWL
017	Closed	4/26/19	Lindsey H / Western Millwork, Inc	Architectural	Drawings	Details 8,12/P3-A863 are showing a slatted wood bench for the typical ADA bench. Elevations 7/A814 & 14/A815 are showing PL-5 ADA benches. Which is correct? Please clarify locations for ADA bench shown on 8,12/P3-A863. This detail does not appear to be referenced on the plans. Also, please confirm that the object on the west end of the Player's Locker Room on sheet P3-A802 is also an ADA Bench.	yes object on west end of player locker room ch 152 is the fold down ada bench. this one should be 1/4 sawn white oak. Staff and womens locker room ada bench are clad with PL-5. Provide 1 fold down ada bench per 8/12/P3-A863 in the following rooms CH 126 womens, ch-107 staff, ch-152 players clubhouse.	5/2/19	Adam Sprenger DWL
018	Closed	4/26/19	Lindsey H / Western Millwork, Inc	Architectural	Drawings	Please specify the plastic laminate to be used on the ADA knee panels at vanities shown on P3-A661, P3-A663 & P3-A665.	PL-3	5/2/19	Adam Sprenger DWL
019	Closed	4/26/19	Lindsey H / Western Millwork, Inc	Architectural	Drawings	Please specify countertop material at elevation 2/P4.2-A814 in C107, Reception	SS-2 for counter top and PL-2 for the wall of the desk casework	5/2/19	Adam Sprenger DWL
020	Closed	4/26/19	Lindsey H / Western Millwork, Inc	Architectural	Drawings	Millwork Attachment II - Section E, line 4 is calling for furnish and install bar ledge/drink rail at Charros area - Please provide plan and detail references for this item. Cannot locate this information in current set of plans. Note 69/P1-A013 shows the demo of the existing drink bar in the Charros area. Sheets P4.2-A200 & P4.2-A501 do not show a new drink bar. Is this still part of the scope? If so, please provide materials and details.	yes demo the existing drink rail at concourse level charros. New drink rails are not in project scope at charros, but will be at the revised aluminum bleachers.	5/2/19	Adam Sprenger DWL
021	Closed	4/26/19	Lindsey H / Western Millwork, Inc	Architectural	BID Manual - HUNT	Millwork Attachment II - Section E, line 3 is calling for furnish and install of reception desks but there are no reception desks indicated on the current drawings - please clarify.	Disregard this section of the Attachment II Document. N [Previous drawing sets showed a Reception Desk, but it was deleted from the scope on the 100% CD Set]	4/26/19	Dennis M - AECOM HUNT
022	Closed	4/26/19	Lindsey H / Western Millwork, Inc	Architectural	BID Manual - HUNT	Millwork Attachment II - Section E, line 6 is calling for furnish and install of sill cap at coiling doors. Please provide plan, detail and material for this item. Cannot locate on current set of documents.	Disregard this section of the Attachment II Document. N [Previous drawing sets showed a sill cap, but it was deleted from the scope on the 100% CD Set]	4/26/19	Dennis M - AECOM HUNT
023	Closed	4/26/19	Lindsey H / Western Millwork, Inc	Architectural	BID Manual - HUNT	Millwork Attachment II - Section E, line 13 - please specify items to be included in mock-up scope.	See Spec Section 06 40 00 -1.4-F regarding a mock-up of one Player's Locker. N	4/26/19	Dennis M - AECOM HUNT
024	Closed	4/26/19	Kevin Z / HUNT	Architectural	Drawings	1. Please confirm TL-5 on 10&12/P3-A633 is 1'-0" wide . 2. 1/P3-A661 notes "repeat pattern all walls." Please confirm this is applicable to room CH 105 only, not all restroom walls.	1. confirmed TL-5 is a 1'-0" wide x full ht mosaic pattern. 2. confirmed this vert stripe pattern is for CH 105 only, not all restrooms.	5/2/19	Adam Sprenger DWL
025	Closed	4/29/19	Kevin Z / HUNT	Architectural	Drawings	1. Please confirm if base detail 3/P3-A671 applies to all Restroom (P3 and P4) and Hydrotherapy Room walls with wall tile. 2. Is wall waterproofing required up to the ceiling at all showers? 3. Do unisex toilets CH 205 and CH 302 require waterproofing? 4. Is waterproofing required at Hydrotherapy Room walls and floors? If so, how high on the walls?	1. no the 4" tile base w/ schuter and tile floor detail does not occur everywhere. Further definition of various Base details will be provided in delta 5. 2. Yes liquid waterproofing on cmu and gyp up to ceiling at all showers and restroom walls. 3. 2nd and 3rd floor restrooms need liquid waterproofing on floor before tile. 4. yes liquid waterproofing on hydro walls to ceiling and floors before tile. See revised wall types P2, P4 P5, P7 and F1.	5/9/19	Adam Sprenger DWL
026	Closed	4/29/19	Kevin Z / HUNT	Architectural	Drawings	1. Please delete ceiling type P3 and blank wall type callouts on sheet P4.2-A520. 2. Please delete metal panel soffit assembly note on 3/P4.2-A520 or provide further clarification.	correct, exterior of ticketing and offices will not have ceiling C06 faux wood ceiling. it will be exposed to structure and will be primed and painted. The fascia panels at the clubhouse have deep beam perimeters and can have attachment at top and bottom of beam to resist torsion. The panels at ticketing and offices are supported off small steel channels. Will need to add diag kickers or horizontal steel braces due to deleting the ceiling.	5/9/19	Adam Sprenger DWL
027	Closed	4/30/19	Dennis M / HUNT	Architectural	Specifications	Refer to Specification Section 08 56 59 Ticket Windows & Accessories. None of the previous versions of the Project Manual included a Specification Section for Ticket Windows & Accessories. This is because all of the ticket windows in the City & Ticket Office Building are being relocated from the previous Ticket Office that was demolished as part of Package 1. The CD Set Project Manual, Delta 4 Dated 4/19/19, included this specification section outlining the scope as all new materials. Should the ticket windows be relocated from the previous Ticket Office, or should they all be new?	ticket windows should be relocated from the demo'd clubhouse/ticket bldg.	4/30/19	Adam Sprenger DWL
028	Closed	4/30/19	Kevin Z / HUNT	Architectural	Drawings	Please respond to framed wall clarifications clouded in red in the attached drawings.	stair and elevator walls are CMU with gyo furring wall types. See attached sheets for other missing wall tags.	5/9/19	Adam Sprenger DWL

SCOTTSDALE STADIUM MULTI-USE EVENT CENTER

GMP 2 - RFI LOG
P3-P4

*GMP 2- RFI No.	Open / Closed	Date	Author	Discipline	Reference Document	Question	Response	Date	Response by
029	Closed	4/30/19	Kevin Z / HUNT	Architectural	Drawings	P3-A300 and all RCP's, Note 7: Paint exposed utilities in exposed structure areas to match exposed structure. P3-A800 Material Schedule, Note 8: Paint not required at exposed structure ceiling areas UNO. P3-A302 and A303, Keynote 267: Paint all elements and exposed structure above 20' at Multi-Use Room CH 100. This is the only location that is called out to receive paint. Please clarify all other locations with exposed utilities and exposed structure. Are all exposed utilities to be painted and is CH 100 the only room that exposed structure is painted?	will fix text in delta 5. Yes, dryfall paint exposed structure, metal deck ductwork and all pipes ect in multi-purpose, L3 bullpen, level 2 weight room, level 2 corridor, team store after K13, all Level 1 corridors that do not have a grid ceiling with tiles. MEP, elec, IDF type spaces dont have ceilings can have exposed metal deck, but beams and joists do need primer..	5/9/19	Adam Sprenger DWL
030	Closed	5/1/19	Steven Draig	Equipment	Drawings	An ice machine is labeled in the Hydrotherapy Room on detail 4/P3-A261, but it is not shown or listed on the Food Service Equipment drawings. Please confirm the make and model of the ice machine required and update the Food Service Equipment drawings and specifications to include this ice machine.	Ice machine is the relocated hozaki (B-900PF ice storage bin with F-15000MAH ice maker) from the demo'd clubhouse. Clubhouse Kitchen ice machines are equipment pieces A73 and A91 indicated on food service elevations, floor plan. Model number and detailed information on kitchen ice machines are located in food service spec 11.40.00 dela 4 issue under item 73 and item 91.	5/1/19	Adam Sprenger DWL
031	Closed	5/1/19	Eric Strelow / Ford AV	Audio Visual	Specifications	Section 1.4 of Specification 27.41.13 Installation of TVs-Mounts reference a "TV Matrix" for further information. This TV Matrix is not listed in the specification and cannot be located on the drawings. Please provide this matrix to clarify the location, quantity, and type of TV's.	see attached matrix and clubhouse ffe plans. Matrix will be added to an architectural sheet (not in spec).	5/2/19	Adam Sprenger DWL
032	Open	5/1/19	Melanie L. / HUNT	Food Service	Drawings	(1) Per the Furniture Coordination Meeting with the City of Scottsdale and the Giants the following residential appliances are to be furnished and installed by the DBM team: Clubhouse, Kitchen CH 301 -Ice Maker -Microwave -Bottle filler w/ filtered water City Offices, Lobby C105 -Bottle filler w/ filtered water In addition, the following appliances shown on the architectural drawings are also to be furnished and installed by the DBM team: Clubhouse, Kitchen CH 301 -Refrigerator Press Tower, Press Box 5 P-225 -Refrigerator Please provide the make and model of these appliances and update the project documents with this information (2) Per previous design coordination meetings, the Clubhouse Kitchen CH 301 is to have a dishwasher that is to be furnished and installed by the DBM team. Elevation 2/P3-A824 and drawing P3-P306 do not call for a dishwasher. DBM team to confirm with COS and Giants if this is still required. If so, please update drawings to include a dishwasher and provide make and model for this appliance.			
033	Closed	5/6/19	Kevin Z / HUNT	Architectural	Drawings	P3-A200 does not call out washers or dryers in Laundry Room CH 119. P3-A844 calls out (5) washers and (4) dryers. P3-A847, P3-P301, and P3-E401 call out (4) washers and (3) dryers. 1. Please provide quantity of Continental Girbau EH060 soft-mount washers and quantity of EH080 washers. 2. The specified dryer manufacturer Laundritek is not a manufacturer. Please confirm Fagor is the dryer manufacturer and provide quantity of FED-75 and quantity of FED-120 dryers. 3. Please confirm if fire suppression systems are required in the dryers.	Provide (2) 80# Fagor FWS-80TP2 and (2) 60# Fagor FWS-60-TP2 washers. Provide (2) 75# FED 75 and (1) 120# FED-175 dryers without fire suppression. See attached laundry room layout for equipment.	5/15/19	Adam Sprenger DWL

SCOTTSDALE STADIUM MULTI USE EVENT CENTER

GMP 2 - RFI LOG
P3/P4

*GMP 2- RFI No.	Open / Closed	Date	Author	Discipline	Reference Document	Question	Response	Date	Response by
031.1	Closed	5/3/19	Sonia R / Hunt	Audio Visual	Specifications	N Attached is the TV spreadsheet with a few highlights. Could you please provide the missing information. 1.Hydrotherapy – 60" TV – how many? 2.Video Room – Shows quantity 7 - need to know size of TV. 3.Thirds Floor, Giants - shows quantity of 2 – need size of TV and mounting requirement.	See revised TV Spreadsheet. 1.) 2, 55" 2.) 55" 3.) 55", ceiling mounted. Also please note the following: •As listed on the updated matrix, the 2nd floor conf. room and 7 offices' new layout will be issued in the upcoming update. •There are 5 TVs, 55" that the Giants would like to use for display, schedule, info, etc. These have not been located by the Giants as of today. It is anticipated that these will go in the training areas/clubhouse.	5/6/19	Steve Boyd Populous
034	Closed	5/9/19	Kevin Z / HUNT	Architectural	Specifications	N Spec Section 07 19 00 Water Repellents states that it applies to the following vertical and horizontal surfaces: concrete unit masonry. Please confirm if this applies to all exterior CMU walls.	yes, spray exterior CMU wall with water repellant 07 19 00. Also, cmu does have an integral water repellant.	5/9/19	Adam Sprenger DWL
035	Closed	5/9/19	Sonia R / Hunt	Architectural	Drawings	N Please provide clarification on the following items from the Door Schedule: 1.Hardware set missing on sheet P4.2 – A700 all openings. Please provide. 2.087100 Specification was not issued with Delta 4 Specification Book. Please provide this specification. a.The original 087100 specification hardware sets stop at #24, there are now hardware sets that go past that number. 3.081416 Flush Wood Doors spec was re-issued and revised LEED Submittals Section 1.4.B. LEED Credit MR3 and IEQ2 do not align with description. Provide updated Section 01 81 13 Sustainable Design Requirements and indicate LEED version being followed. 4.P3: CH-156B is listed on sheet P3-A700 but is not found on floor plans. Please provide location. 5.P3: CH-100AA is listed on sheet P3-A700 but is not found on floor plans. Please provide location. 6.P3: CH-203 is listed on sheet P3-A700 but is not found on floor plans. Please provide location. 7.P3: CH-207 is listed on sheet P3-A700 but is not found on floor plans. Please provide location. 8.P3: CH-106A shows wall type P7 which corresponds to 8" CMU wall; however, head and jamb details 3/G170 are also called out which indicate stud wall. Please confirm wall type and head/jamb detail. 9.P3: CH-105H AND CH-108B are indicated to be frame type 3, double pocket. However, floor plans only indicate single pocket doors. Please confirm the door type for CH-105H and C-108B is frame type 4 10.P4: Openings P-206A and P-207A are listed on Door Schedule Sheet P4.2-A-700 but are not found on floor plans. Please provide location.	1. See attached P4.2 A700 2. See attached delta 4 hardware spec. 3. Don't understand the discrepancy being identified. Please clarify question. 4. door between Electrical Rm CH 155 and IDF CH 156. Door tag added to P3-A201 Delta 5. 5. door to janitor closet CH 108B. Changed door number to CH-1088B Delta 5. 6. door from lab analysis to yoga. Door tag added delta 5. 7. door to Lab analysis. Door tag added delta 5. However, L2 clubhouse will have new floor plan with added offices in upcoming delta 6. 8. CH-106A is in wall type P3. Added wall tag delta 5. 9. Changed to frame type 4 delta 5. 10. Unisex toilet P-206 and P-207. Door tags added delta 5.	5/10/19	Adam Sprenger DWL
036	Open	5/13/19	Amanda R / Architectural Millwork Design	Architectural	Drawings	N PL-5 is called out as "Wilsonart Compact Laminate #590 1" thickness Flax Alona Y0294K-60 Matte with edge banding to match." To be used as the Staff and Women's Lockers and some locker benches. Wilsonart is saying this specific color is not available in the #590 1" thickness it is only available in 3/4" thickness. Also it comes with a thick black core and the product can not be edge banded as requested. So the lockers will have 3/4" thick black edges. Is this acceptable? It might be more cost effective and more pleasantly aesthetic to use a the specified Wilsonart laminate on a Medex core which will provide a moisture resistance and then edge band this will a comparable solid color 3mm edgebanding.			
037	Open	5/13/19	Amanda R / Architectural Millwork Design	Architectural	Specifications	N The specification for the lockers 064000 specifies an Ives No. 405 Metal Clothes hook for the lockers however none are shown on the drawings. How many hooks are needed and where are they to be installed?			

GMP 2 - RFI LOG
P3 P4

[illegible]



SCOTTSDALE STADIUM MULTI-USE EVENT CENTER

CLARIFICATIONS AND ASSUMPTIONS

This GMP 2 includes the following Phase 1 scope items for the Scottsdale Stadium Multi-Use Event Center

Project:

- 06.10 Finish Carpentry / Millwork, Wood Lockers P3, P4
- 07.92 Firestopping, Caulking, Deck Coating P1, P2, P3, P4
- 08.33b Overhead Coiling Doors P3, P4
- 08.40b Interior & Exterior Glazing Systems P3, P4
- 09.30 Ceramic Tile P3, P4
- 09.50 Acoustical Ceilings P3, P4
- 09.65 Flooring - Resilient Base & Tile, Athletic Flooring, Carpet P3, P4
- 09.90 Painting / Special Coatings P1, P2, P3, P4
- 10.10 Signage and Graphics P3, P4
- 10.26 Fiberglass Reinforced Wall Panels P3, P4
- 10.28 Toilet Partitions & Accessories, FEC, Wall Protection P3, P4
- 11.23 Laundry Equipment P3
- 11.24 Fall Protection Equipment P2
- 12.20 Roller Shades P3, P4
- 12.63 Aluminum Stadium Seating P4
- 13.10 Hydrotherapy Equipment Start-up P3
- 13.24 Sauna and Steam Room Equipment P3
- 22.00b Plumbing P3, P4
- 23.00b HVAC P3, P4
- 26.00b Electrical, Security, Fire Alarm, Telecommunications P3, P4
- 27.00 Audio Video P3 & P4
- 32.30 Chain Link Fences, Tree Grate, Modify Netting P1, P2, P3, P4

This GMP 2 for Phase 1 of the Scottsdale Stadium Multi-Use Event Center is based upon the following clarifications and assumptions.

A. GENERAL

1. This GMP 2 was prepared based upon the following Phase 1 project documents, which are outlined in detail on the document log included in section 4 of this GMP. A slipsheeted set of the latest documents themselves are also included in section 4 of this GMP.
 - a. Drawings
 - i. General (G) Drawings
 1. 100% CD Documents, dated 1/15/2019
 2. Delta 1/Addendum 1, dated 2/6/2019
 3. Delta 2/ASI 001, dated 2/18/2019
 4. Delta 3/ASI 002, dated 3/15/2019
 5. Delta 4/ASI 003, dated 4/19/2019
 - ii. Drawing Package P1

CLARIFICATIONS AND ASSUMPTIONS

1. 100% CD Documents, dated 1/15/2019
 2. Delta 1/Addendum 1, dated 2/6/2019
 3. Delta 2/ASI 001, dated 2/18/2019
 4. Delta 3/ASI 002, dated 3/15/2019
 5. Delta 4/ASI 003, dated 4/19/2019
- iii. Drawing Package P2
1. 100% CD Documents, dated 1/15/2019
 2. Delta 1/Addendum 1, dated 2/6/2019
 3. Delta 2/ASI 001, dated 2/18/2019
 4. Delta 3/ASI 002, dated 3/15/2019
 5. Delta 4/ASI 003, dated 4/19/2019
- iv. Drawing Package P3
1. 100% CD Documents, dated 4/15/2019
- v. Drawing Package P4
1. 100% CD Documents, dated 4/15/2019
- vi. Drawing Package P4.1
1. 100% CD Documents, dated 4/15/2019
- vii. Drawing Package P4.2
1. 100% CD Documents, dated 4/15/2019
- b. Specifications
- i. 100% CD Documents, dated 1/15/2019
 - ii. Delta 1/Addendum 1, dated 2/6/2019
 - iii. Delta 2/ASI 001, dated 2/18/2019
 - iv. Delta 3/ASI 002, dated 3/15/2019
 - v. Delta 4/ASI 003, dated 4/19/2019
- c. Supplemental Information
- i. Signage
 - ii. FF&E
- d. City of Scottsdale Documents
- i. Building Supplemental Instructions, dated May 2018
 - ii. Design Standards and Policies Manual, dated 2018
- e. Bidder RFIs
2. GMP 2 shall be a change order to Contract No. 2019-0006-COS, fully executed on 3/19/2019. This GMP 2 is in addition to GMP 1, which was included as part of Contract No. 2019-0006-COS. All clarifications included in GMP 1 still apply to the GMP 1 scope, unless noted otherwise in this GMP 2.
 3. The following trades were previously included in GMP 1 for drawing packages P1 and P2 and are not being altered in this GMP 2: Overhead Coiling Doors, Interior & Exterior Glazing Systems, Plumbing, HVAC, and Electrical. GMP 2 includes the balance of scope for these trades in drawing packages P3, P4, P4.1, and P4.2.

CLARIFICATIONS AND ASSUMPTIONS

4. General conditions and general requirements for Phase 1 were captured in GMP 1, dated 3/15/2019, so they are excluded from this GMP 2.
5. Design Fee for Construction Administration (CA) Phase 1 scope were captured in GMP 1, dated 3/15/2019, so this fee is excluded from this GMP 2.
6. Builders Risk deductibles are included for only insurance claims arising out of negligence of the DBM or DBM's Subcontractors.
7. Builders Risk Insurance will remain in place until Substantial Completion is achieved.
8. This GMP does not include potential impacts of trade agreements or tariffs that have not been fully implemented as of the date of this GMP.
9. All work associated with Phase 2 drawings is excluded.
10. The acoustical engineering design included in this GMP is based on recommendations from the City of Scottsdale's acoustic consultant, Callahan Studios, who was contracted directly by the City of Scottsdale.
11. The work shown on the home plate plaza build-out alternate plans LX1.1, LX1.2, and associated sheets is not included in this GMP 2.
12. Refer to the attached Furniture, Fixtures, and Equipment (FF&E) Responsibility Matrix, dated 5/17/2019 for clarification as to which group is responsible for the design, purchase, and installation of each item. Note that this matrix supersedes the matrix that was included in the approved GMP 1, dated 3/15/2019. Changes to this matrix are highlighted in red and include purchase and installation of the following scopes that have been reallocated from the Owner FF&E Costs to Hunt, per direction from City of Scottsdale: Audio Visual, Distributed TV System, Sound System, Video Coaching System, and Signage.
13. All City of Scottsdale soft costs and FF&E costs for GMP 2 are excluded. Refer to the attached FF&E Responsibility Matrix for clarification on the FF&E items.
14. The City of Scottsdale design build contract No. 2019-0006-COS supersedes the Division 00 and Division 01 supplemental specifications included with the project documents in this GMP 2.
15. An Owner allowance in the amount of \$261,925 (Not to Exceed) is included in this GMP 2 for changes to the project documents based on the City of Scottsdale permit comments and design updates. These updates will be issued as an Addendum with the final City Permit review set. All updates will be tracked via a Change Order Request and submitted to the City of Scottsdale for review and approval. This clarification applies to GMP 1 and GMP 2.
16. The attached sketches labeled as "Budgetary Options" contain details for the eight different design changes listed below, which have not yet been incorporated into the project drawings. The City of Scottsdale has provided direction for the Design Build team to proceed with incorporating these design changes into the project documents. This GMP 2 includes the costs for Budgetary Options 1, 2, 3, 4, 5, 6, and 7. The Giants will provide the PH Balancer from Budgetary Option 8 outside of the project budget, but this GMP 2 includes the added electric outlet required for the PH Balancer.
 - a. Budgetary Option #1: Modifications to Press Tower Offices
 - b. Budgetary Option #2: Modifications to the 2nd Level Clubhouse



SCOTTSDALE STADIUM MULTI-USE EVENT CENTER

CLARIFICATIONS AND ASSUMPTIONS

- c. Budgetary Option #3: Modifications to the Manager's Office CH 1533CC
 - d. Budgetary Option #4: Clubhouse Millwork Modifications
 - e. Budgetary Option #5: Sauna and Steam Room Modifications
 - f. Budgetary Option #6: Add Overhead Exam Lights
 - g. Budgetary Option #7: Delete Glazing at Strength & Conditioning Coaches Office
 - h. Budgetary Option #8: Add PH Balancer in Training Room
17. The following Owner allowances are included in this GMP 2:
- a. 07.92 Firestopping, Caulking, Deck Coating
 - i. Traffic Coating Minor Repair Allowance at Press Club Level and above City & Ticket Offices, \$15,000
 - b. 09.50 Acoustical Ceilings
 - i. Acoustic Wall Panel Allowance at Multi-Purpose Room, \$58,470
 - ii. Acoustic Consultant (Kevin Callahan, Callahan Studios) Allowance, \$13,760
 - c. 09.90 Painting / Special Coatings
 - i. Repair Frieze Artwork Above City & Ticket Offices Allowance, \$5,000
 - d. 12.20 Roller Shades
 - i. Clubhouse Weight Room Sectional Door Mech Shades Mounting Allowance, \$3,000
 - e. 12.63 Aluminum Stadium Seating
 - i. Right Field Bleacher Allowance, \$142,950
 - f. 13.24 Sauna and Steam Room Equipment
 - i. Budgetary Option #5: Sauna and Steam Room Modifications Allowance, \$50,000
 - g. 23.00b HVAC
 - i. Clubhouse Kitchen Air Curtain Allowance, \$4,500
 - h. 26.00b Electrical, Security, Fire Alarm, Telecommunications
 - i. Electrical and Lighting Attic Stock Allowance, \$15,000
 - i. 27.00 Audio Video
 - i. Portion of Phase 2 Sound Scope Included on Phase 1 Drawings Allowance \$156,799
 - j. 32.30 Chain Link Fences, Tree Grate, Modify Netting, Misc.
 - i. Modify Existing Practice Field Netting Allowance, \$10,000
 - ii. Tree Grate System and Associated Components Allowance, \$183,349
 - iii. Budgetary Option #1: Modifications to Press Tower Offices Allowance, \$4,000
 - iv. Budgetary Option #2: Modifications to the 2nd Level Clubhouse Allowance, \$87,700
 - v. Budgetary Option #3: Modifications to the Manager's Office CH 1533CC Allowance, \$8,316

CLARIFICATIONS AND ASSUMPTIONS

B. SCHEDULE

18. This GMP 2 is based on the schedule included in the approved GMP 1, dated 3/14/2019. This schedule is included in section 6 of this GMP 2, for reference.
19. This GMP 2 is based upon the City of Scottsdale permit review periods and issuance dates provided on the schedule included in section 6 of this GMP. These dates are critical path to the project end date.
20. This GMP 2 is based upon a notice to proceed being issued by June 12, 2019. Any costs associated with a later notice to proceed are excluded.

C. DIVISION 5: METALS

21. Work associated with the right field bleacher modification was excluded in GMP 1 and is included in this GMP 2 under Division 12, Aluminum Stadium Seating.
22. The tree grating system, angles, and supports were excluded in GMP 1 and are included in this GMP 2 under Division 32, Exterior Improvements.
23. Chainlink fence modifications were excluded in GMP 1 and are now included in this GMP 2 under Division 32, Exterior Improvements.
24. Fall arrest cable and anchor points were excluded in GMP 1 and are now included in this GMP 2 under Division 11, Fall Protection Equipment.
25. Signage support steel was excluded in GMP 1 and is now included in this GMP 2 under Division 10, signage.
26. Television support frame bracing was excluded in GMP 1 and is now included in this GMP 2 under Division 27.
27. Countertop supports were excluded in GMP 1 and are now included in this GMP 2 under Division 6, Millwork.

D. DIVISION 6: WOOD

28. Finish Carpentry / Millwork

- a. This GMP 2 includes a shelf and rod in the new closet in the Manager's Office shown in Budgetary Option #3.
- b. The drawings for Budgetary Option #4 show (2) cabinets to replace drawer banks in a few locations. These cabinets will be outside of AWI limits for dimensions so this GMP 2 assumes that these locations will have (3) cabinets instead of (2).
- c. The existing slat walls in the Team Store will remain in place. No repairs to existing damage or alterations are included in this GMP 2. Repairs will be made to any slat walls that may be damaged during construction.
- d. Per RFI 020 the existing drink rail at the Charros Lodge will be demoed as part of GMP 1 and no new drink rail will be installed.
- e. The countertops at the Press Level section doors are assumed to be a solid surface material.

CLARIFICATIONS AND ASSUMPTIONS

- f. Room P225 Press Box 5 has a base cabinet with a sink that is assumed to be plastic laminate.

29. Lockers

- a. This GMP 2 assumes that each locker (Staff, Player's, Women's) has a quantity of (4) hooks.
- b. A lock shall be provided at each locker (Staff, Player's, Women's). The Player's lockers will have a divider in the two-door cabinet so one side can be lockable and the other side is non-lockable.
- c. This GMP 2 includes the MW-2 material as a quartered sawn white oak veneer on a fire rated core.
- d. This GMP 2 includes providing MW-2 quartered sawn white oak veneer on fire rated core for the women and staff lockers and ADA benches in lieu of the specified PL-5 compact laminate per direction from City of Scottsdale and Giants.

E. DIVISION 7: THERMAL AND MOISTURE PROTECTION

30. Metal Wall Panels

- a. Trim metal associated with the Press Club Level and coiling doors was excluded from GMP 1 and is now included in this GMP 2 under Division 8, Overhead Coiling Doors.

31. Deck Coating

- a. Replacement of the traffic topping at the Charros Lodge was excluded in GMP 1 and is now included in this GMP 2. This GMP 2 excludes replacement of the traffic coating at the entire Press Level.
- b. This GMP 2 includes traffic topping at the upper Level of the Charros Area.
- c. An owner allowance is included in this GMP 2 for minor traffic coating repairs at the Press Level and above the City and Ticket Offices.

32. Fireproofing

- a. All fireproofing and intumescent paint is excluded.

- 33. The building interior fluid applied air barrier was excluded in GMP 1 and is now included in this GMP 2. All exterior fluid applied air barrier was included in GMP 1 and is therefore excluded from this GMP 2.

F. DIVISION 8: OPENINGS

34. Overhead Coiling Doors

- a. The following items are included in this GMP 2 for the Press Tower Sectional Doors. Refer to the attached preliminary sketches for the Press Tower Sectional doors.
 - i. All (5) sectional doors are motorized
 - ii. All (5) sectional doors to have ¼" laminated glass
 - iii. Demo of soffit above existing windows
 - iv. Additional steel support
 - v. Rebuild exterior header (framing & metal panels)
 - vi. Add interior soffit at door header (framing & drywall)

CLARIFICATIONS AND ASSUMPTIONS

35. Glass and Glazing

- a. Warranty is excluded for the re-salvaged ticket windows and microphones at the Ticket Office.
- b. Re-finishing and re-painting of the existing window systems to remain in the Press Level is excluded in this GMP 2.

G. DIVISION 9: FINISHES

36. Ceramic Tile

- a. Per RFI 025, liquid waterproofing will be provided beneath the tile at all restrooms and hydrotherapy on the floors and on all walls up to the ceiling.
- b. Single shower areas only shall contain vinyl shower pan liners, as requested by the City of Scottsdale and the Giants.
- c. A high-performance grout, meeting ANSI 118.7, is included in this GMP 2 at all tile locations in lieu of a grout sealer.
- d. Room CH 101B Serving wall tile TL-2 is being used per the elevations.

37. Acoustical Ceilings

- a. This GMP 2 includes an Owner allowance for the acoustical wall panels in the Clubhouse Multi-Purpose room. Panels are assumed to be local source equal to G&S and ATS acoustical panel products with standard Guilford fabric.
- b. This GMP 2 includes an Owner allowance of 40 hours at \$344/hour to coordinate with Kevin Callahan, from Callahan Studios, to finalize the Multi-Purpose Center acoustic panel design, which has been placed on hold by the City of Scottsdale.
- c. Acoustical wall panels are excluded at the weight room.

38. Flooring – Resilient Base & Tile, Athletic Flooring, Carpet

- a. This GMP 2 includes sealed concrete with 6" rubber cove base and epoxy filled joints in the Clubhouse Kitchen in lieu of the Stonhard product listed in the project documents per direction from the City of Scottsdale.
- b. A salt and pepper finish is included for all polished concrete areas.
- c. The following flooring alternates listed on the project drawings are included in this GMP 2:
 - i. Alternate #7: Replacing PC-1 with CPT-3 in the Clubhouse first floor entry corridors (Keynote 287 on drawing P3-A801)
 - ii. Alternate #8: Replacing PC-1 with TL-1 in the Clubhouse first floor restrooms (Keynote 288 on drawing P3-A801)

39. Painting/Special Coatings

- a. Electrostatic Spray Coatings is excluded from the project.
- b. Steel preparation and primer for the structural steel special coatings was included in GMP 1 and is therefore excluded from this GMP 2. Field touch-up, steel connections, and final coat of structural steel special coatings is included in this GMP 2.
- c. Water repellants were excluded in GMP 1, but are now included in this GMP 2.

CLARIFICATIONS AND ASSUMPTIONS

- d. Anti-graffiti coatings are excluded from the project.
- e. This GMP 2 includes sanding, preparation, primer and finish paint of existing wood doors to remain at Press Club Level. Patching, re-staining, bondo, and new door hardware are excluded from this GMP 2.
- f. Painting of all existing guardrails and handrails that are not being modified is excluded from this GMP 2.
- g. Water repellent spray on existing concrete and masonry walls is excluded from this GMP 2.
- h. An Owner allowance is included in this GMP 2 for the Frieze artwork repair above the City and Ticket offices.

H. DIVISION 10: SPECIALTIES

40. Signage and Graphics

- a. Signage permits are excluded from this GMP 2 and shall be provided by the City of Scottsdale from the Plan Review and Permitting fees Soft Costs.
- b. FrameBridge is excluded as the manufacturer for the P-07 Hall of Fame images as this company cannot fabricate frames this size. An alternate manufacturer is included in this GMP 2.

41. Toilet Partitions & Accessories

- a. Medical Sharps Container Disposals are excluded from this GMP 2 per direction from the Giants.
- b. This GMP 2 assumes (1) custodial hook rack in each janitor closet.
- c. A liquid soap dispenser and sanitary napkin disposal is assumed to be located in rooms CH205 Unisex Toilet and C104 Unisex Toilet.
- d. The urinal partitions shown on the floor plans are assumed to be the same material as the typical toilet partitions PART-1 (ASI, floor mounted, powder coated steel).
- e. Restroom partitions in the press level are assumed to be typical toilet partition PART-1 (ASI, floor mounted, powder coated steel).

I. DIVISION 11: EQUIPMENT

42. Laundry Equipment

- a. The following laundry equipment is included in this GMP 2:
 - vii. (2) each Fagor FWS-60 TP2 HW Washers
 - viii. (2) each Fagor FWS-80 TP2 HW Washers
 - ix. (1) each Fagor FD-80 Dryer
 - x. (2) each Fagor FD-120 Dryers
- b. Fire suppression systems in the dryers are not required by code and are excluded per Giants' request.
- c. Detergent injectors for the laundry equipment are excluded in this GMP 2 and shall be by operator.

CLARIFICATIONS AND ASSUMPTIONS

43. Fall Protection Equipment

- a. The fall protection system included in this GMP 2 contains a cabling system and arresting anchor points per direction from the City of Scottsdale.
- b. This GMP 2 excludes harnesses and gear required to be used in conjunction with the fall protection equipment. These shall be provided by the City of Scottsdale staff when in use.

J. DIVISION 12: FURNISHINGS

44. Roller Shades

- a. The design for the mounting details for the type WT-4 roller shades at the Clubhouse Weight Room sectional doors is incomplete. This GMP 2 includes an allowance for mounting these roller shades.
- b. Window treatments at the existing Team Shop are excluded from this GMP 2.
- c. Type WT-1 motorized window shades, in the Multi-Use Room, include WhisperIQ2 Motors which are operated by a wall switch and can have optional AV integration.
- d. Type WT-2 motorized window shades, in Rooms CH 146 Weight Room (except sectional doors), CH 200 Cardio Deck, and CH 300 Open Offices, include RTS Motors which are operated by a wireless wall switch or remote control.
- e. Alternate #9, called out as keynote 289 on drawing P3-A823, for changing the window treatments in room CH300 on the 3rd floor of the Clubhouse from WT-2 (motorized) to a WT-3 (non-motorized) is not included in this GMP 2.

45. Aluminum Stadium Seating

- a. This GMP 2 includes an allowance to remove and replace the existing Right Field Bleacher system and reconstruct with the new standing room only seating layout. This allowance assumes reuse of the existing bleacher footings.
- b. This GMP 2 excludes ADA ramp and ADA-compliant front walkway at the new Right Field Bleachers.

46. High Density Storage

- a. The furnish & installation of the high density storage is excluded in this GMP and shall be by the Giants.

K. DIVISION 13: SPECIAL CONSTRUCTION

47. Hydrotherapy Equipment Install

- a. Hydroworx Phase II installation of the Hydroworx 2000 pool is excluded from this GMP 2. Phase II installation includes setting and the assembly of the treadmill for the Hydroworx 2000 pool. The (2) plunge pools are included in this GMP 2 and will be set and connected by the plumbing and electrical subcontractors.

48. Sauna & Steam Room Equipment

- a. An Owner allowance for Budgetary Option #5 for the sauna and steam room equipment changes for the Clubhouse is included in this GMP 2. This allowance is intended to



SCOTTSDALE STADIUM MULTI-USE EVENT CENTER

CLARIFICATIONS AND ASSUMPTIONS

include all associated components, trim, supply, drywall, insulation, flooring, plumbing, mechanical, electrical, and installation.

L. DIVISION 22: PLUMBING

- 49. A lavatory or sink is excluded at the hydrotherapy room per Giants request.
- 50. This GMP 2 includes additional water connections for a water bottle filler with filtered water at the Clubhouse Kitchen CH 301 and City Offices Lobby C105.
- 51. The PH balancer add in Budgetary Option #8 is assumed to be a Life Ionizer MXL-7 Alkaline Water Ionizer Hydrogen Unit per direction from the Giants.
- 52. Laundry sink LS-1 is included in this GMP 2, as listed on the Plumbing Schedule on P3-P002.
- 53. All storm water overflow drain downspout nozzles are Zurn/1999.
- 54. All wall hydrants and hose bibs are assumed to be Zurn.
- 55. Area drains at Clubhouse are assumed to be Zurn/Z505 12".
- 56. Floor drains are assumed to be located in toilet rooms with more than one water closet and in the Clubhouse Boiler/Mechanical Room.
- 57. Domestic water heater pipe is assumed to be PVC and heating water boiler flues are assumed to be Metal fab Corr-Guard AL29-4C.
- 58. There is a numbering discrepancy for VAV boxes listed on the HVAC equipment schedule and shown on the plumbing plans for the Clubhouse. However, the quantities are the same and this GMP includes a total of 65 VAV boxes in the Clubhouse.

M. DIVISION 23: HVAC

- 59. The purchase of a 3,000 gallon grease interceptor was included in GMP 1. The grease interceptor size was reduced to a 1,500 gallon grease interceptor in drawing package P3, but since this was purchased previously in GMP 1 the credit back to the City of Scottsdale will be captured as a deduct change order to GMP 1.
- 60. An Owner allowance for (3) air curtains at the Clubhouse Kitchen is included in this GMP 2.
- 61. This GMP 2 includes air quality testing for LEED credit in lieu of flushing the HVAC system.
- 62. Additional DP Sensors and Temperature sensors are included in this GMP 2 for commissioning requirements per direction from City of Scottsdale.
- 63. This GMP 2 includes the attached preliminary LEED Commissioning Specification 01 91 00.

N. DIVISION 26: ELECTRICAL

- 64. Electrical
 - a. Engineering of teledata cable supports is excluded from this GMP 2.
 - b. UL recertification is excluded for existing electrical panelboards and equipment.
 - c. This GMP 2 includes added power to the press tower sectional doors.
 - d. An Owner allowance is included in this GMP 2 for electrical and lighting attic stock.
- 65. Lighting

CLARIFICATIONS AND ASSUMPTIONS

- a. The overhead exam lights added in Budgetary Option #6 are assumed to be Welch Allyn GS900 per direction from the Giants

O. DIVISION 27: COMMUNICATIONS

66. Teledata/Communications

- a. The existing/abandoned teledata cabling in the existing stadium areas shall be tested and verified by the City of Scottsdale prior to the DBM team removing it.
- b. Hanging, testing, rework, and cable management of the existing cables that are to remain is excluded from this GMP 2. This work will be performed by the City of Scottsdale.
- c. All telecommunications cabling and equipment is excluded from this GMP and will be provided by the City of Scottsdale and the Giants. This GMP 2 includes providing all telecommunications conduit, pathways and power as required for a complete system as shown on the project documents. The City of Scottsdale and Giants shall provide any additional J-hooks, hangers, and firesafing materials, as required.
- d. Power and racks in the IDF/MDF rooms are included in this GMP 2. Network access shall be provided by the City of Scottsdale IT Department.

67. Audio Visual

- a. All televisions and television mounts are excluded from this GMP 2 and shall be provided by the Giants. This GMP 2 includes all conduit, power, and back boxes.
- b. This GMP 2 includes support for the locations of the televisions depicted on the current drawings and coordinated prior to the installation of drywall. Most of the televisions will be mounted to the existing metal stud framing.

68. Sound

- a. Several of the sound devices and equipment shown on the Package P4.2 drawings could be shifted to Phase 2 scope and are included as an Owner allowance in this GMP 2. Refer to the attached AV drawings clarifying which items are included in the allowance.
- b. This GMP 2 includes relocating (2) sets of existing speakers at the existing Press Level suites to avoid conflicts with the sectional doors.
- c. This GMP 2 includes providing a complete and operable sound system for Spring Training based on the use of some existing equipment and wiring (assumed to be in working order).
- d. This GMP 2 includes a new fiber line and a media converter to replace the sound signal feed that had run from the existing Clubhouse IDF room to the Gate A concessions rack.

69. Video Coaching

- a. Video coaching system cameras and video coaching system hardware are excluded from this GMP 2 and shall be provided by the Giants.

CLARIFICATIONS AND ASSUMPTIONS

P. DIVISION 28: ELECTRONIC SAFETY AND SECURITY

70. Security

- a. All cabling, camera and equipment associated with the CCTV system is excluded from this GMP 2 and will be provided by FSEC thru the City of Scottsdale. Conduit, pathways and power required for the CCTV system has been coordinated with FSEC's current design, as of the date of this GMP, and is included in this GMP 2.
- b. All cabling and equipment associated with access control is excluded from this GMP 2 and will be provided by FSEC thru the City of Scottsdale. Conduit and pathways for the Access Control has been coordinated with FSEC's current design, as of the date of this GMP, and is included in this GMP 2.

Q. DIVISION 32 – EXTERIOR IMPROVEMENTS

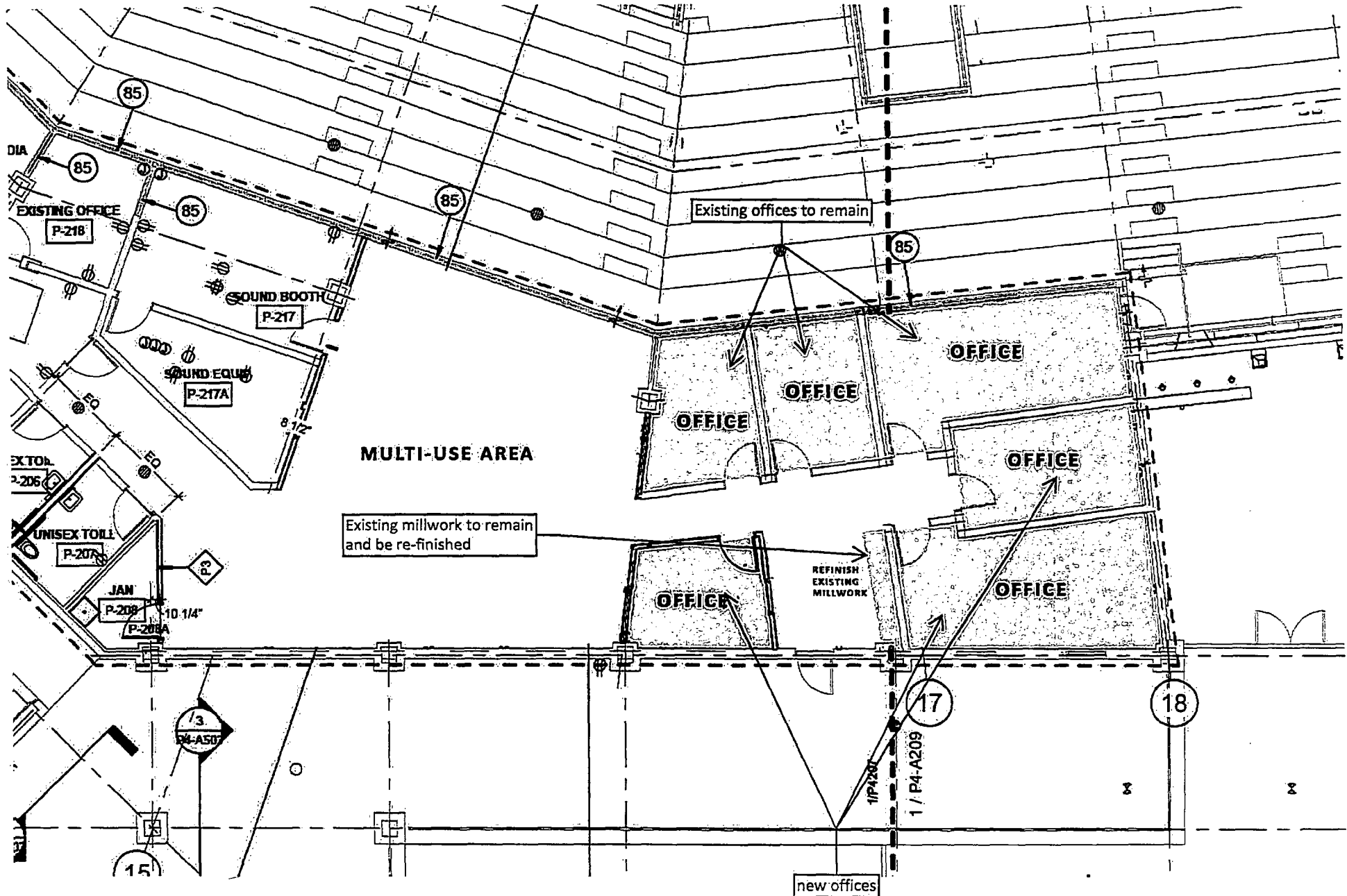
71. Tree Grate

- a. This GMP 2 includes an Owner allowance for a Trex composite decking system around the (4) existing trees behind the right field bleachers. This system is assumed to contain concrete pedestals with metal framing for the decking system, small metal tree grates around the trees, and two catch-basins under the decking system that will connect to the storm sewer in this area.
- b. The City of Scottsdale shall provide arborist during excavation for and installation of the tree grate system.

72. Modify Netting

- a. This GMP 2 includes an Owner allowance for modifications to the existing practice field netting. This allowance does not include removing and/or relocating of the existing poles. Modifications will be completed by West Coast Netting to retain the existing netting warranty.

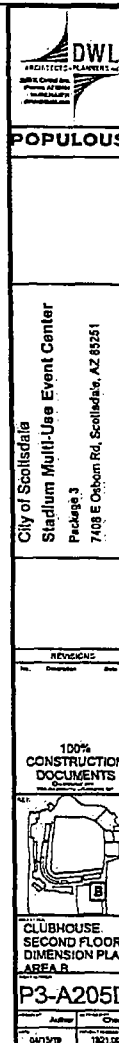
END OF DOCUMENT



FLOOR PLAN NOTES

- [illegible]

REVISÉD APRIL 30, 2019



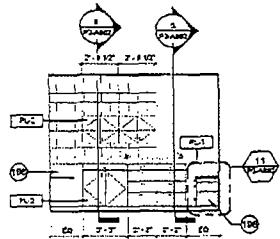
[illegible]

MANAGER'S OFFICE
APRIL 30, 2019

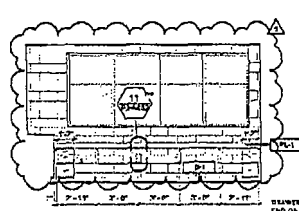
Budgetary Option #4 - Clubhouse Millwork Modifications

KEYNOTE LEGEND

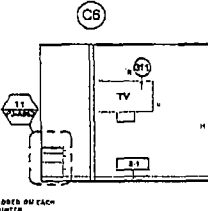
- 108 FILLER PANEL
211 TV - CONTRACTOR TO COORDINATE WITH OWNER FOR LOCATION PRIOR TO CONDUIT AND BACKING INSTALLATION; SEE 10G116 FOR BLOCKING



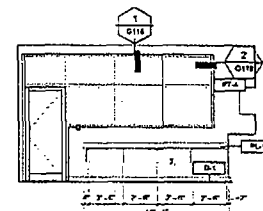
1 CH 143 TRAIN OFFICE (N)
1/4" = 1'-0"



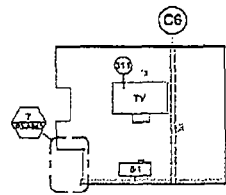
2 CH 143 TRAIN OFFICE (E)
1/4" = 1'-0"



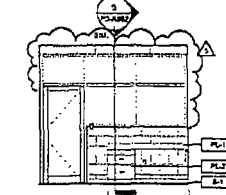
3 CH 143 TRAIN OFFICE (S)
1/4" = 1'-0"



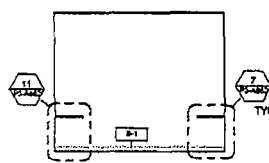
4 CH 143 TRAIN OFFICE (W)
1/4" = 1'-0"



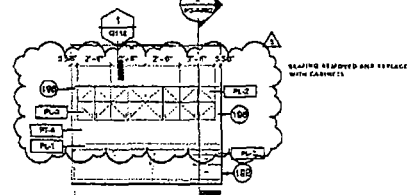
5 CH 144 STR & CONDT (N)
1/4" = 1'-0"



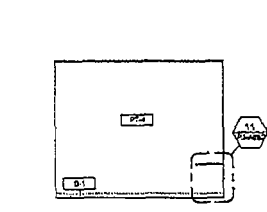
6 CH 144 STR & CONDT (E)
1/4" = 1'-0"



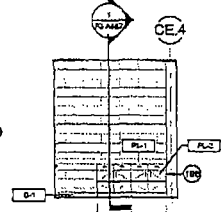
7 CH 144 STR & CONDT (S)
1/4" = 1'-0"



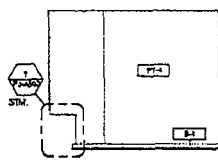
8 CH 144 STR & CONDT (W)
1/4" = 1'-0"



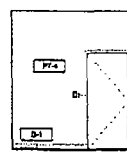
9 CH 145 MESSAGE (N)
1/4" = 1'-0"



10 CH 145 MESSAGE (E)
1/4" = 1'-0"



11 CH 145 MESSAGE (S)
1/4" = 1'-0"



12 CH 145 MESSAGE (W)
1/4" = 1'-0"

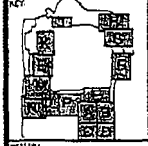


POPULOUS

City of Scottsdale
Stadium Multi-Use Event Center
Package 3
7408 E Osborn Rd, Scottsdale, AZ 85251

REVISIONS		
No.	Description	Date
1	ADD 202	9/18/10

100%
CONSTRUCTION
DOCUMENTS



INTERIOR
ELEVATIONS

P3-A819
Author: [Name]
Checker: [Name]
DATE: 10/15/10

REVISED APRIL 30, 2019

Budgetary Option #4 - Clubhouse Millwork Modifications

KEYNOTE LEGEND

- 155 FILLER PANEL
311 TV - CONTRACTOR TO COORDINATE WITH OWNER FOR LOCATION PRIOR TO CONDUIT AND BACKING INSTALLATION. SEE 100G116 FOR BLOCKING
534 SINGLE DROP-IN SINK

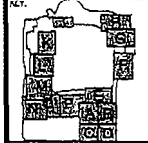


POPULOUS

City of Scottsdale
Stadium Multi-Use Event Center
Package 3
7408 E Osborn Rd, Scottsdale, AZ 85251

REVISIONS		
No.	Description	Date
5	ASD/SD	5/18/19

100%
CONSTRUCTION
DOCUMENTS

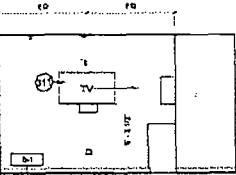


INTERIOR
ELEVATIONS

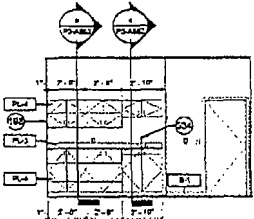
P3-A816

Author	Checked
04/15/19	10/21/20

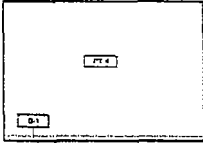
REVISED APRIL 30, 2019.



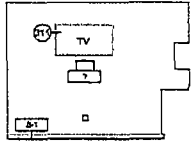
1 CH 130 DOCTOR (N)
1/4" = 1'-0"



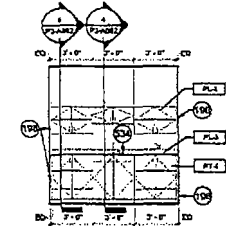
2 CH 130 DOCTOR (E)
1/4" = 1'-0"



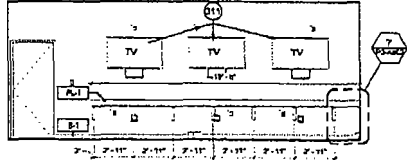
3 CH 130 DOCTOR (W)
1/4" = 1'-0"



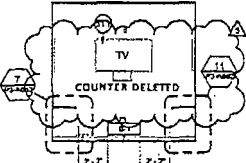
4 CH 132 DOCTOR (S)
1/4" = 1'-0"



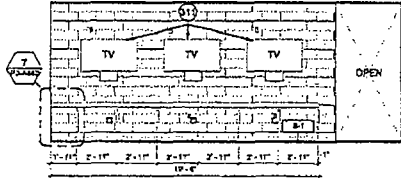
5 CH 132 DOCTOR (W)
1/4" = 1'-0"



6 CH 133 VIDEO RM (N)
1/4" = 1'-0"



7 CH 133 VIDEO RM (E)
1/4" = 1'-0"



8 CH 133 VIDEO RM (S)
1/4" = 1'-0"

Budgetary Option #4 - Clubhouse Millwork Modifications

KEYNOTE LEGEND

- 158 FILLER PANEL
 253 TV MOUNTED OVER WALL TILE
 311 TV - CONTRACTOR TO COORDINATE WITH OWNER FOR LOCATION PRIOR TO CONDUIT AND BACKING INSTALLATION. SEE 100116 FOR BLOCKING



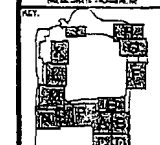
POPULOUS

City of Scottsdale
 Stadium Multi-Use Event Center
 Package 3
 7408 E Osborn Rd, Scottsdale, AZ 85251

REVISIONS

No.	Description	Date
5	ADD E22	2/15/19

100%
 CONSTRUCTION
 DOCUMENTS

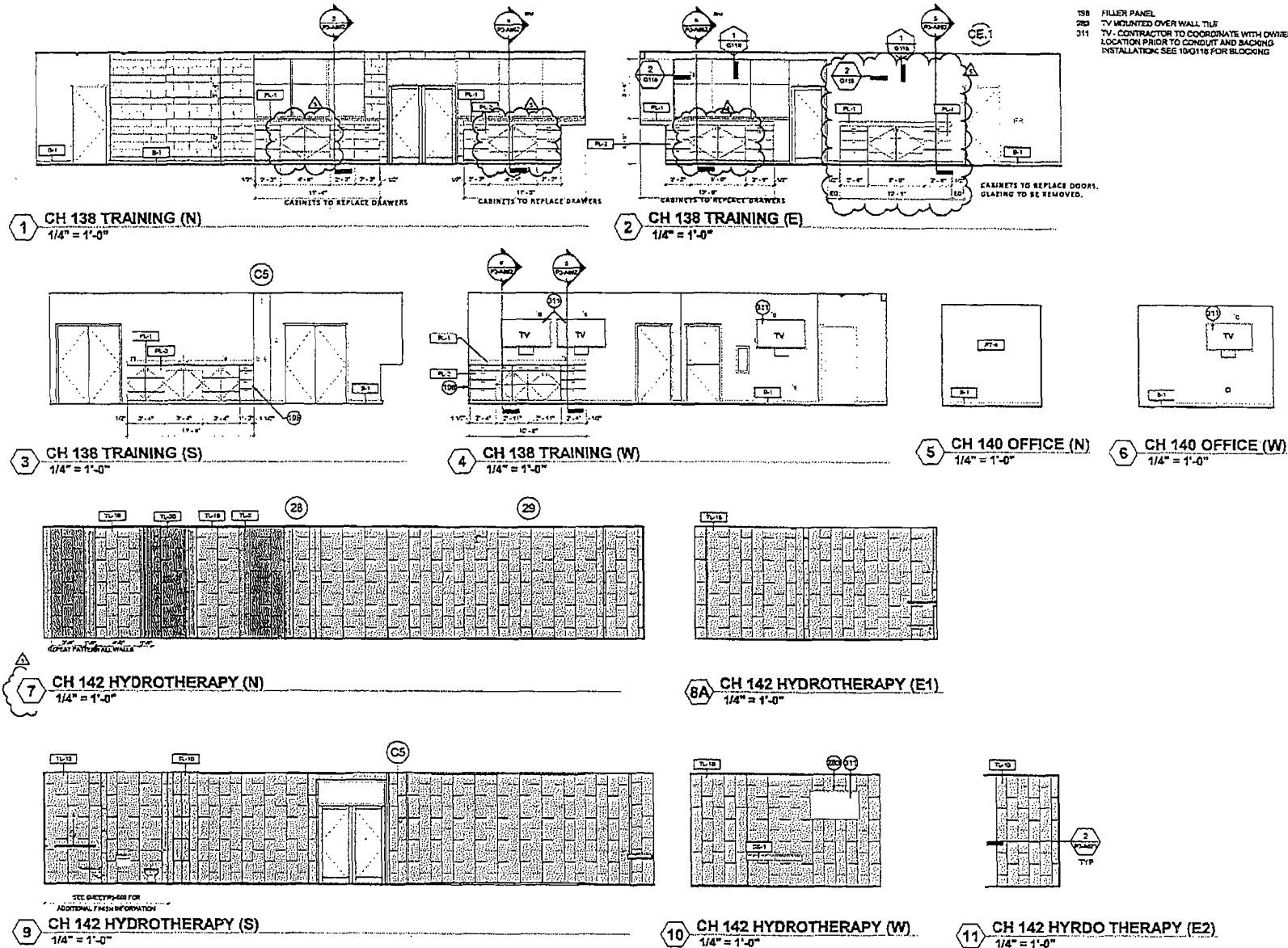


INTERIOR
 ELEVATIONS

PROJECT NUMBER
P3-A818

AUTHOR: [Signature]
 CHECKED: [Signature]
 DATE: 04/15/19
 1821.00

REVISED APRIL 30, 2019



Budgetary Option #5 - Sauna and Steam Room Modifications

ROOM SCHEME SCHEDULE			
ROOM SCHEME KEY	WALL FINISH	FLOOR FINISH	COMMENTS
RS-1	PT-1	B-1	
RS-2	PT-1, PT-4	B-1	
RS-3	PT-1, FRP-1	B-1	
RS-4	PT-1	B-2	
RS-5	PT-1, PT-3	B-1	
RS-6	PT-1, WALL	B-1	
RS-7	PT-1	NO BASE	
RS-8	PT-1	B-3	
RS-9	PT-4	B-1	
RS-10	PT-4, PT-7	B-1	
RS-11	PT-1, TL-1	NO BASE	
RS-12	PT-1, TL-1, TL-3, TL-4	NO BASE	
RS-13	TL-1, TL-3	NO BASE	
RS-14	TL-1, TL-3, TL-4	NO BASE	
RS-15	PT-1, TL-1, TL-3, TL-4	NO BASE	
RS-16	PT-1, TL-1	NO BASE	
RS-17	PT-1, TL-1, TL-3	NO BASE	
RS-18	PT-1, TL-3	NO BASE	
RS-19	PT-4, TL-4	NO BASE	
RS-20	PT-1	B-4	
RS-21	TL-1, TL-3	NO BASE, NO PAINT	
RS-22	PT-1, FRP-1	UT-1	
RS-23	PT-4, TL-1	UT-1	

INTERIOR FLOOR FINISH LEGEND

- CPT-1 SPIKE RESISTANT CARPET TILE
- CPT-2 STANDARD CARPET TILE W/ CUSHION BACK
- CPT-3 STANDARD CARPET TILE
- CPT-4 STANDARD CARPET TILE
- LV-1 LUXURY VINYL TILE
- PO-1 GROUND POLISHED CONCRETE W/ MATTE FINISH
- RF-1 RUBBER FLOOR TILE (18mm)
- RF-2 RUBBER FLOOR
- SC-1 SEALED CONCRETE
- TL-1 12"x24" CERAMIC TILE
- TL-2 12"x12" CERAMIC TILE
- TL-3 24"x24" CERAMIC TILE
- TL-4 24"x24" CERAMIC TILE
- UT-1 URETHANE RESINUS FLOORING
- WO-1 ENGINEERED WOOD

ROOM TAG LEGEND

- ROOM NAME & NO.
- ROOM NAME
- ROOM NO.
- ROOM SCHEME
- PT-1 MATERIAL TAG

- SAUNA:
- WALLS OR EQUIVALENT
- WOOD SPECIES: ALASKAN HEMLOCK
- DOUGLAS FIR DOOR PER PHOTO
- FLOORING: DUCKBOARD
- WOOD WALLS AND CEILING
- WOOD SEAT AT NORTH WALL - REFER TO ATTACHED SHEET
- TRADITIONAL HEAT ELEMENT
- LIGHTING: PUCK LIGHTS AT CEILING. PROVIDE PUCKS FOR OPTIONAL LED STRIP LIGHTS INSTALLED AT BACKREST
- ON/OFF BUTTON CONTROL
- CEILING HEIGHT TO BE 8'-0"



SAUNA DOOR: DOUGLAS FIR WITH GLASS. GC PROVIDE PRICING FOR OPTION TO ADD TEAM BRANDING TO GLASS

1 P3 CLUBHOUSE FIRST FLOOR FINISH PLAN AREA A
1/8" = 1'-0"

DWL
ARCHITECTS - PLANNERS, INC.
250 N. Central Ave.
Phoenix, AZ 85004
480.251.1177
dwlllc.com

POPULOUS

City of Scottsdale
Stadium Multi-Use Event Center
Package 3
7408 E Osborn Rd. Scottsdale, AZ 85251

REVISIONS

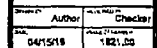
100%
CONSTRUCTION
DOCUMENTS

CLUBHOUSE
FIRST FLOOR
FINISH PLAN
AREA A

P3-A802

Author: [Signature]
Checker: [Signature]
Date: 04/15/19
Scale: 1/8" = 1'-0"

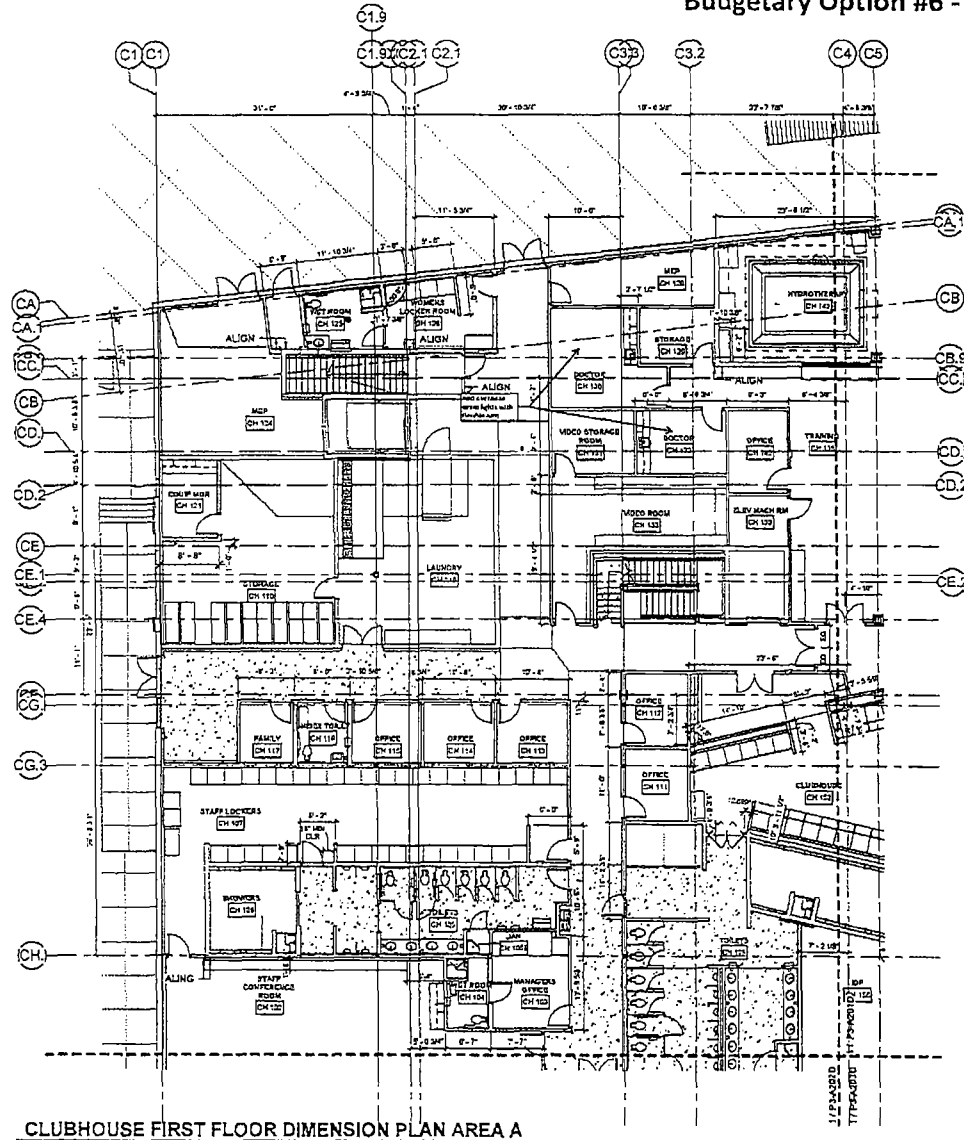
NAME SURNAME, SURNAME



4/15/2019 5:30:23 PM

1 P3 CLUBHOUSE FIRST FLOOR FINISH PLAN AREA B
1/8" = 1'-0"

Budgetary Option #6 - Add Overhead Exam Lights



FLOOR PLAN NOTES

1. ALL KEYNOTES DENOTE NEW CONSTRUCTION UNLESS NOTED OTHERWISE.
2. CONTROL DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:
 - CENTERLINE OF GRID AT COLUMNS
 - FACE OF MASONRY AT CMU WALLS
 - FACE OF FINISH AT EXTERIOR SIDE OF EXTERIOR WALLS. DIMENSION DOES NOT INCLUDE SILL OR HEAD PROJECTIONS AT OPENINGS
 - FACE OF STUD AT INTERIOR SIDE OF EXTERIOR WALLS
 - CENTERLINE OF STUD AT INTERIOR PARTITION AND FURRING WALLS
 - CENTERLINE OF INTERIOR CONCRETE WALLS
 - CENTERLINE OF WINDOWS AND DOORS FROM WALLS AND GRIDLINES
 - CENTERLINE OF MULLIONS IN STOREFRONT AND CURTAIN WALL SYSTEMS
3. DOOR OPENINGS NOT LOCATED BY DIMENSIONS SHALL BE CENTERED ON WALLS OR OFFSET WITH 4" CLEAR BETWEEN EDGE OF DOOR AND FACE OF PERPENDICULAR STUD WALL.
4. FOR ACoustic AND PRIVACY PURPOSES, ALL INTERIOR PARTITION WALLS AND INSULATION (INCLUDING PLUMBING CHASES) SHALL EXTEND TO UNDERSIDE OF DECK ABOVE UNLESS NOTED OTHERWISE.
5. 2x4 F.P.E. = 1544.50' IN CORNER OF CLUBHOUSE AND RE RESTROOMS.
6. AESS SECTION AS 12.13 IS ONLY REQUIRED FOR STEEL UP TO 8" FROM FINISH FLOOR, WHERE EXPOSED TO VIEW, FOR BOTH INTERIOR AND EXTERIOR STEEL. PROVIDE FOR AISC MANUAL 15TH EDITION TABLE 12.1 CATEGORY MATRIX LEVEL 1 BASIC ELEMENTS. SEE P3 TO DETERMINE WHICH STEEL IS CONCEALED.
7. STRUCTURAL STEEL SPECIAL COATINGS 20 87 13 IS ONLY REQUIRED FOR EXTERIOR EXPOSED STEEL, METAL DECK, JOISTS, TRUSS ELEMENTS. THIS SECTION DOES NOT APPLY TO INTERIOR STEEL. FIELD APPLIED PAINT IS ACCEPTABLE (SHOP APPLIED NOT REQUIRED).

DWL
ARCHITECTS-PLANNERS-ENGINEERS
1510 N. Central Ave.
Phoenix, AZ 85004
(602) 254-1100
dw@dwllaw.com

POPULOUS

City of Scottsdale
Stadium Multi-Use Event Center
Package 3
7408 E Osborn Rd, Scottsdale, AZ 85251

REVISIONS
No. Description Date

100%
CONSTRUCTION
DOCUMENTS
DWG NO. P3-A200D

**CLUBHOUSE
FIRST FLOOR
DIMENSION PLAN
AREA A**

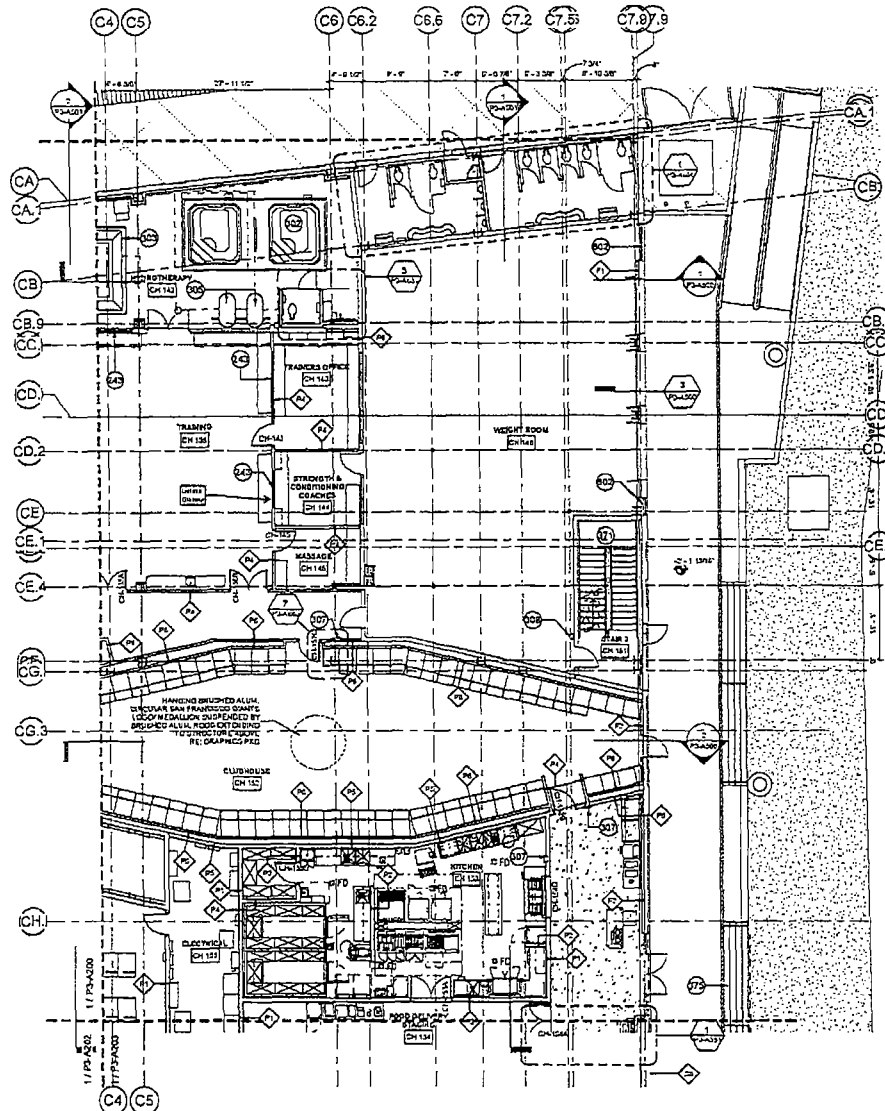
P3-A200D

Author: CWT/SHR
Checked: CWT/SHR
Date: 04/15/19
Scale: 1/8"=1'-0"

Budgetary Option #7 - Delete Glazing at Strength & Conditioning Coaches Office

KEYNOTE LEGEND

- 243 INTERIOR STOREFRONT SYSTEM
 302 PLUNGE POOL
 303 THERAPY POOL
 305 EXTREMITY POOL
 307 FIRE EXTINGUISHER CABINET SEMI-RECESSED
 308 FIRE EXTINGUISHER WALL MOUNTED
 371 METAL PAN STAIR W/ RAILING
 375 CAST-IN-PLACE STAIR
 602 EXTERIOR STOREFRONT WALL SYSTEM, REFER TO MATERIAL SCHEDULE FOR GLASS TYPE



CLUBHOUSE FIRST FLOOR PLAN AREA B

1/8" = 1'-0"

FLOOR PLAN NOTES

1. ALL KEYNOTES DENOTE NEW CONSTRUCTION UNLESS NOTED OTHERWISE.
2. CONTROL DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:
 - CENTERLINE OF GRID AT COLUMNS
 - FACE OF MASONRY AT CMU WALLS
 - FACE OF FINISH AT EXTERIOR SIDE OF EXTERIOR WALLS. DIMENSION DOES NOT INCLUDE SILL OR HEAD PROJECTIONS AT OPENINGS
 - FACE OF STUD AT INTERIOR SIDE OF EXTERIOR WALLS
 - CENTERLINE OF STUD AT INTERIOR PARTITION AND FURRING WALLS
 - CENTERLINE OF INTERIOR CONCRETE WALLS
 - CENTERLINE OF WINDOWS AND DOORS FROM WALLS AND GRIDLINES
 - CENTERLINE OF MULLIONS IN STOREFRONT AND CURTAIN WALL SYSTEMS
3. DOOR OPENINGS NOT LOCATED BY DIMENSIONS SHALL BE CENTERED ON WALLS OR OFFSET WITH 4" CLEAR BETWEEN EDGE OF DOOR AND FACE OF PERPENDICULAR STUD WALL.
4. FOR ACQUISITION AND PRIVACY PURPOSES, ALL INTERIOR PARTITION WALLS AND INSULATION (INCLUDING PLUMBING CHASES) SHALL EXTEND TO UNDERSIDE OF DECK ABOVE UNLESS NOTED OTHERWISE.
5. 6"x6" FTS = 154x200 (NW CORNER OF CLUBHOUSE AND NE RESTROOMS)
6. ASSESS SECTION AS 12 13 IS ONLY REQUIRED FOR STEEL UP TO 86" FROM FINISH FLOOR, WHERE EXPOSED TO VIEW. FOR BOTH INTERIOR AND EXTERIOR STEEL, PROVIDE FOR AISI MANUAL 15TH EDITION TABLE 16.1 CATEGORY MATRIX LEVEL 1 BASIC ELEMENTS. SEE P3 TO DETERMINE WHICH STEEL IS CONCEALED.
7. STRUCTURAL STEEL SPECIAL COATINGS 99 97 13 IS ONLY REQUIRED FOR EXTERIOR EXPOSED STEEL, METAL DECK, JOISTS, TRELLIS ELEMENTS. THIS SECTION DOES NOT APPLY TO INTERIOR STEEL. FIELD APPLIED PAINT IS ACCEPTABLE (SHOP APPLIED NOT REQUIRED).

FLOOR PLAN LEGEND

- AREA OF WORK BOUNDARY
- DENOTES FLOOR, ROOF, CEILING, STOREFRONT OR WALL TYPE. REFER TO G-SHEETS FOR ADDITIONAL INFORMATION.
- DENOTES WINDOW OR OPENING TYPE. SEE SCHEDULE.

DWL
 ARCHITECTS-PLANNERS, INC.
 1010 S. Central Ave.,
 Phoenix, AZ 85028
 (602) 258-7777
 dwl@dwla.com

POPULOUS

City of Scottsdale
Stadium Multi-Use Event Center
 Prickupgs. 3
 7408 E Osborn Rd., Scottsdale, AZ 85251

REVISIONS

100%
 CONSTRUCTION
 DOCUMENTS

CLUBHOUSE
 FIRST FLOOR
 PLAN AREA B

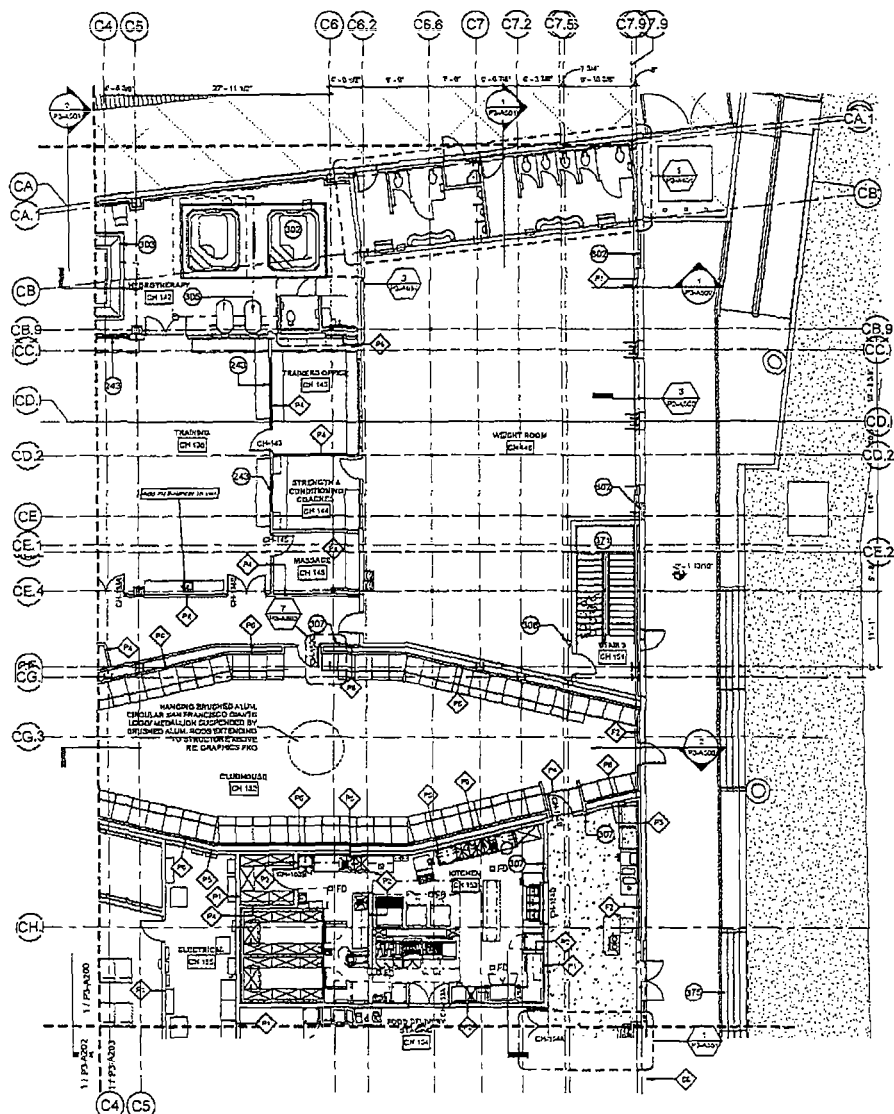
KEY

P3-A201

DATE: 04/15/19

1921.00

KEYNOTE LEGEND





CLUBHOUSE FIRST FLOOR PLAN AREA B

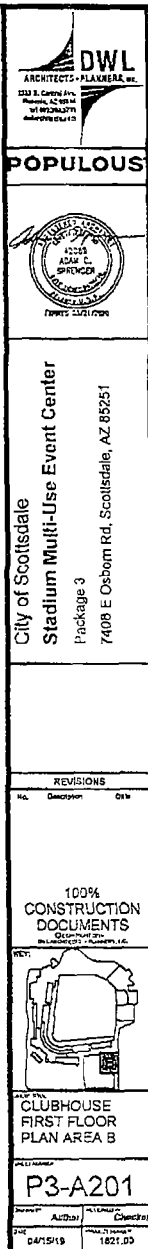
$$1/8'' = 1'-0''$$

FLOOR PLAN NOTES

1. ALL KEYNOTES DENOTE NEW CONSTRUCTION UNLESS NOTED OTHERWISE.
2. CONTROL DIMENSIONS ARE AS FOLLOWS UNLESS OTHERWISE NOTED OTHERWISE:
- CENTERING OF GRID AT COLUMN
 - FACE OF MASONRY AT CURM WALLS
 - FACE OF FINISH AT EXTERIOR SIDE OF EXTERIOR WALLS. DIMENSION DOES NOT INCLUDE FINISH AT INTERIOR SIDE AT OPENINGS
 - FACE OF STUD AT INTERIOR SIDE OF EXTERIOR WALL
 - CENTERING OF STUD AT INTERIOR PARTITION AND FURRING WALLS
 - INTERIOR OF WINDOW AND DOOR
 - CENTERING OF WINDOW AND DOORS FROM WALLS AND GRIDLINES
 - CENTERING OF MULLIONS IN STOREFRONT AND CURTAIN WALL SYSTEMS
3. DOOR OPENINGS NOT LOCATED BY DIMENSIONS SHALL BE CENTERED ON WALLS OR OFFSET WITH \pm CLEAR BETWEEN EDGE OF DOOR AND FACE OF PERPENDICULAR STUD
4. FOR ACCESS AND PRIVACY PURPOSES, ALL INTERIOR PARTITION WALLS AND INSULATION (INCLUDING PLUMBING CHASES) SHALL EXTEND TO EXTERIOR OF DECK OR BALCONY UNLESS NOTED OTHERWISE.
5. 0'-0" F.F. = FINISH CORNER OF CONCRETE SLAB (SEE STRUCTURES)
6. ACCESS SECTION 05 12 13 IS ONLY REQUIRED FOR STEEL UP TO 96" FROM EXTERIOR WALL WHERE EXPOSED TO WEATHER. FOR BOTH INTERIOR AND EXTERIOR STEEL, 1" OR GREATER THICKNESS. SEE SECTION TABLES, S1 CATEGORY MATRIX LEVEL 1 BASIC ELEMENTS. SEE P10 TO DETERMINE WIND LOADS.
7. STRUCTURAL STEEL SPECIAL COATINGS 09 13 13 IS ONLY REQUIRED FOR EXTERIOR EXPOSED STEEL. METAL DECK, JOISTS, TRUSS ELEMENTS, THIS SECTION DOES NOT APPLY TO CONCRETE. FIELD APPLIED PAINT IS ACCEPTABLE WHEN APPLIED NOT REQUIRED.

FLOOR PLAN LEGEND

- AREA OF WORK BOUNDARY
-  DENOTES FLOOR, ROOF, CEILING, STOREFRONT OR WALL TYPE. REFER TO G SHEETS FOR ADDITIONAL INFORMATION.
-  DENOTES WINDOW OR OPENING TYPE. SEE SCHEDULE.



Budgetary Options Narrative - Mechanical, Plumbing, Electrical, Fire Alarm, Technology

LSW Engineers
ARIZONA, INCORPORATED

2333 West Northern Avenue, #9 • Phoenix, Arizona 85021

Telephone 602.249.1320 • Facsimile 602.336.3276

NARRATIVE OF CHANGES

Scottsdale Stadium Multi-Event Center

The following narrative describes the anticipated scope of work for the miscellaneous changes included in add service 01 as detailed in the meeting minutes of the 5/1/19 design meeting:

Revised Giants offices at new Clubhouse Level 2 and Press Level

- Mechanical
 - Additional supply and return ductwork and diffusers to additional offices
 - Reallocate CFM to each space and resize ductwork and diffusers as required
 - Provide one additional VAV (current design has 5 zones, modified design has 6 zones)
 - New low-pressure ductwork and diffusers for new spaces
 - New return air boots
 - Revise exhaust to D-tank room
 - Aluminum ductwork at D-tank room?
 - Remove exhaust to restroom
- Plumbing
 - Coordinate food drain leaders with mechanical ductwork changes.
 - Remove restroom group.
 - Reroute plumbing serving 3rd floor.
 - Reroute roof drain leaders.
 - Provide floor drain and shower at D-tank room.
- Electrical
 - Additional receptacles to support additional offices (min. 4 receptacles each office)
 - Additional lighting to support additional offices (two L2A type fixture each office with dimmer/occupancy sensor switch control)
 - Additional devices to support new conference room similar to other conference rooms
 - Additional lighting to support new conference room (L10 type fixtures with spacing and controls similar to other conference rooms)
 - Additional receptacles to support new corridor (one per 50 linear feet and within 25 feet of corridor ends)
 - Additional lighting to support new corridor (L10 type fixtures with spacing and controls similar to other corridors).
 - Revised plans for misc. changes.
 - Maintain circuits to 3 existing to remain offices, as well as existing to remain millwork on Press Level
- Fire Alarm:
 - Add speakers and smoke detectors to support additional offices.
 - Add speaker/strobe and smoke detector to support additional Conference Room.
- Technology
 - Additional cabling, AV rough-in to support additional offices (min. 4 cables each office).
 - Additional cabling, AV rough-in, etc. in new conference room similar to other conference rooms.



Budgetary Options Narrative - Mechanical, Plumbing, Electrical, Fire Alarm, Technology

Scottsdale Stadium Multi-Use Event Center

Meeting Notes

<Date>

- Revised plans for misc. changes.

Revised new Clubhouse Manager's Office

- Mechanical
 - Revise ductwork mains and branches as required.
 - Revise air terminals.
- Plumbing
 - Revise restroom plumbing to new layout.
- Electrical
 - Revise receptacles to new layout.
 - Revise lighting to new layout.
- Fire Alarm
 - Move devices to conform to new layout.
- Technology
 - Revise data outlets to new layout.

New Clubhouse millwork modifications

- Mechanical: no scope of work
- Plumbing: no scope of work
- Electrical
 - Modify outlet locations to accommodate new millwork.
- Fire Alarm: No scope of work
- Technology
 - Modify outlet locations to accommodate new millwork.

Delete glazing in new Clubhouse at Conditioning Coach Office

- No MPET scope of work.
- No Fire Alarm scope of work

New PH Balancer in new Clubhouse Training Room

- Mechanical: no scope of work
- Plumbing
 - Update sink specification to provide PH Balancer
- Electrical
 - Add dedicated receptacle, if required.
- Fire Alarm: no scope of work
- Technology: no scope of work

New exam lights in new Clubhouse Doctor Rooms

- Mechanical: no scope of work
- Plumbing: no scope of work
- Electrical
 - Add Welch Allyn Green Series 900 Exam Light, ceiling mount in Doctor Rooms.
- Fire Alarm: no scope of work
- Technology: no scope of work

Budgetary Options Narrative - Mechanical, Plumbing, Electrical, Fire Alarm, Technology

Scottsdale Stadium Multi-Use Event Center

Meeting Notes

<Date>

New steam shower in Hydrotherapy Room

- Mechanical: no scope of work
- Plumbing: update fixture spec as required
- Electrical: Add L9A type fixture for new steam shower.
- Fire Alarm: Add speaker/strobe and smoke detector
- Technology: no scope of work

Revised new Clubhouse players restroom sauna

- Mechanical: no scope of work
- Plumbing: remove one of the Floor Drains
- Electrical
 - Modify power to sauna heating unit
 - Modify light fixture and lighting controls locations to accommodate revised sauna
- Fire Alarm
 - Delete strobes in former sauna areas
- Technology: no scope of work

PRELIMINARY PRESS LEVEL SECTIONAL DOOR SKETCHES

DEMO FLOOR PLAN NOTES

1. ALL FLOOR FINISHES, WALL BASE, AND WALL COVERING TO BE DEMOLISHED WITHIN AREA OF WORK.
2. FURRED OUT PARTITIONS TO REMAIN IN PLACE U.N.D. - LIMITED DEMOLITION OF FURRED OUT PARTITIONS AS REQUIRED TO INSTALL NEW MEP.

DEMOLITION PLAN LEGEND

- EXISTING COMPONENTS DEPICTED BY CONTINUOUS THIN LINE SHALL REMAIN.
- EXISTING COMPONENTS DEPICTED BY DASHED BOLD LINE SHALL BE REMOVED, MODIFIED, OR SALVAGED AND REINSTALLED AS INDICATED BY KEYNOTE.
- EXISTING COMPONENTS DEPICTED BY SCREENED DASHED LINE ARE BELOW OR ABOVE THIS LEVEL AND ARE SHOWN FOR REFERENCE ONLY.
- AREA OF WORK BOUNDARY

KEYNOTE LEGEND

- 06 REMOVE EXISTING MILLWORK AND SINK
- 08 EXISTING GLAZING SYSTEM TO REMAIN (PROTECT IN PLACE)
- 01 EXISTING OPERABLE PARTITIONS TO REMAIN (PROTECT IN PLACE)
- 100 REMOVE EXISTING HANDRAILS AND GUARDRAILS
- 112 REMOVE EXISTING CMU WALL TO STRUCTURE ABOVE

TO DO - DEMO

KEYNOTE THE FOLLOWING ITEMS:

- DEMO EXISTING GLAZING SYSTEM AND FRAME
- DEMO EXISTING SEATING PLATFORM AND ASSOCIATED STAIRS
- DEMO EXISTING DRINKING FOUNTAINS
- DEMO EXISTING ROLLUP DOOR
- DEMO EXISTING DOOR AND TELL OPENING TO MATCH ADJACENT WALL
- DEMO EXISTING EXTERIOR FLOOR COATING AND PREP FOR INTERIOR FLOOR FINISH - BRUSH BLAST OR SIMILAR TREATMENT FOR EXISTING EXTERIOR WATERPROOFING COATING
- EXISTING MASONRY WALL TO REMAIN
- EXISTING DOOR AND DOOR HARDWARE TO REMAIN



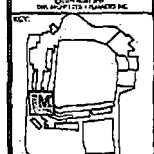
POPULOUS

City of Scottsdale
Stadium Multi-Use Event Center
Package 4 Demolition
7408 E Osborn Rd, Scottsdale, AZ 85251

REVISIONS

No.	Description	Date

100%
CONSTRUCTION
DOCUMENTS



PRESS LEVEL
DEMOLITION
PLAN AREA M

P4-A018

DATE	AUTHOR	CHECKED
04/15/19		1821.00

5/16/2019 11:00:53 AM

PRESS LEVEL DEMOLITION PLAN AREA M
1/8" = 1'-0"

PRELIMINARY PRESS LEVEL SECTIONAL DOOR SKETCHES

FLOOR PLAN NOTES

1. ALL KEYNOTES DENOTE NEW CONSTRUCTION UNLESS NOTED OTHERWISE.
2. CONTROL DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:
 - CENTERLINE OF GRID AT COLUMNS
 - FACE OF MASONRY AT CMU WALLS
 - FACE OF FINISH AT EXTERIOR SIDE OF EXTERIOR WALLS, DIMENSION DOES NOT INCLUDE SILL OR HEAD PROJECTIONS AT OPENINGS
 - FACE OF STUD AT INTERIOR SIDE OF EXTERIOR WALLS
 - CENTERLINE OF STUD AT INTERIOR PARTITION AND FURRING WALLS
 - CENTERLINE OF INTERIOR CONCRETE WALLS
 - CENTERLINE OF WINDOWS AND DOORS FROM WALLS AND GRIDLINES
 - CENTERLINE OF MULLIONS IN STOREFRONT AND CURTAIN WALL SYSTEMS
3. DOOR OPENINGS NOT LOCATED BY DIMENSIONS SHALL BE CENTERED ON WALLS OR OFFSET WITH 4" CLEAR BETWEEN EDGE OF DOOR AND FACE OF PERPENDICULAR STUD WALL.
4. FOR ACoustic AND PRIVACY PURPOSES, ALL INTERIOR PARTITION WALLS AND INSULATION (INCLUDING PLUMBING CHASES) SHALL EXTEND TO UNDERSIDE OF DECK ABOVE UNLESS NOTED OTHERWISE.
5. 0-9" TYP. = 124.5" DIA. CORNER OF CLUBHOUSE AND RE RESTROOMS
6. SEE P3 FOR FINAL LAYOUT OF RESTROOMS, FLOOR DRAINS, SHOWERS, AND FLOOR PENETRATIONS. SHOWERS HAVE IN CMU WATER PIPES AND CONTROLS. SEE P3 FOR DUCT AND CONDUIT PENETRATIONS THRU CMU WALLS. CONSTRUCT OPENING IN CMU WALLS FOR THESE PENETRATIONS TYP. CONTRACTOR SHALL COORDINATE WITH P3 MPE PRIOR TO CONSTRUCTING FLOOR SLABS AND CMU WALLS.
7. NON-FURRED GREY CMU WALLS SUCH AS WEIGHT ROOM, LAUNDRY AND STORAGE SHALL BE LAYED HEAT, UNIFORM AND STRAIGHT. SEE P3 TO DETERMINE WHICH WALLS DO NOT HAVE FURRING.
8. AISC SECTION 05 12 13 IS ONLY REQUIRED FOR STEEL UP TO 80" FROM FINISH FLOOR, WHERE EXPOSED TO VIEW, FOR BOTH INTERIOR AND EXTERIOR STEEL, PROVIDE FOR AISC MANUAL, 15TH EDITION TABLE 16.1 CATEGORY MATRIX LEVEL 1 BASIC ELEMENTS. SEE P3 TO DETERMINE WHICH STEEL IS CONCEALED.
9. STRUCTURAL STEEL SPECIAL COATINGS 05 87 13 IS ONLY REQUIRED FOR EXTERIOR EXPOSED STEEL, METAL DECK, JOISTS, TRELLIS ELEMENTS, THIS SECTION DOES NOT APPLY TO INTERIOR STEEL. FIELD APPLIED PAINT IS ACCEPTABLE (SHOP APPLIED NOT REQUIRED).

FLOOR PLAN LEGEND

- AREA OF WORK BOUNDARY
- ◻ DENOTES FLOOR, ROOF, CEILING, STOREFRONT OR WALL TYPE. REFER TO G SHEETS FOR ADDITIONAL INFORMATION.
- ◻ DENOTES WINDOW OR OPENING TYPE. SEE SCHEDULE.

KEYNOTE LEGEND

- 64 EXISTING OPERABLE PARTITION - REPLACE VINYL AND SERVICE
- 85 EXISTING GLAZING SYSTEM AND FRAME - PAINT
- 174 SHEET METAL WRAP AT TUBE STEEL - PRIME AND PAINT - TYP AT OVERHEAD DOORS
- 178 SHEET METAL WRAP AT STEEL COLUMN - PRIME AND PAINT
- 344 OPERABLE PARTITION SYSTEM
- 307 FIRE EXTINGUISHER CABINET SEMI-RECESSED

PRESS LEVEL FLOOR PLAN AREA M

1/8" = 1'-0"

DWL
ARCHITECTS-PLANNERS INC.
2020 N. Central Expy.
Phoenix, AZ 85016
480.447.1177
dwllaw.com

POPULOUS

City of Scottsdale
Stadium Multi-Use Event Center
Package 4.2
7408 E Osborn Rd. Scottsdale, AZ 85251

REVISIONS	
No.	Describe
5	A21 RD

100%
CONSTRUCTION
DOCUMENTS

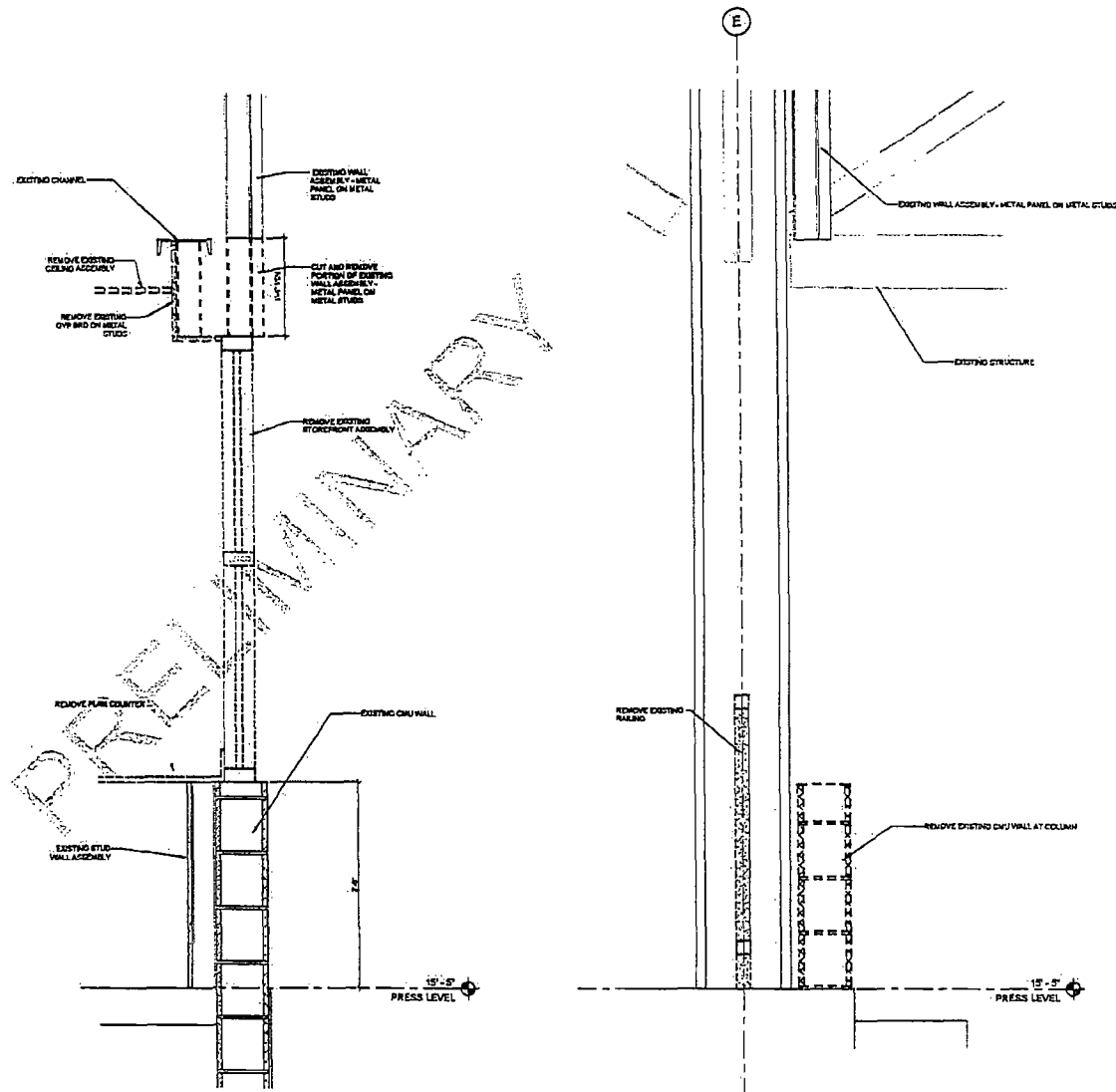
100%
CONSTRUCTION
DOCUMENTS

PRESS LEVEL
FLOOR PLAN
AREA M

P4.2-A208

Author	Checker
DA/15/19	1821.20

PRELIMINARY PRESS LEVEL SECTIONAL DOOR SKETCHES

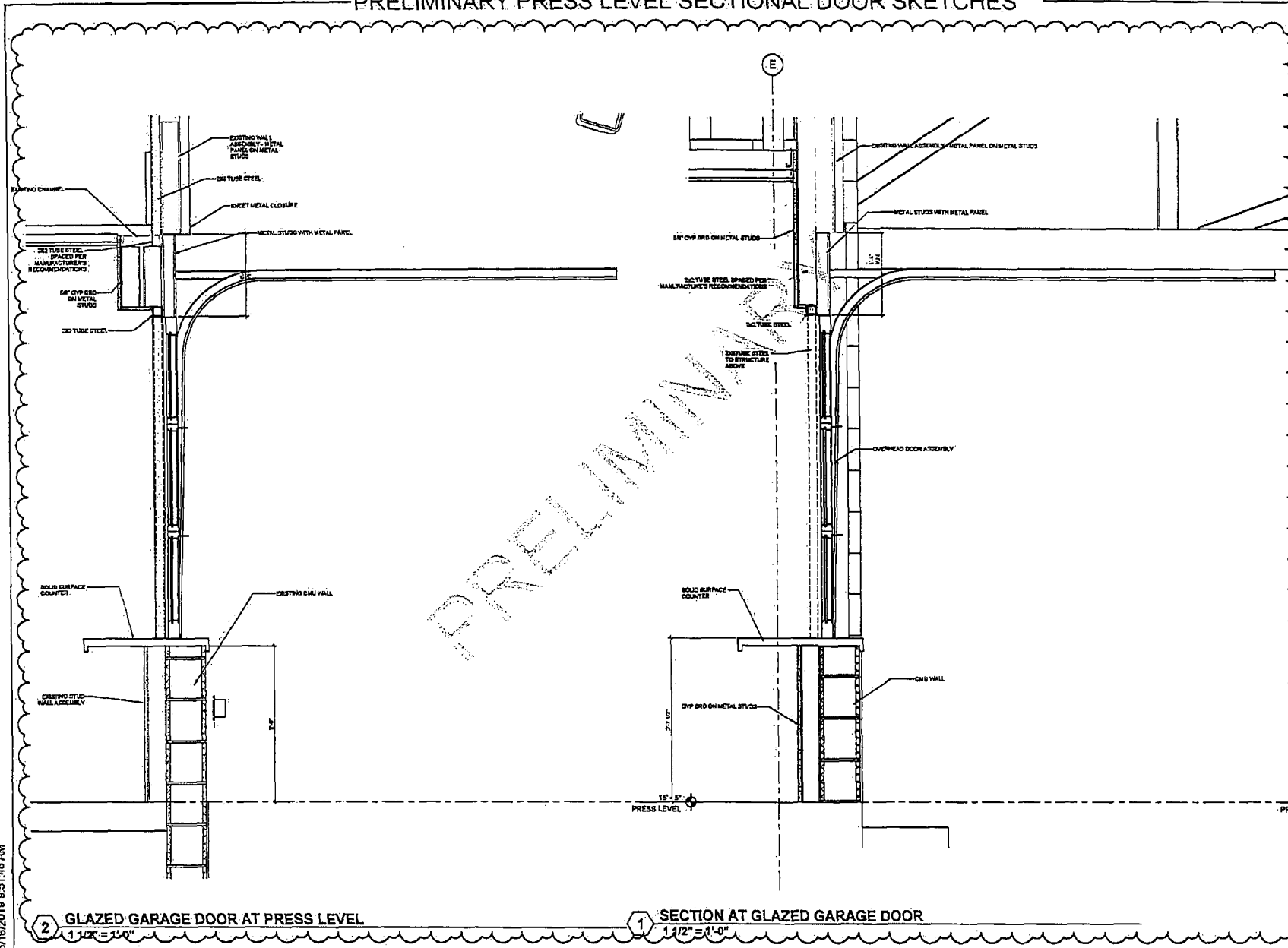


2 STOREFRONT DEMO AT PRESS LEVEL
1 1/2" = 1'-0"

1 DEMO SECTION AT GLAZED GARAGE DOOR
1 1/2" = 1'-0"

 1305 N. Central Ave. Phoenix, AZ 85004 602.254.1100 dwlarchitects.com							
POPULOUS							
City of Scottsdale Stadium Multi-Use Event Center Package 4 Demolition 7408 E. Osborn Rd. Scottsdale, AZ 85251							
REVISIONS <table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>3</td> <td>A21003</td> <td>5/16/19</td> </tr> </tbody> </table>		No.	Description	Date	3	A21003	5/16/19
No.	Description	Date					
3	A21003	5/16/19					
100% CONSTRUCTION DOCUMENTS DWL ARCHITECTS-PLANNERS, INC. 1305 N. Central Ave. Phoenix, AZ 85004 602.254.1100 dwlarchitects.com							
DEMO SECTIONS 							
P4-A050 Author: [blank] Checker: [blank] Date: 05/16/19 Scale: 1/8" = 1'-0"							

PRELIMINARY PRESS LEVEL SECTIONAL DOOR SKETCHES



DWL
ARCHITECTS-PLANNERS INC.
3320 N. Camelback Road
Phoenix, AZ 85018
(602) 998-1111
dwlltd.com

POPULOUS

City of Scottsdale
Stadium Multi-Use Event Center
Package 4.2
7408 E Osborn Rd, Scottsdale, AZ 85251

REVISIONS		
No.	Description	Date
3	ADD	5/16/19

100%
CONSTRUCTION
DOCUMENTS

100%
CONSTRUCTION
DOCUMENTS

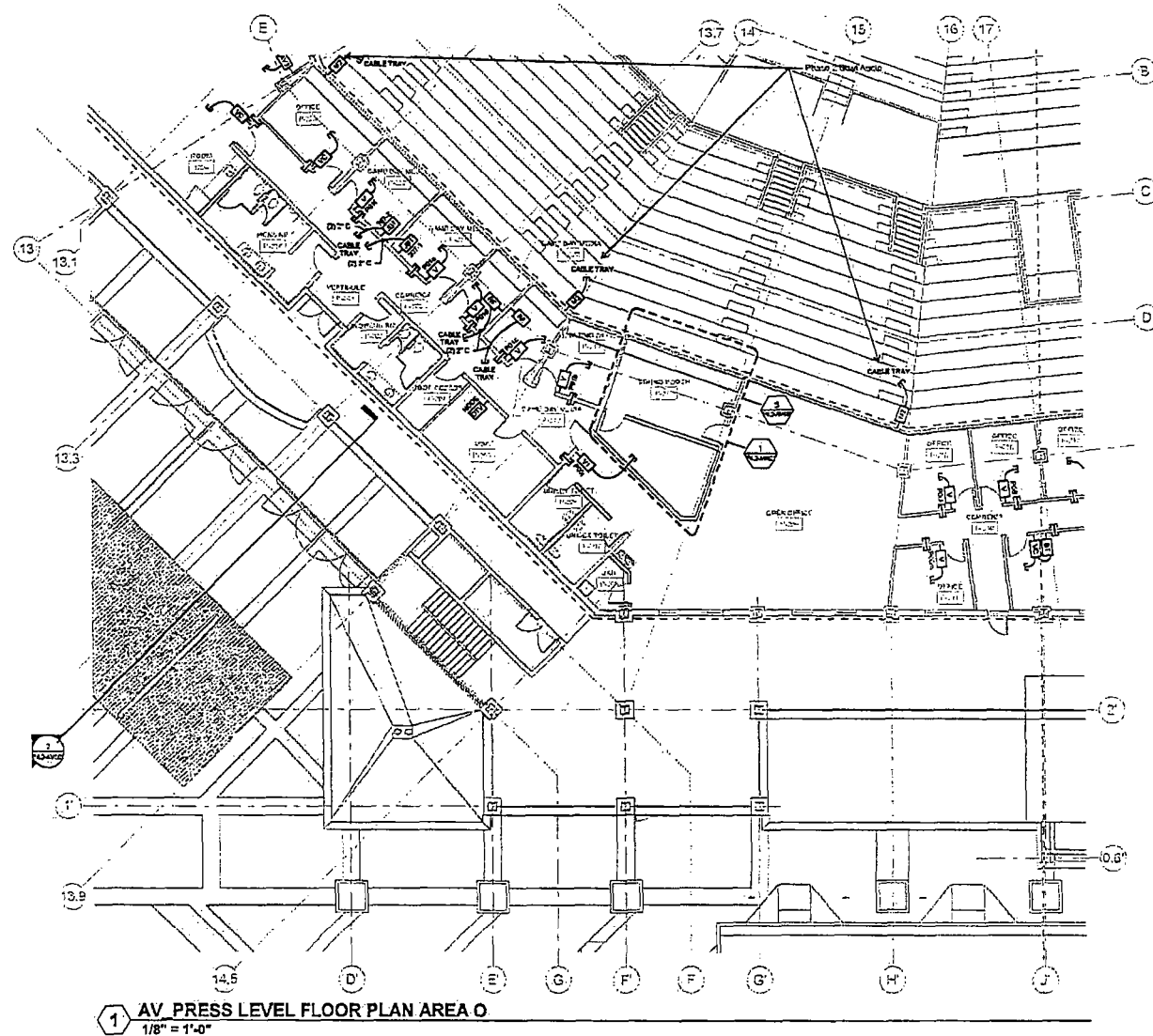
EXTERIOR
OPENING
DETAILS

P4.2-A716

Author	Checker
04/15/19	1021.00

5/16/2019 9:51:48 AM

NOTES



POPULOUS

City of Scottsdale
Stadium Multi-Use Event Center
Package 4
7408 E Osborn Rd, Scottsdale, AZ 85251

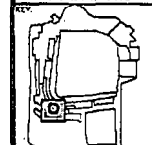


REVISIONS

No.	Description	Date
-----	-------------	------

100% CD.

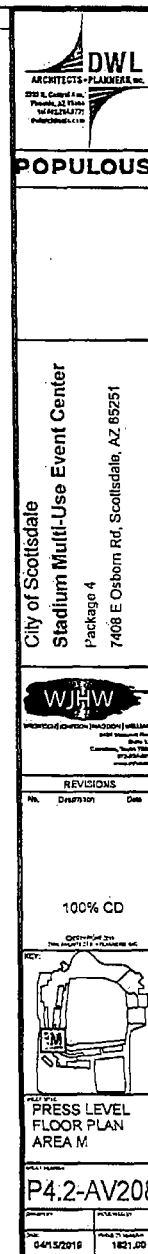
Order your copy
today at www.fishbase.org or fishbase.net



PRESS LEVEL
FLOOR PLAN
AREA O

P4.2-AV207

DATE	04/15/2018
TIME	1821.00

ES201116

4/11/2019 8:38:08 AM

Phase 2 Sound Scope Alternate

REVISIONS

001	LOCATE FRAMES OPENING FOR DRIVEN PALLIATED EQUIPMENT RAILS
002	2" X 8" CABLE PASS THROUGH OPENING
004	PHONOGE BUILT 2" LUGS THROUGH WALL NEAR CEILING TO JOIN THE HALLWAY CABLE TRAY TO THE SOUND EQUIPMENT ROOM CABLE TRAY.



POPULOUS

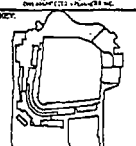
City of Scottsdale
Stadium Multi-Use Event Center
Package 4
7408 E Osborn Rd, Scottsdale, AZ 85251



REVISIONS

No.	Description	Date
-----	-------------	------

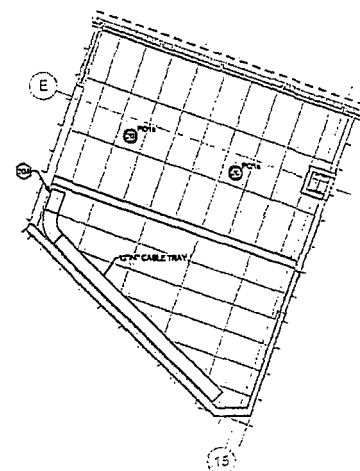
100% CD



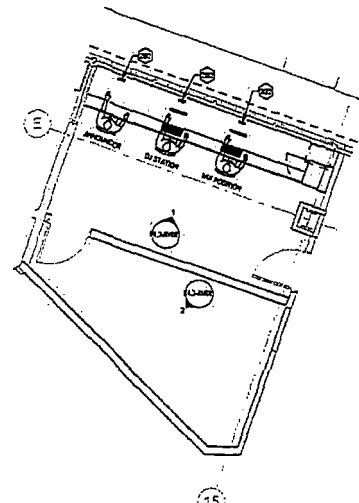
ENLARGED PLANS

P4.2-AV401

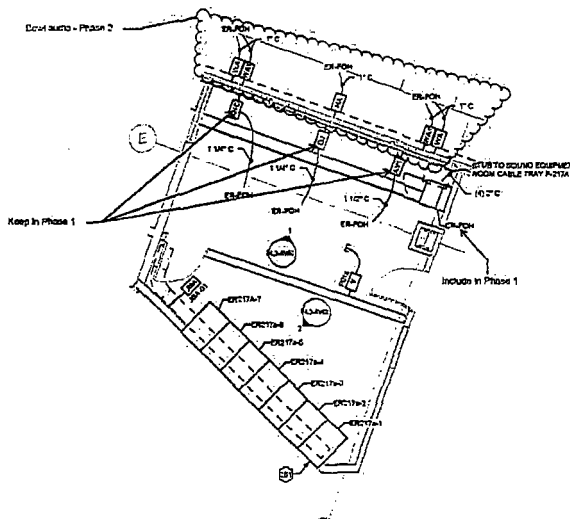
Author	Checker
04/15/2019	1021.00



2 ENLARGED RCP PLAN P217 AND P217a
1/4" = 1'-0"

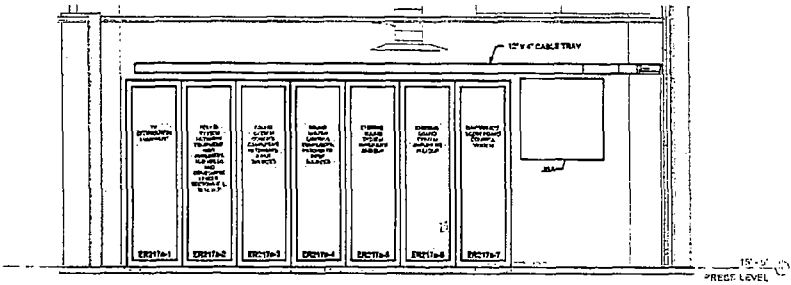


3 ENLARGED PLAN P217 AND P217a
1/4" = 1'-0"

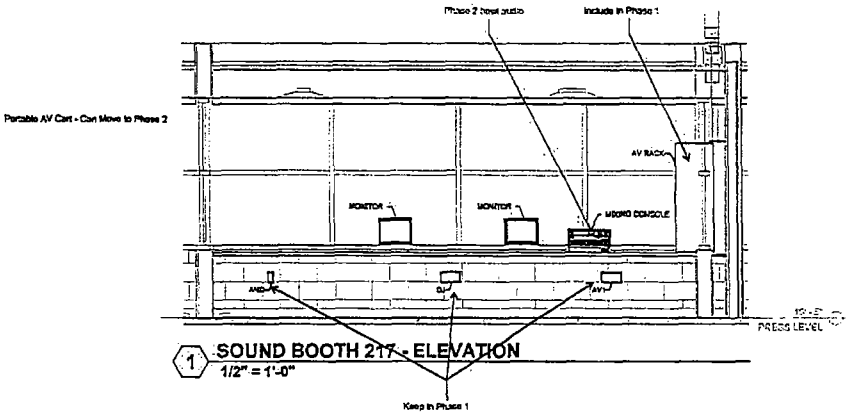


1 ENLARGED PLAN P217 AND P217a
1/4" = 1'-0"

Phase 2 Sound Scope Alternate



2 SOUND EQUIPMENT 217a - ELEVATION
1/2" = 1'-0"



1 SOUND BOOTH 217 - ELEVATION
1/2" = 1'-0"



POPULOUS

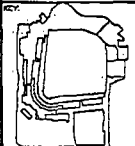
City of Scottsdale
Stadium Multi-Use Event Center
Package 4
7408 E Osborn Rd, Scottsdale, AZ 85251



REVISIONS

No.	Description	Date

100% CD
DWL ARCHITECTS-PLANNERS, INC.



ELEVATIONS

P4.2-AV601

Author	Checker
04/15/2019	1821.00

Scottsdale Stadium Multi-Use Event Center - Phase 1 Furniture, Fixtures & Equipment (FF&E) Responsibility Matrix	Budget	Prepare Design & Specifications	Purchase	Install	Comments
Technology					
Teledata					
Cabling Infrastructure (conduits/raceway)	In base budget	DWL/Populous	Hunt	Hunt	
IT Cabling	In FFE Budget	DWL/Populous	COS/Giants	COS/Giants	
Equipment / Devices / Terminations	In FFE Budget	DWL/Populous	COS/Giants	COS/Giants	Hunt to include the racks & cable tray in construction. All other equipment will be provided by COS/Giants
Network Routers & Switches					
Head End Equipment (Network Switches and devices)	In FFE Budget	COS/Giants	COS/Giants	COS/Giants	Will have 2 networks - COS & Giants
Audio Visual (Clubhouse & Press Box)					
Cabling Infrastructure (conduits/raceway)	In base budget	DWL/Populous	Hunt	Hunt	
AV Cabling		DWL/Populous			
Equipment (TVs, speakers, volume controls, etc.) / Devices / Terminations		DWL/Populous			
Distributed TV System Layout					
Distributed TV System Infrastructure (conduits/raceway)		DWL/Populous			
Distributed TV System Cabling (Cat6 cable)		DWL/Populous			
Sound System					
Stadium Sound System - Phase 1		DWL/Populous			Includes site power/electrical
Sound System at Phase 1 Building additions and modifications (ancillary speakers, weight room sound, PA system at Clubhouse)		DWL/Populous			
Cabling Infrastructure (conduits/raceway)	In base budget	DWL/Populous	Hunt	Hunt	
Sound System Cabling		DWL/Populous			
Equipment (Speakers, amplifiers, signal processing and control equipment) / Devices / Terminations		DWL/Populous			
Programming / Testing / Training		DWL/Populous			
Security System - CCTV Surveillance					
Infrastructure (conduits/raceway)	In base budget	DWL/Populous	Hunt	Hunt	
Power for CCTV, if required	In base budget	DWL/Populous	Hunt	Hunt	
CCTV Cabling	In FFE Budget	DWL/Populous	COS/FSEC	COS/FSEC	
					FSEC will specify cameras, provide parameters of the design and install the cabling, terminations & cameras. LSW to design the rough-in and any power requirements (if needed). Hunt to install conduits/pathway and power (if required)
Equipment (cameras, recorders, video monitors, etc.) / Devices / Terminations	In FFE Budget	FSEC & DWL/Populous	COS/FSEC	COS/FSEC	
System Licensing/Programming	In FFE Budget	FSEC & DWL/Populous	COS/FSEC	COS/FSEC	
Security System - Access Control					
Infrastructure (conduits/raceway)	In base budget	DWL/Populous	Hunt	Hunt	
Cabling (power)		DWL/Populous			
Terminations (power)	In FFE Budget	DWL/Populous	COS/FSEC	COS/FSEC	
Data Cabling (low voltage)	In FFE Budget	FSEC & DWL/Populous	COS/FSEC	COS/FSEC	
Terminations (low voltage)	In FFE Budget	FSEC & DWL/Populous	COS/FSEC	COS/FSEC	
					FSEC will design the access control equipment and install the cabling & equipment. LSW to design the rough-in and Hunt to install conduits/pathway.
Equipment (Door Contacts, Card Readers, etc.) / Devices / Terminations	In FFE Budget	FSEC & DWL/Populous	COS/FSEC	COS/FSEC	Will need to coordinate door schedule with COS vendor to confirm who provides what hardware
System Licensing/Programming	In FFE Budget	FSEC & DWL/Populous	COS/FSEC	COS/FSEC	
Broadcast System					
Infrastructure (conduits/raceway)	In base budget	DWL/Populous	Hunt	Hunt	
Broadcast Cabling	Not Included	DWL/Populous	by Vendor	by vendor	COS & Giants to coordinate with tv broadcasters
Equipment / Devices / Terminations	Not Included	DWL/Populous	by Vendor	by vendor	

Scottsdale Stadium Multi-Use Event Center - Phase 1 Furniture, Fixtures & Equipment (FF&E) Responsibility Matrix		Budget	Prepare Design & Specifications	Purchase	Install	Comments
System Licensing/Programming		Not Included	DWL/Populous	by Vendor	by vendor	
Communications						
Telephone System Infrastructure (conduits/raceway)		In base budget	DWL/Populous	Hunt	Hunt	
Telephone System - wiring, installation, terminations, testing, ports		Ind. in teledata	DWL/Populous	COS	COS	COS to help coordinate drop locations for data
Telephones		Ind. in teledata	DWL/Populous	COS	COS	
Ticketing System		Not Included	Giants	Giants	Giants	
ATMs		Not Included	N/A	N/A	N/A	if COS would like to relocate existing ATMs then LSW could locate conduit and wiring (power & data) on the project documents and Hunt could relocate. However, this currently is not in the budget.
UPS / Battery Back-up System (Rack mounted unit in IDF's)		In base budget	DWL/Populous	Hunt	Hunt	
Video Production System						
In Game Cameras		Not Included	Giants	Giants	Giants	
Production Equipment		Not Included	Giants	Giants	Giants	
Video Coaching System - Infrastructure (conduit)		In base budget	DWL/Populous/Giants	Hunt	Hunt	
Video Coaching System - Cabling						
Audio/Video Equipment - Infrastructure (conduit)		In base budget	DWL/Populous/Giants/COS	Hunt	Hunt	Giants & COS to coordinate locations of equipment and data drops with LSW.
Audio/Video Equipment - power		In FFE Budget	DWL/Populous	Hunt	Hunt	
Audio/Video Equipment - data			DWL/Populous			
Audio/Video Equipment - Projectors, screens, loudspeakers, microphones, etc.						No portable equipment
DAS (Distributed Antenna System)						
Infrastructure (conduits/raceway)		In base budget	DWL/Populous	Hunt	Hunt	COS to provide locations of where future DAS devices will be located to run conduit
DAS Cabling		In FFE Budget	DWL/Populous	COS	COS	Need to consider for the Clubhouse and will potentially address for future in existing areas
Equipment / Devices / Terminations		In FFE Budget	DWL/Populous	COS	COS	
WiFi						
Wireless Access Points (WAPs)		In FFE Budget	DWL/Populous/Giants/b COS	COS/Giants	COS/Giants	Includes power
Infrastructure (conduits/raceway)		In base budget	DWL/Populous	Hunt	Hunt	
WiFi Cabling		In FFE Budget	DWL/Populous	COS/Giants	COS/Giants	
Server Racks		In FFE Budget	DWL/Populous	COS/Giants	COS/Giants	
POS (Point of Sale) System						
POS - infrastructure (conduits/raceways)		In base budget	DWL/Populous	Hunt	Hunt	
POS - cabling (electric)		In base budget	DWL/Populous	Hunt	Hunt	
POS - cabling (data)		In base budget	DWL/Populous	COS	COS	
POS System Equipment		Not Included	Concessionaire	Concessionaire	Concessionaire	Any new POS equipment and hardware to be provided by Concessionaire
POS Hardware		Not Included	Concessionaire	Concessionaire	Concessionaire	Any new POS equipment and hardware to be provided by Concessionaire
Fire Alarm System						
Cabling Infrastructure (conduits/raceway)		In base budget	DWL/Populous	Hunt	Hunt	
Cabling		In base budget	DWL/Populous	Hunt	Hunt	
Equipment / Devices / Terminations		In base budget	DWL/Populous	Hunt	Hunt	
Lighting Control						
Cabling Infrastructure (conduits/raceway)		In base budget	DWL/Populous	Hunt	Hunt	
Cabling		In base budget	DWL/Populous	Hunt	Hunt	
Equipment / Devices / Terminations		In base budget	DWL/Populous	Hunt	Hunt	

Scottsdale Stadium Multi-Use Event Center - Phase 1 Furniture, Fixtures & Equipment (FF&E) Responsibility Matrix	Budget	Prepare Design & Specifications	Purchase	Install	Comments
Building Automation System (EMS System)					
Cabling Infrastructure (conduits/raceway)	In base budget	DWL/Populous	Hunt	Hunt	
Cabling	In base budget	DWL/Populous	Hunt	Hunt	
Equipment / Devices / Terminations	In base budget	DWL/Populous	Hunt	Hunt	
Employee Time Clock - N/A					
Cabling Infrastructure (conduits/raceway)	Not Included	N/A	N/A	N/A	
Cabling	Not Included	N/A	N/A	N/A	
Equipment / Devices / Terminations	Not Included	N/A	N/A	N/A	
Equipment					
Laundry Equipment					
Washers & Dryers	In base budget	Giants	Hunt	Hunt	
Infrastructure for Washers & Dryers (water, drains, electric, gas, etc.)	In base budget	DWL/Populous	Hunt	Hunt	
Laundry Carts	Not Included	N/A	N/A	N/A	
Metal Shelving	Not Included	N/A	N/A	N/A	
Chemicals / Cleaning Supplies	Not Included	Giants/COS Vendor	Giants/COS Vendor	Giants/COS Vendor	
Portable Concessions					
Infrastructure for concourse power & data (conduits)	In base budget	DWL/Populous	Hunt	Hunt	
Cabling for power	In base budget	DWL/Populous	Hunt	Hunt	
Cabling for data	In base budget	DWL/Populous	COS	COS	
Portable Concession units	Not Included	Concessionaire	Concessionaire	Concessionaire	to be purchased by concessionaire
Food Service Equipment (Clubhouse Main Kitchen, Clubhouse Upper Level Kitchen, Gate A Kitchen, Press Tower Kitchen)					
MEP Infrastructure	In base budget	DWL/Populous	Hunt	Hunt	
Final Connections	In base budget	DWL/Populous	Hunt	Hunt	
Food Service Equipment	In base budget	DWL/Populous	Hunt	Hunt	
Small Appliances (outside of the main kitchen)	In base budget	DWL/Populous	Hunt	Hunt	
Kitchen dishware/smallware/portable carts	Not Included	Concessionaire	Concessionaire	Concessionaire	If desired, will be provided by concessionaire
Security					
Metal Detectors	Not Included	N/A	N/A	N/A	COS will continue to use existing battery powered units
Infrastructure for Metal Detectors (conduit, power, data)	Not Included	N/A	N/A	N/A	Current magnetometers are battery powered and charged overnight
Infrastructure for any wand detectors, 2 way radios/chargers, & safes	In base budget	DWL/Populous	Hunt	Hunt	
Wand Detectors - Not Included	Not Included	N/A	N/A	N/A	
2 way Radios / Chargers - Not Included	Not Included	N/A	N/A	N/A	
Safes - Not Included	Not Included	N/A	N/A	N/A	
Trainer Equipment					
Hydrotherapy Tubs	In FFE Budget	Giants	Giants	Hunt	Budget assumed for (1) large hydrotherapy pool, (2) plunge pools. Existing stainless steel extremity pools will be moved into the new building.
Plunge pool		Giants	Giants	Hunt	
Infrastructure for hydrotherapy tubs and plunge pool (structure, electrical, plumbing, etc.)	In base budget	DWL/Populous	Hunt	Hunt	

Scottsdale Stadium Multi-Use Event Center - Phase 1 Furniture, Fixtures & Equipment (FF&E) Responsibility Matrix	Budget	Prepare Design & Specifications	Purchase	Install	Comments
					Giants to provide a list of desired equipment. Is it possible to re-use existing equipment? Giants to look at current inventory to verify if this would take away equipment from fall league
Training Room Equipment (ice makers, training tables, etc.)	In FFE Budget	Giants	Giants	Giants	
Infrastructure for Training Room Equipment	In base budget	DWL/Populous	Hunt	Hunt	
Weight Room Equipment					
Training Equipment, Cardio equipment, etc.	In FFE Budget	Giants	Giants	Giants	
Weights	In FFE Budget	Giants	Giants	Giants	
Mats	In FFE Budget	Giants	Giants	Giants	
Sports Netting and Wall Padding - N/A					
Pedestrian Safety Netting at Practice Fields	Not Included	N/A	N/A	N/A	
Wall Padding	Not Included	N/A	N/A	N/A	
Material Handling Equipment - N/A					
Small pallet carts/jacks	Not Included	N/A	N/A	N/A	
Merchandise Equipment - N/A					
Retail Store Displays	Not Included	N/A	N/A	N/A	
Portable Carts	Not Included	N/A	N/A	N/A	
Storage Shelving	Not Included	N/A	N/A	N/A	
Branding Signage	Not Included	N/A	N/A	N/A	
Game Equipment - N/A					
Batting Tunnel Nets	Not Included	N/A	N/A	N/A	
Batting Tunnel Mats	Not Included	N/A	N/A	N/A	
Batting Tunnel Equipment	Not Included	N/A	N/A	N/A	
Pitching & Other Screens	Not Included	N/A	N/A	N/A	
Bases, Homeplate, Pitching rubbers	Not Included	N/A	N/A	N/A	
Batting Cage	Not Included	N/A	N/A	N/A	
Tarp	Not Included	N/A	N/A	N/A	
Parking Equipment - Barriers, Cones, etc. - N/A					
Barriers	Not Included	N/A	N/A	N/A	
Cones	Not Included	N/A	N/A	N/A	
Administrative Equipment - N/A					
Personal Computers w/ keyboards	Not Included	N/A	N/A	N/A	
Copiers, Printers, Fax machines	Not Included	N/A	N/A	N/A	
Power Strips	Not Included	N/A	N/A	N/A	
Shredders	Not Included	N/A	N/A	N/A	
Production Equipment - N/A					
Portable Video Projectors	Not Included	N/A	N/A	N/A	
Portable Sound System	Not Included	N/A	N/A	N/A	
Portable Projector Screens	Not Included	N/A	N/A	N/A	
Podium	Not Included	N/A	N/A	N/A	
Safety/First Aid Equipment - N/A					
Wheel Chairs	Not Included	N/A	N/A	N/A	
Stretcher, Back Boards, Neck Brace, etc.	Not Included	N/A	N/A	N/A	
Medical Supplies	Not Included	N/A	N/A	N/A	
Water Coolers	Not Included	N/A	N/A	N/A	
Privacy Curtains	Not Included	N/A	N/A	N/A	
Medical Cart	Not Included	N/A	N/A	N/A	
Janitorial Equipment - N/A					
Cleaning Supplies	Not Included	N/A	N/A	N/A	

Scottsdale Stadium Multi-Use Event Center - Phase 1 Furniture, Fixtures & Equipment (FF&E) Responsibility Matrix	Budget	Prepare Design & Specifications	Purchase	Install	Comments
Toilet Room Supplies	Not Included	N/A	N/A	N/A	
Cleaning Tools - Mops, brooms, etc.	Not Included	N/A	N/A	N/A	
Walk off Mats	Not Included	N/A	N/A	N/A	
Cleaning Equipment	Not Included	N/A	N/A	N/A	
Building Maintenance Equipment - N/A					
Riding Floor Scrubbers	Not Included	N/A	N/A	N/A	
Small Tools: brooms, squeegees, extension cords, mops	Not Included	N/A	N/A	N/A	
Misc. Material and stock: cleaning agents, trash bags, light bulbs, etc.	Not Included	N/A	N/A	N/A	
Field Maintenance Equipment - N/A					
Mower / Tractor	Not Included	N/A	N/A	N/A	
Spray Unit	Not Included	N/A	N/A	N/A	
Aerator, top dresser, barrel roller, edger	Not Included	N/A	N/A	N/A	
Utility vehicle	Not Included	N/A	N/A	N/A	
Small tools: shovels, hammers, wrench set, tape measure, etc.	Not Included	N/A	N/A	N/A	
Furnishings					
Fixed Stadium Seating	In base budget	DWL/Populous	Hunt	Hunt	Phase 1 does not contain any fixed stadium seating
Bleachers	In base budget	DWL/Populous	Hunt	Hunt	
Furnishings					
Site Furniture (picnic tables, chairs, etc.)	In FFE Budget	COS/Giants	COS/Giants	COS/Giants	
Benches	In FFE Budget	COS/Giants	COS/Giants	COS/Giants	
Trash Cans	In FFE Budget	COS/Giants	COS/Giants	COS/Giants	
Office Furniture (Desk, Tables, Chairs, Workstations)	In FFE Budget	COS/Giants	COS/Giants	COS/Giants	
Lockers					
Clubhouse lockers	In base budget	DWL/Populous	Hunt	Hunt	
Staff lockers	In base budget	DWL/Populous	Hunt	Hunt	
Window Coverings					
Clubhouse window coverings	In base budget	DWL/Populous	Hunt	Hunt	
Press Tower window coverings	In base budget	DWL/Populous	Hunt	Hunt	
Signage & Branding					
Code signage	In base budget	DWL/Populous	Hunt	Hunt	
Ancillary signage					
Wayfinding Signage					
Directories					
Banners / Graphics					
Naming Rights Signage - TBD	Not Included	COS/Naming Rights Group	COS/Naming Rights Group	COS/Naming Rights Group	Note that if additional structure is required for this signage that it is not included in the budget
Advertising Panels, Graphics and Signage - N/A	Not Included	N/A	N/A	N/A	
Storage					
High Density Storage (Clubhouse)	In FFE Budget	DWL/Populous	Giants	Giants	DWL/Populous to coordinate with Giants

SECTION 01 91 00

GENERAL COMMISSIONING REQUIREMENTS

PART 1 - GENERAL

1.1 SUMMARY

- A. The Owner will employ an independent Commissioning Authority (CxA). The CxA is an independent and knowledgeable third party, hired to verify that the systems work as intended. The CxA will inform the Owner and the Architect of the results of commissioning and provide recommendations for final acceptance of commissioned systems.
- B. Commissioning is the process to verify to the Owner that mechanical and electrical systems, as well as other special systems, function together properly to meet the facility performance requirements and design intent as described in the Contract Documents. The Contractor shall be responsible for participation in the commissioning process as outlined below, and in references and attachments throughout the Contract Documents. The Contractor shall furnish labor and materials sufficient to meet all requirements of building commissioning under this contract.
- C. LEED v4 Option 1 Path 2 MBCx: Engineering Economics, Inc. (EEI) utilizes software analytical tools to enhance the quality and thoroughness of Functional Performance Testing efforts. In order to support this effort, additional assistance of the controls (Building Automation System) contractor will be necessary. EEI will request that trend data be provided and automatically exported at specified concurrent fixed intervals for all of the equipment and systems that are to be Commissioned and that are also interfaced with the BAS in accordance with the contract documents. The controls contractor's ability to provide and automatically export trend data will be a prerequisite for EEI to proceed with Functional Performance Testing.
- D. The CxA, acting on the behalf of the Owner, will be cognizant of the Owner's Facilities Staff's need to be informed and given the opportunity to participate actively in the commissioning process to ensure a complete, thorough turnover of systems once the project is complete. To this end, the CxA will ensure that Facilities Personnel are informed of commissioning activity and schedule, and of any coordination issues, such as special testing procedures or opportunity for hands-on training during functional testing.
- E. The CxA is not authorized to modify, add to, or revoke the requirements of the Contract Documents. A change in the work can only be made as provided in the General Conditions.
- F. Specification sections in Division 1 - General Requirements (019100); Division 22 Plumbing (220800 - Commissioning of Plumbing); Division 23 - Heating, Ventilating, and Air Conditioning (230800 - Cx of HVAC); and Division 26 - Electrical (260800 - Cx of Electrical); outlines the specific commissioning responsibilities of each subcontractor for that division, and also obligates the Contractor to coordinate and manage the commissioning responsibilities of those subcontractors.

1.2 RELATED WORK

- A. Drawings and general provisions of Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to the work of this section.
- B. General requirements for testing agencies as specified in the Division 1, "Section Quality Control Services."
- C. Applicable Divisions 22 and 23 sections identifying the requirements for plumbing and HVAC systems relating to the installation of mechanical equipment and systems, particularly with respect to equipment

and system testing, start-up and performance demonstration/observation. Coordinate with the work of Division 26.

- D. Applicable Division 26 sections specifying the requirements for materials and installation of electrical equipment and systems, particularly with respect to equipment and system testing, start-up, arc flash and selective coordination and performance demonstration/observation. Coordinate with the work of Divisions 22 and 23.

1.3 TERMS

- A. Acceptable Performance: A component or system being able to meet specified design parameters under actual load, including satisfactory documented completion of all functional performance tests, control system trending, and resolution of outstanding issues.
- B. CxA: An independent and knowledgeable third party hired to verify that the systems achieve acceptable performance.
- C. Commissioning Field Workbook: A 3-ring binder (or similar) created by the CxA with input from the Commissioning Team. Tabs are created for blank Pre-functional Tests (s), Installation Inspections, TAB pencil copy reports, commissioning readiness sign-off sheets, and Building Automation system point-to-point documentation.
- D. Commissioning Plan: The Commissioning Plan is prepared by the Owner's CxA and defines the scope and format of the commissioning process and the responsibilities of all involved parties. The Commissioning Plan is provided to all commissioning team members to inform them of the intent and scope of the commissioning work to ensure inclusion in the project scope and to expedite the commissioning process.
- E. Commissioning Team: The term used to define the overall group associated with performing commissioning work, including designated representatives of the Owner, Facilities Staff, A/E Design Team, Construction Team, and the CxA.
- F. Construction Team: The term used to define the overall group responsible for performing the work to complete the work on the Contract Documents, including the Construction Manager, Contractor, the Mechanical Contractor and associated subcontractors, and the Electrical Contractor and associates subcontractors.
- G. Controls Summit: A meeting or meetings that occurs early after project award to coordinate and finalize the understanding of how the engineer of record sequence of operations is to be implemented before finalizing the control contractor's hardware and software shop drawings, graphics and other related submittals.
- H. Design Intent: Documentation behind design decisions that were made to meet the Owner's project requirements. The design intent describes the systems, components, conditions and methods to provide a fully functioning building.
- I. Functional Performance Testing: Full range of checks, tests and demonstrations carried out to determine that all components, sub-systems, systems, and interfaces between the systems function in accordance with the Contract Documents. In this context, function includes all modes and sequences of control operation, all interlocks and conditional control responses, and all specified responses to abnormal emergency conditions.
- J. Issue Resolution Log (IRL): The purpose of this log is to provide a method for tracking and resolution of items discovered as a result of the commissioning process. This list also includes the current disposition of issues and the date of final resolution as confirmed by the CxA.

- K. International Energy Conservation Code (IECC): Comprehensive energy conservation code establishes minimum regulations for energy-efficient buildings using prescriptive and performance-related provisions.
- L. Owner Project Requirements (OPR): A document developed by the Owner, with help of the CxA and A/E Design Team. The OPR details the functional requirements of the project, and the expectations of the buildings use and operation as it relates to the systems being commissioned.
- M. Performance Period: A period of time following the completion of Functional Performance Testing with minimal involvement/intervention from the installing contractor(s) where the performance of the Commissioned Systems are monitored and tracked for any deviations from expected outcomes. A Performance Period may also sometimes be referred to as a "trending period."

1.4 DUTIES OF CONTRACTOR

- A. It is the responsibility of the Construction Manager or General Contractor to assure that all requirements of this specification section are completed by the CM/GC and their sub-contractors.
- B. Provide vendor information to the CxA as requested enhancing the CxA's understanding of contractor and vendor obligations and responsibilities, and as needed to benefit the commissioning effort.
- C. Provide electronic copies of all submittals, shop drawings, coordination drawings, manufacturer's literature, maintenance information or other information as may be needed for systems to be commissioned to the CxA.
- D. Submit all manufacturer's installation inspection and start-up procedures (i.e., pre-functional test procedures) for review by the CxA.
- E. Incorporate commissioning activities into the overall construction schedule.
- F. Coordinate participation of the Mechanical, Electrical, Controls, Security, Fire Alarm and TAB Contractors in the commissioning process.
- G. Collect and provide to the CxA information requested for development of a complete commissioning plan, Pre-functional Test Checklists, Commissioning Field Notebook, and functional test procedures.
- H. Review the commissioning plan, project communication reports and test results, and submit comments to the CxA.
- I. Coordinate participation in the Controls Summit. Manage, track and complete the Commissioning Field Notebook, including Pre-functional Test Checklists and commissioning related specification requirements.
- J. Provide to the CxA the controls system complete point listing that includes a summary of all points; full description; point naming, address, type and units, including mapped points from third party equipment controls; and calculated or virtual points. This information shall be in Excel or .csv format.
- K. Verify that coordination, installation, quality control, and final testing have been completed such that installed systems and equipment comply with construction documents.
- L. Provide CxA with controls system wiring diagrams and narrative sequences of operation in time for use in preparing the functional test procedures.
- M. Participate in any efforts to finalize sequences of operations with Owner, A/E Design Team, and CxA.

- N. In a timely manner, address issues identified during construction that may affect the commissioning process or final system performance.
- O. Participate in commissioning meetings with the CxA.
- P. Ensure the building automation system graphics are submitted for approval by the A/E prior to testing and these graphics are operational prior to the start of functional testing.
- Q. Provide preliminary TAB report, indicating all actual field values recorded, to the CxA prior to initiation of functional testing. These reports may be hand written and shall be incorporated in the Commissioning Field Notebook.
- R. Provide a fully operational system per the contract documents, started, verified, debugged, calibrated, balanced, tested and under automatic control prior to providing written notice via the commissioning readiness sign-off sheet for inclusion in the commissioning field workbook.
- S. Issue a written notice of Cx readiness for each system to CxA upon completion via completed and signed readiness checklist, installation completion matrix or pre-functional checklist. Functional testing will not begin for any system until signed notice of Cx readiness is issued.
- T. Provide proprietary test equipment required to test all the systems and equipment in this project.
- U. Operate equipment and systems, as required, for functional performance testing. This includes, but is not limited to, manipulating the appropriate controls systems to achieve the expected response for the functional test procedure and initiating HVAC system fire alarm interactions via the fire alarm system.
- V. Provide building automation trends at the specified intervals as found in the Commissioning Plan. This will require editing in consideration of MBEx data extraction method, performance period, but consider leaving in regardless as back up for performance review.
- W. Participate in the fine-tuning or troubleshooting of system performance if either becomes necessary.
- X. Submit complete operation and maintenance information, and as-built drawings in accordance with contract documents and latest version of IECC requirements to the CxA for review.
- Y. **If Performance Period verification is required by the Owner, or included in the contract documents, Contractor shall provide the necessary support for Commissioned Systems during the Performance Period.** This includes, but is not limited to, providing the necessary personnel to operate all Commissioned Systems during a performance period to last 7 days, responding to hot/cold calls and other complaints from building occupants, notifying the Commissioning Team in writing of any issues that arise during the Performance Period, providing requested trend data, and correcting any issues that are identified for correction during this period.
- Z. Provide documentation of training for the systems specified.
- AA. LEED v4 Option 1 Path 1 Enhanced Systems Manual requirements: Within (60) days of approval of all submittals, the contractor shall submit to the CxA for inclusion in the systems manual:
 - 1. All Operation and Maintenance information.
 - 2. One electronic set of approved submittals,
 - 3. All maintenance procedures and schedules as well as operational record keeping recommendations.
 - 4. Emergency contact and service contact information for all equipment provided as part of the project including names, agency, address, phone number, and email address
 - 5. At the time of substantial completion, the contractor shall submit the following additional information to the CxA for inclusion in the systems manual

- a. One electronic set of as-built drawings, single-line diagrams, flow diagrams, equipment preventative maintenance schedules, as built sequences of operation, original setpoints, emergency operating procedures, and a record of all changes made throughout the project.
- b. Confirmation record of completed training.
- 6. The CxA shall develop narratives for each system, make recommendations for optimization, recalibration and retesting, and compile the systems manual in its entirety. One electronic copy will be transmitted to the Owner.

BB. Compensation for the CxA for retesting and/or troubleshooting time in excess of the specified retest allowance will be requested to the Owner from the CxA if the Contractor's systems do not meet specified performance. Contractor will be required to reimburse Owner for this additional expense.

1.5 DUTIES OF COMMISSIONING AUTHORITY (CxA)

- A. Provide Contractor with expected durations of commissioning activities for inclusion in the construction schedule.
- B. Collect and review design intent from the A/E Design Team.
- C. Review the Contract Documents.
- D. Develop the commissioning plan.
- E. Develop commissioning specifications for inclusion in the contract documents.
- F. Develop pre-functional test checklists for each piece of commissioned equipment.
- G. Develop the Commissioning Field Notebook for use by the Contractor. Provide supplemental documentation, as necessary, to ensure that all aspects of start-up and testing have been complete and documented prior to functional testing.
- H. Organize a commissioning kickoff meeting and present the commissioning plan to the Commissioning Team.
- I. Review the Contractor submittals relative to the systems to be commissioned.
- J. Conduct a Controls Summit meeting with the Owner, Architect, Contractor and Building Automatic Temperature Control (ATC) Contractor.
- K. Review construction installation progress and verify system installation quality and readiness for testing.
- L. Observe the start-up activities and initial testing of equipment and systems, as required, and review Contractor start-up documentation.
- M. Develop functional test procedures from Contractor submittals, including designer-approved control documentation, and narrative sequences of operation and control diagrams.
- N. Direct and perform and document functional testing with assistance from Contractor.
- O. Provide site observation, functional test and other project reports in a timely manner. Document inconsistencies or deficiencies in system operations and system compliance.
- P. Coordinate participation of Owner's Personnel involved with equipment, component and systems performance verification, and participation in required training.

- Q. Witness and verify satisfactory completion of equipment and component tests and systems and inter-systems functional performance tests.
- R. Maintain the Issue Resolution Log. Verify resolution of issues identified through the commissioning process.
- S. If performance period verification is included in the project scope, analyze and compile trend log results from performance period activities.
- T. Verify training for commissioned equipment and systems is provided to the Owner.
- U. Review Contractor Operations & Maintenance Manuals for commissioned equipment and systems.
- V. Complete a commissioning report.
- W. Compile a Systems Manual.
- X. Complete IECC Commissioning Compliance Checklist.

1.6 ADDITIONAL DUTIES OF THE TAB CONTRACTOR

- A. Provide as-built TAB one-line documentation for all balanced systems. Hydronic systems shall include risers and main branch take-offs complete with pipe size and balanced flow. Airside systems shall include duct risers and main branch take-offs with duct size, balanced flow and pressure and full flow conditions.
- B. Provide static pressure profiles for all air handling equipment while same is operating at design capacity specifically noting equipment components and airflow volumes.
- C. Conduct air flow station calibration verification in the presence of the CxA, and document results in TAB report.
- D. Re-measure air and water flows as directed by the CxA to verify proper TAB measurement procedures were followed, and the results are repeatable. A 2-day allowance for spot checking of TAB measurements is included in the commissioning scope of work; if 10% or more of the spaces spot-checked do not match reported airflows, additional spot checking will be conducted at the expense of the TAB contractor.
- E. Measure building pressure during peak heating season with all air handlers controlling to minimum outside air flow.
- F. Measure building pressure during peak cooling season with all air handlers controlling to minimum outside air flow.
- G. Measure building pressure under 100% outside air economizer conditions (if applicable) with all air handler fans operating under normal BAS control.
- H. Observe duct pressure testing.
- I. Perform site observations of all air and hydronic systems for access to all balancing devices (i.e. manual volume dampers and hydronic balance devices) prior to installation, system fill and insulation.

1.7 ADDITIONAL DUTIES OF THE BUILDING AUTOMATION TEMPERATURE CONTROL CONTRACTOR

- A. Coordination of final sequence of operations with the Owner, A/E and CxA prior to submittal.

- B. Testing and start-up of the equipment including completed control systems, point-to-point verification of all system inputs and outputs, calibration checks and accurate system graphics.
- C. Providing qualified personnel for participation in commissioning tests, including seasonal testing required after the initial commissioning.
- D. Provide test holes in ducts and plenums where directed or necessary for sensor calibration verification. Test holes shall be provided with an approved removable plug or seal. At each location where ducts or plenums are insulated, test holes shall be provided with an approved extension with plug fitting.
- E. Provide test connection ports for airside differential pressure switches and transmitters.
- F. Provide test connection ports for waterside differential pressure transmitters.
- G. Provide all devices, software, cables and devices necessary to communicate with controllers, so that commissioning can proceed in an efficient manner.
- H. All commissioning activities will utilize the graphics on the building automation system workstation. This contractor shall be responsible for submitting graphics for review by the A/E prior to commencement of field testing. Commissioning testing will not begin until graphics are A/E approved and fully functional.
- I. Provide remote access to the automation system for the CxA.
- J. Provide access to the programming and graphics tools for the building automation system front-end workstation for use by the CxA prior to downloading controls programming. The CxA shall review all completed controls programming against the approved sequences of operation. The CxA will communicate directly with the ATC Contractor by noting all comments in the programming tool. Any deficiencies identified will be recorded to the IRL report.
- K. Providing training to the CxA on basic operation of the control system along with appropriate personal access for commissioning.
- L. Fulfill contract and warranty requirements by providing equipment, software, software programming materials and labor necessary to correct deficiencies found during the commissioning process.
- M. After completion of Cx activities but before Owner occupancy, set up and provide interval trends for duration of Performance Period for all points required by the CxA. The list of points and frequency required will be developed as part of the Commissioning Plan. Provide this data in a Microsoft Excel compatible format.
- N. Provide sequences of operation in a MS Word compatible format.
- O. Provide as-built control diagrams in individual PDF format on a per system basis.

PART 2 - PRODUCTS

2.1 TEST EQUIPMENT

- A. Standard test equipment for commissioning will be provided by the CxA.
- B. Division 21, 22, 23 and 26 Contractors shall provide standard and specialized test equipment as necessary to test and start up the systems.

- C. Proprietary test equipment required by the manufacturer, whether specified or not, shall be provided by the manufacturer of the equipment through the installing contractor. Manufacturer shall provide the test equipment, demonstrate its use and assist the CxA in the commissioning process.
- D. The Contractor shall provide all equipment, software and all test programming support as necessary to start up, calibrate, debug and verify proper function of the control/facility management system. This equipment and software shall be provided for use by both the test and balance contractor and the CxA.

2.2 BUILDING AUTOMATION SYSTEM TEST EQUIPMENT

- A. This ATC Contractor shall provide all equipment, software and all test programming support as necessary to start up, calibrate, debug and verify proper function of the control/building management system. This equipment and software shall be provided for use by both the test and balance Contractor and the CxA at no additional charge to the project.
- B. Proprietary test equipment, including hardware, software and specialized test instruments, required by the manufacturer for system testing and commissioning, whether specified or not, shall be provided by the control system contractor at no additional charge to the project. This Contractor shall provide the test equipment, demonstrate its use and assist the CxA in the commissioning process. This includes, but is not limited to, provision of any proprietary software required for communication with terminal equipment controllers and access to graphical user interfaces.
- C. ATC Contractor shall provide remote access to the Building Automation System (BAS) to the CxA.
- D. The contractor shall provide a site license dedicated to the CxA during field testing at no additional charge to the project.

PART 3 - EXECUTION

3.1 COMMISSIONING PROCESS

- A. Commissioning Schedule
 - 1. Contractor to incorporate commissioning activities into the overall construction schedule. If construction is phased, commissioning activities are to be included in all phases of the schedule. The schedule defines the milestones and conditions that must be achieved before functional testing can commence. The schedule also includes the expected duration of the various tasks. The CxA will provide the Contractor with expected durations of commissioning activities.
 - 2. Special consideration shall be given to the schedule to prevent unrealistic overlap of activities within the same area of the building with each other and with commissioning (e.g., air and water balancing, enabling return air without floor level cleanliness, flooring installation, and fire alarm testing).
 - 3. Contractor to develop a systematic start-up / close-out / commissioning schedule or include the same information in the overall construction schedule. For each of the equipment/systems, the following activities shall be indicated on the Startup and Commissioning Schedule as a minimum (note that not all of these activities apply to all equipment/systems and that some equipment/systems will require additional activities and prerequisites to be indicated):
 - a. Equipment Installation Completion Date(s) with referenced prerequisites from the General Schedule,
 - b. Permanent Power Completion Date(s), including power connection to equipment,
 - c. Availability of central plant services (i.e. chilled water, hot water, steam)
 - d. Controls Wiring Completion Date(s)
 - e. Manufacturer's Representatives' Equipment/System Startup Date(s)
 - f. Contractors' Equipment/System Startup Date(s)
 - g. BAS Point to Point Testing Date(s)
 - h. Test and Balancing Date(s)
 - i. 3rd-Party Electrical Testing Agency Testing Date(s)

- j. Floor level final clean and dust free
- k. Fire Alarm System Pre-Testing Date(s),
- l. Fire Department Fire Alarm and Fire Suppression Systems Testing Date(s),
- m. Functional Performance Testing Date(s)
- n. Substantial Completion Date(s)
- o. Owner Move in Date(s)
- p. Performance period.
- q. Operations and Maintenance Manual review.
- r. Owner personnel training.

B. Contract Document Review

- 1. The CxA will collect and review design intent information from the design team and verify that it meets the Owner's project requirements. Design intent documentation will be used in conjunction with the Contract Documents to develop the commissioning plan, pre-functional tests, and functional performance tests.

C. Commissioning Plan

- 1. The CxA will develop a commissioning plan for the project. The commissioning plan is a tool through which the commissioning process is described and incorporates the Owner, A/E Design Team, Contractor and CxA's roles relative to the commissioning process. The commissioning plan will include the following:
- 2. Elements of the Plan
 - a. Detail the commissioning process
 - b. Identify commissioning team members
 - c. Include a commissioning team organization chart
 - d. Define commissioning team member responsibilities
 - e. Describe pre-functional and functional test procedures
 - f. Outline systems to be commissioned
 - g. Provide a list of Commissioning Activities, including durations

D. Pre-functional Test Checklists

- 1. The CxA will develop pre-functional test checklists for each piece of commissioned equipment [or review contractor provided pre-functional test and startup checklists. The pre-functional test checklist will outline required steps for the Contractor to complete prior to functional testing. Pre-functional test checklists verify installation, start-up and operational assessments have been completed for the equipment.
- 2. Manufacturer start-up forms provided with pieces of equipment will be collected in addition to the pre-functional test checklists.

E. Commissioning Field Notebook

- 1. The CxA will develop a Commissioning Field Notebook to be used and completed by the Contractor. The notebook will identify and track all pertinent commissioning documentation required during the installation, start-up, and checkout phases. The notebook will be maintained by the Contractor on-site and will be made available to all Subcontractors for their use. The notebook provides a central location for the Subcontractors and CxA to identify, copy, and organize all pertinent commissioning information.
- 2. The Commissioning Field Notebook will contain:
 - a. Summary describing the notebook's contents and use
 - b. Commissioning plan for Contractor field reference
 - c. Tabs for each system, with copies of pre-functional and functional test check sheets for pieces of equipment identified as part of that system
 - d. Commissioning project communication reports, issue logs schedule information, or any other documentation provided by the CxA

F. Commissioning Kickoff Meeting

1. The commissioning plan will be presented to the Commissioning Team during a commissioning kickoff meeting. The Commissioning Team will review the plan and provide comments to the CxA. The CxA will incorporate appropriate comments into the plan and a finalized commissioning plan will be distributed to the Commissioning Team.
 2. The Commissioning Field Notebook will be presented to the Contractor during the commissioning kickoff meeting. Instruction for its use will be conveyed during the meeting.
- G. Installation Progress Review
1. During the course of construction, the CxA will perform installation reviews for commissioned equipment and systems. Deficiencies and/or recommendations will be noted and conveyed in project communication reports to the appropriate Commissioning Team members.
- H. Pre-functional Test Checklist Completion
1. Using the pre-functional test checklists developed or approved by the CxA, the Contractor will verify that the systems they install are in compliance with the construction documents and are fully functional. Functional testing will only begin when checklists are completed by the appropriate subcontractors, initialed, signed, and returned to the CxA indicating specific system completion.
 2. Contractor will issue a written notice of readiness to the CxA upon completion of all systems work, start-up and endorsement of pre-functional tests.
- I. Contractor Submittal Review
1. The Contractor will provide electronic copies of the submittals for commissioned systems and equipment to the CxA for use in development of functional test procedures.
 2. The CxA will review submittals for conformity with the design intent.
- J. Functional Test Procedures
1. The CxA will develop functional test procedures for each piece of commissioned equipment. The functional tests outline the process for testing the building's systems. Functional tests verify the performance of equipment adhere to the design intent.
 2. Functional test procedures include, but are not limited to, the following:
 - a. Verification of testing, adjusting and balancing performance
 - b. Verification of the performance of automatic controls in all seasonal modes
 - c. Verification of the performance of a HVAC system
 - d. Verification of the performance of electrical systems
 - e. Verification of the performance of plumbing systems
 - f. Verification of the performance of all life safety interactions with the HVAC systems
 - g. Verification of the response of automated controls to alarms, fire alarm input, and power failures
 - h. Verification of trending capabilities of the automated controls system.
- K. Functional Testing
1. Functional testing is intended to begin upon completion of a system. The CxA will not begin the functional testing process until each system is complete and documented. Testing may proceed prior to the completion of systems and/or sub-systems if expediting this work is in the best interests of the Owner.
 2. Functional testing is performed by the Contractor and witnessed by the CxA to verify proper sequencing, operation, and performance of installed equipment and systems under realistic operating conditions. As tests are successfully completed, systems will be deemed acceptable by the CxA.
 3. The Contractor is responsible for coordinating participation of CxA and Subcontractors in functional testing.
- L. Issue Resolution Log

1. When acceptable performance cannot be achieved by tested equipment and systems, the cause of the deficiency will be identified. Deficiencies will be collected and tracked in an Issue Resolution Log maintained by the CxA.

M. Corrective Measures

1. If acceptable performance cannot be achieved by a piece of equipment or a system, and if the deficiency is caused by installation error by the Contractor, the necessary corrective measures shall be carried out by the Contractor. Once corrective measures have been completed, the equipment or system will be retested by the CxA until acceptable performance is achieved.
2. A 4-hour retest allowance is included in the commissioning scope for repeats of failed tests. If retesting to achieve acceptable performance exceeds this allowance, the Contractor shall be financially responsible at standard rates to reimburse the CxA for the additional time and travel costs required to resolve deficiencies.

N. Project Communication Reports

1. In addition to the pre-functional test checklists, functional test procedures and the Issue Resolution Log, project communication reports will be provided to document all other commissioning activities performed by the CxA. Project communication reports will be issued to the Contractor and key members of the Commissioning Team to document apparent deficiencies identified during examination of design and construction documents, daily activities on-site, installation deficiencies, and successful or unsuccessful functional testing results.

O. Commissioning Meetings

1. Commissioning meetings will be held periodically during the construction process to review the status of the construction and commissioning work, develop construction completion and testing schedules, and the status of submittals required by this section. Attendance by the Construction Team is required for commissioning meetings.
2. Commissioning meetings will be coordinated by the Contractor. Meeting minutes will be developed and maintained by the CxA.

Performance Period

3. Upon successful completion of functional test procedures, a performance period of 15 consecutive calendar days shall commence on first day following the last performance test. This period shall be completed prior to final acceptance of the project. In the event of failure to meet standard of performance during any initiated performance period, it is not required that one -calendar day period expire in order for another performance period to begin.
4. If equipment or system operate and demonstrate continuing compliance with specified requirements for period of 15 consecutive calendar days from commencement date of performance period, it shall be deemed to have met the standard of performance.
5. Equipment will not be accepted by the Owner and final payment will not be made by the Owner until acceptable performance is met.
6. Contractor shall provide CxA with trend logs of the system performance for the control variables and setpoint in each control process in 15-minute time increments.

P. Operations and Maintenance Manual Review

1. The Contractor shall assemble Operations & Maintenance Manuals as described in other sections of these Contract Documents and latest version IECC requirements.
2. Documentation shall be submitted electronically. Scanned copies are not acceptable.
3. The CxA will review the Operations & Maintenance Manuals of commissioned systems and equipment after they have been reviewed and accepted by the A/E Design Team.

Q. Training

1. A training plan will be developed by the Contractor outlining equipment that requires training, who will perform the training, when the training will occur, and the required duration of the training. Once the training plan is developed, the Owner will review and approve training durations and quantities proposed by the Contractors and coordinate the training schedule with the construction team to ensure that the appropriate personnel attend the training.
2. Training sessions should include using the Operations & Maintenance Manuals and as-built drawings assembled by the Contractor.
3. Detailed requirements for training and instruction are contained in other sections of these Contract Documents.
4. Contractor to provide a copy of all Owner Training documentation to the CxA for review.

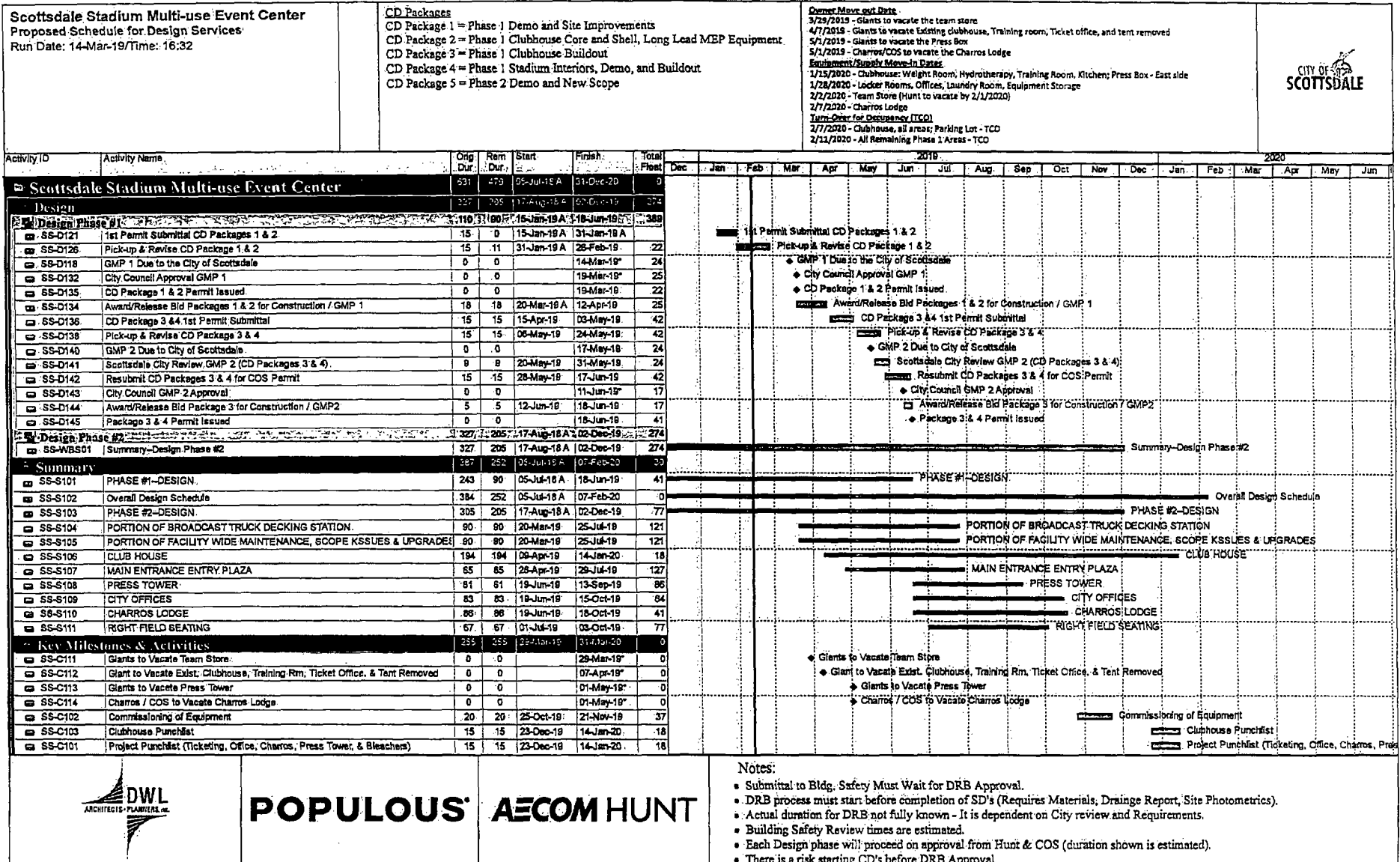
R. Commissioning Report

1. Once acceptable performance is achieved, the CxA will complete a commissioning report. The report shall include:
 - a. A commissioning activity executive summary.
 - b. The finalized commissioning plan.
 - c. The completed Commissioning Field Notebook, including pre-functional test checklists and specified commissioning related documentation.
 - d. Completed functional test procedures.
 - e. Commissioning project communication reports.
 - f. Up-to-date Issue Resolution Log.
 - g. Performance period trend log analyses.

3.2 SYSTEMS TO BE COMMISSIONED

- A. Systems and equipment to be functionally tested include, as described in Division 1 (019100), Division 22 (220800), Division 23 (230800) and Division 26 (260800).

END OF SECTION 01 91 00



[illegible]

[illegible]

[illegible]

[illegible]

[illegible]

[illegible]

Activity ID	Activity Name	Orig. Dur	Rem. Dur	Start	Finish	Total Float	2019												2020							
							Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	
SS-CH369	Install Partitions & Accessories	2	2	20-Nov-19	21-Nov-19	40																				
SS-CH370	Millwork /Cabinets/Tops	5	5	22-Nov-19	02-Dec-19	40																				
SS-CH371	Final Paint	2	2	03-Dec-19	04-Dec-19	40																				
SS-CH372	Install Flooring & Base	3	3	05-Dec-19	08-Dec-19	40																				
Lab/Corridor/MEP Room		45	45	03-Oct-19	06-Dec-19	41																				
SS-CH373	MEPS Overhead Rough-In	5	5	03-Oct-19	08-Oct-19	20																				
SS-CH374	Interior Partitions & Rough-Ins	10	10	10-Oct-19	23-Oct-19	48																				
SS-CH375	Drywall/Tape/Finish Walls	10	10	04-Nov-19	15-Nov-19	41																				
SS-CH376	Paint	3	3	18-Nov-19	20-Nov-19	41																				
SS-CH377	Install Doors & Hardware	2	2	21-Nov-19	22-Nov-19	44																				
SS-CH378	Fixtures/Tim	5	5	21-Nov-19	27-Nov-19	41																				
SS-CH379	Millwork /Cabinets/Tops	3	3	21-Nov-19	25-Nov-19	46																				
SS-CH380	Final Paint	3	3	02-Dec-19	04-Dec-19	41																				
SS-CH381	Install Carpeting & Base	2	2	05-Dec-19	06-Dec-19	41																				
Upper Level Framing/Interior Finishes		56	56	10-Oct-19	31-Dec-19	25																				
Open Offices		46	46	10-Oct-19	16-Dec-19	35																				
SS-CH382	MEPS Overhead Rough-In	10	10	10-Oct-19	23-Oct-19	20																				
SS-CH383	Interior Partitions & Rough-Ins	10	10	24-Oct-19	06-Nov-19	35																				
SS-CH384	Drywall/Tape/Finish Walls	10	10	07-Nov-19	20-Nov-19	35																				
SS-CH385	Paint	3	3	21-Nov-19	25-Nov-19	35																				
SS-CH386	Install Doors & Hardware	2	2	26-Nov-19	27-Nov-19	40																				
SS-CH387	Fixtures/Tim	7	7	26-Nov-19	06-Dec-19	35																				
SS-CH388	Millwork/Cabinets/Tops	5	5	26-Nov-19	04-Dec-19	40																				
SS-CH389	Final Paint	3	3	09-Dec-19	11-Dec-19	35																				
SS-CH390	Install Carpeting & Base	3	3	12-Dec-19	16-Dec-19	35																				
Corridor/Kitchen/Telleg/MEP Room		48	48	22-Oct-19	31-Dec-19	25																				
SS-CH391	MEPS Overhead Rough-In	5	5	22-Oct-19	28-Oct-19	20																				
SS-CH392	Interior Partitions & Rough-Ins	7	7	28-Oct-19	05-Nov-19	20																				
SS-CH393	Drywall/Tape/Finish Walls	7	7	01-Nov-19	11-Nov-19	20																				
SS-CH394	Frame Hard Lids & Rough-Ins	5	5	11-Nov-19	15-Nov-19	20																				
SS-CH395	Overhead Sign-Off	2	2	18-Nov-19	18-Nov-19	20																				
SS-CH396	Drywall/Tape/Finish Ceilings	7	7	20-Nov-19	02-Dec-19	20																				
SS-CH397	Paint	3	3	03-Dec-19	05-Dec-19	20																				
SS-CH398	Install Doors & Hardware	2	2	06-Dec-19	09-Dec-19	22																				
SS-CH399	Install Tile at Restroom	5	5	06-Dec-19	12-Dec-19	30																				
SS-CH400	Install Flooring at Restrooms & Showers	5	5	06-Dec-19	12-Dec-19	20																				
SS-CH401	Fixtures/Tim	5	5	12-Dec-19	18-Dec-19	20																				
SS-CH402	Millwork /Cabinets/Tops	4	4	13-Dec-19	18-Dec-19	30																				
SS-CH403	Install Partitions & Accessories	3	3	19-Dec-19	23-Dec-19	25																				
SS-CH404	Final Paint	2	2	24-Dec-19	26-Dec-19	25																				
SS-CH405	Install Flooring & Base	3	3	27-Dec-19	31-Dec-19	25																				
Retaining Walls/Hardscape/Landscape		52	52	22-Oct-19	10-Jan-20	21																				
SS-CH406	F/R/P Retaining Wall Footings	5	5	22-Oct-19	28-Oct-19	21																				
SS-CH407	Install CMU/Concrete Retaining Walls	15	15	28-Oct-19	18-Nov-19	21																				
SS-CH410	CMU/Concrete Retaining Walls Cure Time	7	7	18-Nov-19	25-Nov-19	36																				
SS-CH408	F/R/P Stairs & Ramps	5	5	19-Nov-19	25-Nov-19	28																				
SS-CH409	F/R/P Planter Footings & Walls	10	10	19-Nov-19	04-Dec-19	21																				
SS-CH411	Backfill Retaining Walls	3	3	26-Nov-19	02-Dec-19	23																				
SS-CH412	Finish Grade for Hardscape	5	5	05-Dec-19	11-Dec-19	21																				
SS-CH413	Planter Footing & Wall Cure Time	7	7	05-Dec-19	11-Dec-19	53																				
SS-CH414	Pour Hardscape	15	15	09-Dec-19	30-Dec-19	21																				
SS-CH415	Waterproof Planter Walls	3	3	12-Dec-19	16-Dec-19	35																				
SS-CH416	Landscape/Irrigation/Rip Rap/DG	15	15	16-Dec-19	07-Jan-20	21																				
SS-CH417	Install Guardrails at Retaining Walls	5	5	31-Dec-19	07-Jan-20	21																				
Club House / Closeout		2	2	13-Jan-20	14-Jan-20	18																				
SS-CH500	Club Final Inspection & Closeout	2	2	13-Jan-20	14-Jan-20	18																				
City Offices / Team Store		83	83	19-Jun-19	15-Oct-19	64																				
SS-OF101	Make Safe & Demo	7	7	19-Jun-19	27-Jun-19	64																				

Make Safe & Demo

[illegible]

[illegible]