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2525 E. Arizona Biltmore Circle, Suite A-212, Phoenix, AZ 85016

ITEM 14A

April 19, 2016

Mr. Tim Curtis
Planning Director
City of Scottsdale
7447 E. Indian School Rd, Suite 105
Scottsdale, AZ 85251

Re: Marquee (Shoeman Office Building) Rezoning Case 7-ZN-2015

Dear Tim:

Based upon our conversation this morning and the City Clerk's concerns regarding scheduling, May 10, 2016 has been suggested as the appropriate City Council hearing date. As you know, City Staff and our office has been working tirelessly on the above referenced zoning case in order to prepare for Council and ensure a successful and viable project. The case is currently on the April 19, 2016 City Council Agenda. Please accept this letter as formal request to continue Rezoning Case 7-ZN-2015 to the May 10, 2016 City Council hearing.

Thank you for your continued efforts on this project.

Very truly yours,

WITHEY MORRIS P.L.C.

By
Jason B. Morris

cc: Carolyn Jagger, City Clerk's Office
George Pasquel, Withey Morris, PLC
Dan Symer, City of Scottsdale
Randy Grant, City of Scottsdale

CITY COUNCIL REPORT



Meeting Date: April 19, 2016
 General Plan Element: *Land Use*
 General Plan Goal: *Create a sense of community through land uses*

ACTION

Shoeman Office Building 7-ZN-2015

Request to consider the following:

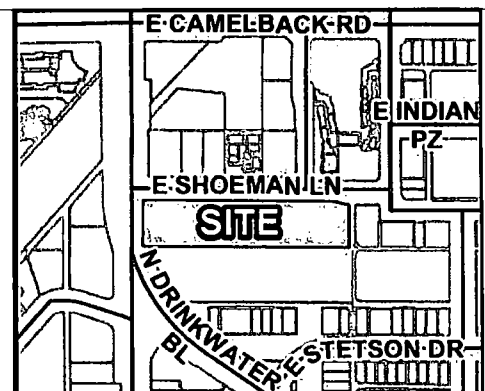
1. Adopt Ordinance No. 4240 approving a Zoning District Map Amendment from Central Business Downtown Overlay (C-2 DO) and Highway Commercial Downtown Overlay (C-3 DO) zoning to Downtown/Downtown Multiple Use Type-2, Planned Block Development, Downtown Overlay (D/DMU-2, PBD, DO) zoning, including approval of Property Development Standards and a Development Plan, on a ±1.96-acre site located at 4419 North Scottsdale Road, 7223 East Shoeman Lane and 7233 East Shoeman Lane.
2. Adopt Resolution No. 10357 authorizing the Mayor to execute Development Agreement No. 2016-021-COS for property generally located at 4419 North Scottsdale Road.
3. Adopt Resolution No. 10366 declaring as a public record that certain document filed with the City Clerk of the City of Scottsdale and entitled "Shoeman Office Building Development Plan, 7-ZN-2015".

Key Items for Consideration

- Downtown Plan Character and Design Goals and Policies
- Planned Block Development Overlay Criteria
- Downtown Urban Design and Architectural Guidelines
- The Development Review Board recommend approval of the Development Plan
- Associated with case 5-TA-2015, a Zoning Ordinance Text Amendment to amend building height
- Planning Commission heard this case on February 24, 2016 and recommended approval with a vote of 7-0

OWNER

Stockdale Capital Partners, LLC
 Stockdale Galleria Land Owner, LLC
 602-317-7100



APPLICANT CONTACT

George Pasquel III
Withey Morris, PLC
602-230-0600

LOCATION

4419 North Scottsdale Road, 7223 East Shoeman Lane, 7233 East Shoeman Lane, and 7235 East Shoeman Lane

BACKGROUND

General Plan

The Land Use Element of the General Plan designates the site area as Mixed-Use Neighborhoods (Attachment #6). This category includes higher density residential, office and retail uses. Mixed-Use Neighborhoods are also characterized by being located in areas having multiple modes of transportation available. In addition, the site areas are located in a growth area, as designated by the Growth Areas Element of the General Plan. The purpose of this designation is to approach "...growth management from a perspective of ..." identifying those "...areas of the community that are most appropriate for development focus [that] will best accommodate future growth...." The Growth Areas are intended to encourage development in a mixed-use environment.

Character Area Plan

The Downtown Future Land Use map of the Downtown Plan designates the site as Downtown Multiple Use Type 2 (Attachment #7.) within the Drinkwater Conceptual Urban Neighborhood. This land use is characterized to "Encourage new development, redevelopment and infill that strengthens Downtown Scottsdale's mix of uses and activities..." (LU 2.5) that are mutually supportive.

Zoning

The site is zoned Central Business Downtown Overlay (C-2 DO), and Highway Commercial Downtown Overlay (C-3 DO). The C-2 DO and C-3 DO districts allows for assortment of commercial and residential uses. The proposed zoning is Downtown/Downtown Multiple Use Type - 2 Planned Block Development Downtown Overlay allows a mixture of commercial and residential uses in a mixed-use development format.

Context

Located at the intersection of North Scottsdale Road and East Shoeman Lane, the surrounding developments contain commercial, office, residential, and restaurant uses.
Please refer to context graphics attached.

Adjacent Uses and Zoning

- North East Shoeman Lane, and farther north are existing hotel, office, parking, restaurant, vacant land, and partially complete condominium building, zoned

- Downtown/Downtown Multiple Use – Type 2 Downtown Overlay (D/DMU-2 DO),
Downtown/Office Residential – Type 2 Planned Block Development Overlay
Downtown Overlay (D/OR-2 PBD DO), and Highway Commercial Downtown Overlay
(C-3 DO),
- South An existing mixed use commercial center, zoned Downtown/Regional Commercial
Office – Type 2 Planned Block Development Overlay Downtown Overlay (D/RCO-2
PBD DO)
- East An existing parking lot, and mechanical yard, zoned Downtown/Regional Commercial
Office – Type 2 Planned Block Development Overlay Downtown Overlay (D/RCO-2
PBD DO)
- West North Scottsdale Road, and existing mixed use commercial center, zoned
Downtown/Retail Specialty – Type 1 Downtown Overlay (D/RS-1 DO).

Other Related Policies, References:

- 5-TA-2015 Request by Stockdale Capital Partners, LLC for Zoning Ordinance Text Amendment to
allow appurtenances with a maximum height of six (6) feet above the allowed
building height.

APPLICANTS PROPOSAL

Goal/Purpose of Request

The applicant's request is for Zoning District Map Amendment from Central Business Downtown
Overlay (C-2 DO) and Highway Commercial Downtown Overlay (C-3 DO) zoning to
Downtown/Downtown Multiple Use Type-2, Planned Block Development, Downtown Overlay
(D/DMU-2, PBD, DO) zoning, including approval of Property Development Standards and a
Development Plan, on a ±1.96-acre site located at 4419 North Scottsdale Road, 7223 East Shoeman
Lane and 7233 East Shoeman Lane.

Development Information

- Existing Use: Office, personal care services, retail and parking
- Proposed Use: Office and retail
- Parcel Size (gross): 112,765 square feet
- Total Building Size: 204,660 square feet
- Gross Floor Area Ratio Allowed: 1.4 without bonuses, 3.0 with bonuses
- Gross Floor Area Ratio Proposed: 1.82 with bonuses
- Building Height Allowed: 66 feet (Inclusive of roof top appurtenance) without bonuses
90 feet (Inclusive of roof top appurtenance) with bonuses
- Building Height Proposed: 90 feet (exclusive of roof top appurtenance)¹
96 feet (Inclusive of roof top appurtenance)¹
Note: 1. Subject to pending case 5-TA-2015.

- Parking Required: 683 spaces (3.33 parking spaces : 1,000 sqft)
- Parking Provided: 970 spaces (4.73 parking spaces : 1,000 sqft)
- Open Space Required: 0
- Open Space Provided: 11,444 square feet

IMPACT ANALYSIS

Land Use

The General and Downtown Plan's designations encourage higher density housing combined with, office, retail uses, and other uses that are compatible in new developments, redevelopment and infill that strengthen the Downtown's mix of uses and activities through mutually supportive land uses. The applicant's proposal includes a comprehensive summary of the development and how the requested zoning conforms to the policies of the General and Downtown Plans.

The proposed use for the site area is a mixed-use commercial center that primarily contains office uses with supporting commercial uses in one building. The proposed zoning designation of Downtown / Downtown Multiple Use – Type 2 Planned Block Development Overlay Downtown Overlay (D/DMU-2 PBD DO) allows the proposed uses, and is consistent with the General Plan and Downtown Plan. In addition, the proposed development is consistent with the Downtown Plan as it pertains to providing new Class A office area that will assist in broadening the Downtown Area's economic base, provide a competitive environment for employment in the local, regional, national and international markets, and maintain the Downtown Area as the commercial symbolic center of the community (DP LU 1.1, DP LU 1.3, DP EV 1.1 and DP EV 2.5). Furthermore, the proposed development will utilize existing urban resources (which include the utility infrastructure systems, and transportation networks) and assist in providing employees that may occupy existing and new housing inventory opportunities in the area (DP LU 7.1).

Located on the southeast corner of North Scottsdale Road and East Shoeman Lane, the proposed development is situated in an area of the Downtown that contains some of the Downtown's most intensive commercial development. As it pertains to the surrounding existing uses, the proposed development will assist in providing an appropriate transition between the more intensive Regional Use development of the Downtown that is situated north and northwest, and the less intensive to the south and southwest of the site. The proposed zoning district, D/DMU-2 PBD DO, is consistent with the Downtown Plan's associated zoning designations pertaining to height and densities for the abutting and nearby properties.

Planned Block Development Overlay Criteria Analysis

In accordance with Section 6.1304.A. of the Zoning Ordinance, the Planning Commission shall make a recommendation to the City Council regarding the proposed Development Plan (Exhibit A to Attachment 2) based on the following criteria for development in the Type 2 Area of the Downtown Area:

1. Standard criteria:

- a. The proposed development supports the land use elements of General Plan and the Downtown Plan.
 - The Land Use Element of the General Plan designates the site areas as Mixed-Use Neighborhoods, and the Downtown Plan designates the site area as Downtown Multiple Use Type 2. These categories include higher density residential, office and retail uses. The proposed Zoning District Map Amendment and the associated Development Plan maintain conformity to the General and Downtown Plan designations, while incorporating redevelopment of underutilized properties, assist in providing new commercial use options that could attract a variety new employment opportunities, maintain Downtown as an employment core, utilize existing infrastructure services and alternative modes of transportation, and promoting a greater level of synergy in a 24-hour mixed use neighborhood environment (GP LU 2, GP LU 3, GP LU 5, GP LU 6, GP LU 9, GP N 2, DP LU 1.1, DP LU 1.3, DP EV 1.1 and DP EV 2.5)
 - The proposed Development Plan achieves the General Plan and Downtown Plan goals and policies that pertain to the land uses by incorporating additional commercial intensity in Downtown's mixed-use area - away from the lower intensity residential neighborhoods that minimizes impacts, and in one of the City's Growth Area (GP LU 3, GP LU 6, GP GA 1)
 - Generally located in the northeast quadrant of the Drinkwater Conceptual Neighborhood, the proposed development will add to the concentration of a variety of uses, utilizes and upgrades existing infrastructure, and is anticipated to incorporate public artwork as part of the Planned Block Development Overlay requirements (GP GA 1, DP LU 5.6, and CD 8.5).
2. Criteria to add land uses to Table 5.3005.D., Land Uses for Each Sub-district of the Downtown District:
 - a. Each proposed land use helps maintain a balance of land uses in the Downtown Area in accordance with the Downtown Plan.
 - b. Each proposed land use is compatible with the adjacent development, and strengthens the mix of land uses and activities in the Downtown Area.
 - c. Each proposed land use substantially implements the pedestrian oriented, twenty-four (24) hour downtown community goals of the Downtown Plan.
 - Criterion 2 pertains to adding additional land uses to Table 5.3005.D., Land Uses for Each Sub-district of the Downtown District. The proposed Development Plan does not include any additional land uses; therefore, this criterion is not applicable.
3. Criteria to achieve bonus(es):
 - a. The proposed Development Plan reflects noteworthy investments to provide public benefits, improve the quality of life in the community, and assist in achieving the goals and policies of the General Plan, Downtown Plan and City objectives, primarily in the immediate vicinity of the neighborhood where the development will be located.
 - The proposed Development Plan incorporates bonuses for an additional thirty (30) feet

of height for a total maximum building height of ninety six (96) feet, including rooftop appurtenance (pending case 5-TA-2015), and 46,789 square feet for a total 204,660 of square feet gross floor area. To achieve the building height and gross floor area bonuses, the property owner's development plan incorporates constructing the building in conformance with the City's Green Building Program (International Green Construction Code (IGCC), as amended and adopted by the City of Scottsdale), constructing infrastructure improvements above and beyond what would typically be required for this development (\$416,270.25) – which are considered special improvements, and a cash contribution (\$268,795.43) into the Downtown Special Improvement Trust Fund (DSITF). The cash contribution to the DSITF that may be utilized to construct future Downtown improvements as determined by the City Council. The Green Building Program Bonus (Table 1) and proposed the list of special improvements and corresponding cash equivalent/cost (Table 2) are indicated below.

Table 1 Green Building Program Bonus	
Bonus Mechanism	Bonus
Building constructed in compliance with the City of Scottsdale's Green Building Program (IGCC)	15 feet in building height

Table 2 Special Improvement Bonus ¹	
Bonus Mechanism	Cash Equivalent/Cost
North side of the East Shoeman Lane improvements: street, curb, driveway, gutter-drainage, pavement, landscape, hardscape, pedestrian lighting, and street furniture, and related improvements	\$337,089.25
South side of the East Shoeman Lane improvements: Tree grates, pedestrian lighting, and street furniture,	\$79,181.00
Cash payment in to the Downtown Special Improvement Trust Fund	\$268,795.43
Total	\$685,065.68
Note: 1. Bonus: a. 15 feet in building height, inclusive of rooftop appurtenance; and b. 46,789 square feet of gross floor area	

Traffic

The approval of this application would result in an estimated 3,317 trips generated per day to and from the site. The development is estimate to generate 385 trips during the AM peak hour, and 376

trips during the PM peak hour. This represents a potential increase of 2,232 daily trips over the existing development. The intersection of North Scottsdale Road and East Camelback Road is anticipated to operate at poor levels of service during the AM and PM peak hours. This condition is present under existing, background (without development), and buildout (with development) scenarios. All other study intersections are anticipated to operate at acceptable levels of service during the peak hours. Please refer to the Traffic Impact Analysis Summary include as, Attachment #11.

Parking

Parking for the proposed development will be provided in above and below ground parking garages. The total number of parking spaces required for the proposed development is 683 spaces (3.33 parking spaces : 1,000 sqft) and there are 970 parking spaces (4.73 parking spaces : 1,000 sq. ft.) proposed to be provided. As part of the Development Plan to construct the proposed building, the East Shoeman Lane street cross section will be reconfigured to remove the existing forty four (44) angled parking spaces, and replace them with twenty-six (26) parallel parking spaces. To off-set the reduction of public parking spaces, the property owner has agreed to contribute the amount of \$12,958.13 per space removed, towards new account called "Downtown Drinkwater Neighborhood Parking Structure Improvements" to construct a parking structure in the northeast quadrant of the Downtown. The current estimated total is \$233,246.34. This amount is required to be paid prior to the issuance of any building permit to construct the proposed development.

Water/Sewer

The City's Water Resources Department has reviewed this application and has determined that there is adequate water and waste water services to serve the development.

Public Safety

The Fire Department has reviewed this application and has determined that there is adequate ability to provide fire and emergency services to the development. The nearest fire station is located at 7522 East Indian School Road. The nearest police station is located at 3700 North 75th Street.

Community Involvement

Staff and the applicant have mailed notifications to property owners within 750 feet of the site, and the applicant held an open house on February 13, 2015. A copy of the applicant's Citizen Involvement Report is included as Attachment #8. Staff has received three letters in support of the project, citing the design, and that it will bring commerce and interest to the area (Attachment #8A). Also, staff has received: three phone calls from residents at the Scottsdale Waterfront Residence that are opposed to the proposed development since it will block there view to the southeast; one phone and email from the property owner of the building on the northwest corner of North Brown Avenue and East Shoeman lane against the project due to its size, the removal of public parking and it impacts on the area public parking, intensity of the development and abundance of glass utilized in a contemporary in design that is out of character; two phone calls were received from community members voicing concerns about the building location and form (lack of building stepbacks), the amount of glass proposed, and concerns regarding solar reflectivity; two phones calls were received from property owners and representatives within 750 feet of the proposed development, which voiced concerns about the removal of the public parking, that the development will provide

insufficient parking for the proposed use based on actual parking demand, and the of lack of building stepbacks and appearance; and three emails and one letter (Attachment #8B) have been received expressing opposition to the project do it height and massing, minimal landscaping, removal of public parking, and lack of compliance with the Character and Design standards of the Downtown Area. Two of the above reference callers indicated that the proposed building design and form is more appropriate for the airpark area of the city, and not in the Downtown Area; and, one of the referenced callers voiced concerns about the height of lighting on the top parking deck.

Policy Implications

The Both the General Plan (Character & Design Element, Goal 2) and Downtown Plan (Character & Design Chapter, Goal CD 1) encourage new development that is context-appropriate and is cohesive with the surrounding, established character. The applicant's proposed development standards include several modifications, including reduced stepback planes. The proposed Development Plan and associated standards may not be "context-appropriate" with the adjacent buildings as it pertains to transition in building mass and form to the street and compliance with the Downtown Urban Design and Architectural Guidelines (DUDAG). The proposed Development Plan lacks appropriate transitions and buffering to the adjacent developments and streets.

The DUDAG are the primary guidelines that are utilized to implement these goals, approaches, policies in the Downtown Area. The proposed Development Plan incorporates tall vertical planes adjacent to East Shoeman Lane, which are inconsistent with the DUDAG. Please refer to Staff's analysis of the Development Review Board's criteria for the Development Plan, Attachment #14. The approval of the proposed development plan would assist in bolstering building designs that may further deter from the DUDAG.

Typically, most of building setback areas, measured from the back-of-the-curb, for a development Downtown are provided on the property. To maximize the buildable area on subject property, the proposed development plan incorporates reconstructing of East Shoeman Lane to relocate the existing curbline further to the north. Since the building setback is measured from the back-of-curb, the proposed modification accommodates a majority the building setback within public right-of-way. The proposed modification would also converts the existing angle parking spaces to parallel spaces, please refer to the discussion under the Parking subsection above.

OTHER BOARDS & COMMISSIONS

Development Review Board

On December 3, 2015, the Development Review Board held a non-action hearing pertaining to the proposed Development Plan (Attachment #12). A summary of the Boards discussion is included as, Attachment #13.

On December 17, 2015, the Development Review Board held a meeting to make a recommendation to the Planning Commission and City Council on the proposed Development Plan. Staff's analysis of the Development Review Board's criteria for the Development Plan is include as Attachment #14. The Development Review Board chose to recommend approval of the applicant's Development Plan with a vote of 4-1, with Vice Chairman Bollinger dissenting. The minutes of the December 17, 2015

Development Review Board meeting is included as, Attachment #15.

Staff Recommendation to Development Review Board

Staff recommended that the Development Review Board: 1) require modifications the proposed development standards and development plan so that portions of the 5th, 6th, and 7th levels of the building adjacent to East Shoeman Lane are set back approximately thirty-one (31) feet from the back of the East Shoeman Lane proposed curb location to provide building form setbacks in conformance with the DUDAG; or, 2) Continue the application to a date to be determined, and direct the applicant to revise the Development Plan to address the Development Review Board's comments.

OTHER BOARDS & COMMISSIONS

Planning Commission

Planning Commission heard this case on February 24, 2016 and recommended approval with a 7-0 vote. The minutes of the Planning Commission's February 24, 2016 meeting are included as Attachment 16.

Staff's Recommendation to Planning Commission

Staff recommended that the Planning Commission find that the Planned Block Development Overlay criteria have been met, and determine that the proposed zoning map district amendment is consistent and conforms with the adopted General Plan, and make a recommendation to City Council for approval, per the attached stipulations.

RECOMMENDATION

Recommended Approach

Adopt Ordinance No. 4240 approving a Zoning District Map Amendment from Central Business Downtown Overlay (C-2 DO) and Highway Commercial Downtown Overlay (C-3 DO) zoning to Downtown/Downtown Multiple Use Type-2, Planned Block Development, Downtown Overlay (D/DMU-2, PBD, DO) zoning, including approval of Property Development Standards and a Development Plan, on a ±1.96-acre site located at 4419 North Scottsdale Road, 7223 East Shoeman Lane and 7233 East Shoeman Lane.

Adopt Resolution No. 10357 authorizing the Mayor to execute Development Agreement No. 2016-021-COS for property generally located at 4419 North Scottsdale Road.

Adopt Resolution No. 10366 declaring as a public record that certain document filed with the City Clerk of the City of Scottsdale and entitled "Shoeman Office Building Development Plan, 7-ZN-2015".

RESPONSIBLE DEPARTMENT

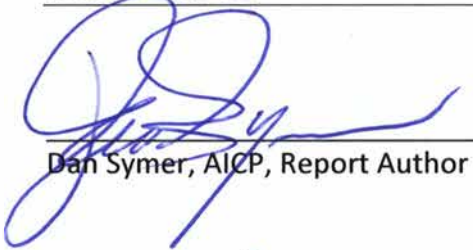
Planning and Development Services

Current Planning Services

STAFF CONTACT

Dan Symer, AICP
Senior Planner
480-312-4218
E-mail: dsymer@scottsdaleaz.gov

APPROVED BY



Dan Symer, AICP, Report Author

3-15-2016

Date



Tim Curtis, AICP, Current Planning Director
480-312-4210, tcurtis@scottsdaleaz.gov

3/4/2016

Date



Randy Grant, Director
Planning and Development Services
480-312-2664, rgrant@scottsdaleaz.gov

3/15/16

Date

ATTACHMENTS

1. Ordinance No. 4240
Exhibit 1: Stipulations
Exhibit A to Exhibit 1: Building Design – Parking
Exhibit 2: Proposed Zoning Map
2. Resolution No. 10366
Exhibit A: Shoeman Office Building Development Plan, 7-ZN-2015
3. Resolution No. 10357
2016-021-COS. Development Agreement
4. Context Aerial
- 4A. Aerial Close-Up
5. Existing Zoning
6. General Plan Map
7. Downtown Plan Future Land Use Map
8. Citizen Involvement
- 8A. Letters in Support
- 8B. Letters in Opposition
- 8C. Speaker Cards
9. City Notification Map
10. Traffic Impact Analysis Summary
11. December 3, 2015 Development Review Board minutes
12. Summary of the Development Review Board's December 3, 2015 Comments
13. Staff's analysis of the Development Review Board's criteria for the Development Plan
14. December 17, 2015 Development Review Board minutes
15. February 24, 2016 Planning Commission Minutes

ORDINANCE NO. 4240

AN ORDINANCE OF THE COUNCIL OF THE CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA, AMENDING ORDINANCE NO. 455, THE ZONING ORDINANCE OF THE CITY OF SCOTTSDALE, BY AND FOR THE PURPOSE OF CHANGING THE ZONING ON THE "DISTRICT MAP" TO ZONING APPROVED IN CASE NO. 7-ZN-2015 FROM CENTRAL BUSINESS DOWNTOWN OVERLAY (C-2 DO) AND HIGHWAY COMMERCIAL DOWNTOWN OVERLAY (C-3 DO) ZONING TO DOWNTOWN/DOWNTOWN MULTIPLE USE TYPE-2, PLANNED BLOCK DEVELOPMENT OVERLAY, DOWNTOWN OVERLAY (D/DMU-2, PBD, DO) ZONING, INCLUDING APPROVAL OF PROPERTY DEVELOPMENT STANDARDS AND A DEVELOPMENT PLAN, ON A ±1.96-ACRE SITE LOCATED AT 4419 N. SCOTTSDALE RD., 7223 E. SHOEMAN LANE. AND 7233 E. SHOEMAN LANE.

WHEREAS, the Planning Commission held a hearing on February 24, 2016;

WHEREAS, the City Council held a hearing on April 19, 2016; and

WHEREAS, the City Council finds that the proposed development is in substantial harmony with the General Plan of the City of Scottsdale and will be coordinated with existing and planned development; and

WHEREAS, it is now necessary that the comprehensive zoning map of the City of Scottsdale ("District Map") be amended to conform with the decision of the Scottsdale City Council in Case No.7-ZN-2015.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Scottsdale, as follows:

Section 1. That the "District Map" adopted as a part of the Zoning Ordinance of the City of Scottsdale, showing the zoning district boundaries, is amended by rezoning a 1.96 +/- acre property located at 4419 N. Scottsdale Road, 7223 E. Shoeman Lane and 7233 E. Shoeman Lane and marked as "Site" (the Property) on the map attached as Exhibit 2, incorporated herein by reference, from the Central Business Downtown Overlay (C-2 DO) and Highway Commercial Downtown Overlay (C-3 DO) zoning to Downtown/Downtown Multiple Use Type-2, Planned Block Development Overlay, Downtown Overlay (D/DMU-2, PBD, DO) zoning

Section 2. That the above rezoning approval is conditioned upon compliance with all stipulations attached hereto as Exhibit 1 and incorporated herein by reference.

PASSED AND ADOPTED by the Council of the City of Scottsdale this ____ day
of _____, 2016.

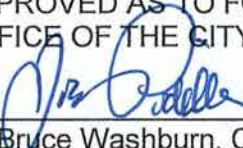
ATTEST:

CITY OF SCOTTSDALE, an Arizona
Municipal Corporation

By: _____
Carolyn Jagger
City Clerk

By: _____
W.J. "Jim" Lane
Mayor

APPROVED AS TO FORM:
OFFICE OF THE CITY ATTORNEY

By:  _____
Bruce Washburn, City Attorney
By: Joe Padilla, Deputy City Attorney

Stipulations for the Zoning Application:

Shoeman Office Building

Case Number: 7-ZN-2015

These stipulations are in order to protect the public health, safety, welfare, and the City of Scottsdale.

Additions to the stipulations that are in **bold letters** and deletions that are in ~~strikethroughs~~ were made after the Planning Commission hearing.

SITE DESIGN

1. **CONFORMANCE TO DEVELOPMENT PLAN.** Development shall conform with the Development Plan, entitled "Shoeman Office Building Development Plan, 7-ZN-2015," which is on file with the City Clerk and made a public record by Resolution No. 10366 and incorporated into these stipulations and ordinance by reference as if fully set forth herein. Any proposed significant change to the Development Plan, as determined by the Zoning Administrator shall be subject to additional public hearings before the Planning Commission and City Council, and prior to receiving a Development Review Board approval.
2. **CONFORMANCE TO PROPERTY DEVELOPMENT STANDARDS.** Development shall conform with the property development standards that are included as part of the Development Plan. Any proposed modifications to the development standards shall be subject to additional public hearings before the Development Review Board, Planning Commission and City Council as a separate Zoning District Map Amendment to amend the Development Plan.
3. **CONFORMANCE TO DEVELOPMENT AGREEMENT.** The property owner (hereafter "Owner1") of the property identified in the Development Plan (hereafter "Property1") shall enter into a development agreement, Contract No. 2016-021-COS, including any subsequent amendments approved by the City Council, which sets forth the manner in which the building height and gross floor area bonuses shall be achieved.
4. **BONUS GROSS FLOOR AREA.** The maximum bonus gross floor area shall not exceed 46,789 square feet, for maximum total allowed gross floor area of the Development Plan of 204,660 square feet.
5. **BONUS HEIGHT.** The maximum allowed bonus building height shall not exceed thirty (30) feet.
6. **BUILDING HEIGHT LIMITATIONS.** The maximum allowed building height, inclusive of rooftop appurtenances, shall not exceed that height allowed by the Planned Block Development Overlay district, as amended, for the Downtown Multiple Use designation.
7. **OUTDOOR LIGHTING.** The maximum height of any outdoor lighting sources on top of the parking structure deck shall not exceed a height of twenty feet, measured from the top parking deck to the bottom of the luminaire, and shall not be greater than ninety (90) feet above the adjacent East Shoeman Lane south side curb.

8. OUTDOOR LIGHT FIXTURES. All new lighting within and above the parking garage shall be full cutoff fixtures, except for fixture mounted to the interior to the parapet/screen walls of parking decks.
9. PATIOS AND ENCLOSURES – NORTH SCOTTSDALE ROAD. ~~No patio(s) Patio(s)~~ or other exterior areas enclosed by a wall, fence, hedge, railing, or similar shall not be allowed between grade and the second floor of the building, ~~and within 14 feet of the~~ ~~between the~~ back of curb (as defined by the Zoning Ordinance) of the North Scottsdale Road curb along the North Scottsdale Road (east) frontage, ~~and the east side of the~~ ~~within the~~ ten foot wide North Scottsdale Road (east) sidewalk require below.
10. PATIOS AND ENCLOSURES – EAST SHOEMAN LANE. Patio(s) or other exterior areas enclosed by a wall, fence, hedge, railing, or similar shall not be allowed between grade and the second floor of the building and parking structure, and between the back of curb (as defined by the Zoning Ordinance) along the East Shoeman Lane (south) frontage and the north side of the parking structure and the north side of the first floor building arcade columns.
11. BUILDING DESIGN – GLASS. The maximum area of glass, including any glass behind a shade device, shall not exceed ~~seventy-five (75)~~ **eighty (80)** percent of the area of any one building elevation (north, south, east or west), excluding the building elevations of the parking garage.
12. BUILDING DESIGN – GLASS REFLECTIVITY. All façade glass shall have anti-reflective qualities to minimize mirroring of the exterior environment as determined by the Development Review Board.
13. BUILDING DESIGN ANALYSIS. With the Development Review Board application, the Owner1 shall provide a solar reflectivity analysis of the north and west elevation of buildings fronting on to North Scottsdale Road and East Shoeman Lane. This analysis shall address the large panes of glass adjacent to North Scottsdale Road and East Shoeman Lane. To the satisfaction of the Development Review Board, the Owner1 shall demonstrate that the reflective solar arrays from the glass panels will not negatively affect vehicular, and pedestrian traffic within and adjacent to North Scottsdale Road and East Shoeman Lane, and properties (including buildings) abutting the west side of North Scottsdale Road, and north side of East Shoeman Lane.
14. BUILDING DESIGN – PARKING. Vehicles, including vehicle lights, within any parking deck(s) on any floor of the building within the area delineated by the square dashed line on Exhibit A to Exhibit 1 shall not be visible from outside of the office building.
15. BUILDING DESIGN – ABOVE GROUND PARKING GARAGE. The north building elevation of the parking garage shall be opaque, and incorporate artwork in conformance with the Cultural Improvement Program that provides a pedestrian oriented appearance and interest.
16. BICYCLE PARKING ONSITE. All bicycle parking required Zoning Ordinance shall be located on the property.
17. BICYCLE PARKING IN THE PUBLIC RIGHT-OF-WAY. Any bicycle parking provided in excess of the Zoning Ordinance requirement and in the public right-of-way, or adjacent to a sidewalk, shall be located so that a parked vehicle car door can be opened unimpeded by the bicycle rack or bicycle utilizing the rack, and that the rack and bicycle using the rack does not obstruct the sidewalk.

18. **BUILDING ENCROACHMENT IN THE PUBLIC RIGHT-OF-WAY.** No portion of the building or parking garage shall encroach into the public right-of-way at grade, above grade, or below grade, except for pedestrian shade canopies. Pedestrian shade canopies may be approved projecting in to the right-of-way provided that they are mounted no higher than the second floor of the building, and are setback at least ten (10) feet from the adjacent back of curb (as defined by the Zoning Ordinance). Any encroachment shall comply with requirements of the Scottsdale Revised City Code.

INFRASTRUCTURE AND DEDICATIONS

19. **CIRCULATION IMPROVEMENTS.** Before any certificate of occupancy is issued for the site, the owner shall make the required dedications and provide the following improvements in conformance with the Design Standards and Policies Manual and all other applicable city codes and policies.

- a. **STREETS.** Dedicate the following right-of-way and construct the following street improvements:

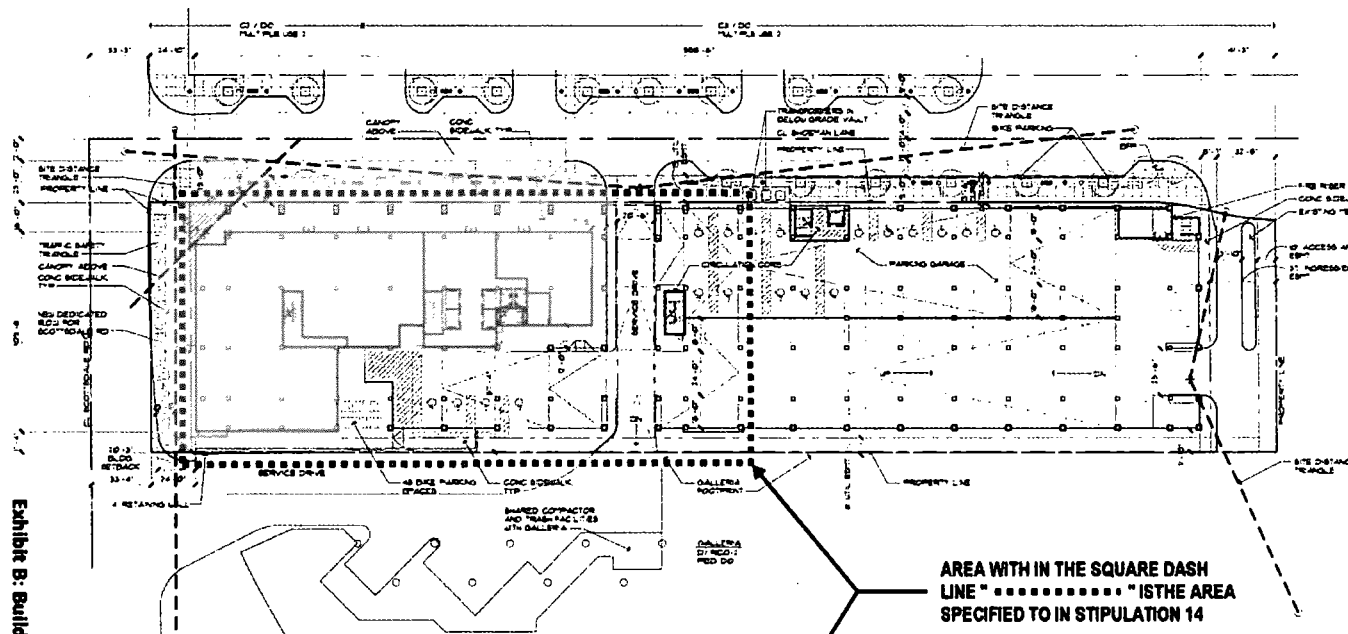
Street Name	Street Type	Dedications	Improvements Required	Notes
North Scottsdale Road	Major Arterial	Dedicate an additional east 22 feet of right-of-way for a total 55 foot east half street of right-of-way.	Sidewalk, curb ramps, curb and gutter, and pavement	a.1., a.2., and a.3.
East Shoeman Lane	Unclassified Local Commercial Street.	Dedicate an additional 15 feet of south right-of-way for a total 35 foot south half street of right-of-way.	Sidewalk, curb and gutter, curb ramps, pavement, and driveways.	a.1., a.4., a.5., a.6., a.7., a.8., and a.9.

- a.1. All street improvements (curb, gutter, sidewalk, curb ramps, driveways, pavement, concrete, etc.) shall be constructed in accordance with the applicable City of Scottsdale's Supplements to the Maricopa Association of Governments (MAG) Uniform Standard Specifications and Details for Public Works Construction, and Maricopa Association of Governments (MAG) Uniform Standard Specifications and Details for Public Works Construction, as determined by the Transportation Director, or designee, and were applicable, the Floodplain Manager or designee.
- a.2. A minimum ten (10) foot wide new sidewalk shall be constructed along the Scottsdale Road frontage. The sidewalk shall be set back from the curb a minimum of four (4) feet.
- a.3. In accordance with the Accessibility Guidelines for Pedestrian Facilities in the Public Right-of-Way dated July 26, 2011, as amended, the slope of the sidewalk to be provided adjacent to North Scottsdale Road shall be continuous grade equal to the

general grade established by the east North Scottsdale Road curb, from the south property line to the North Scottsdale Road and East Shoeman Lane intersection.

- a.4. A minimum eight (8) foot wide new sidewalk shall be constructed along the East Shoeman Lane frontage.
 - a.5. East Shoeman Lane shall be constructed so that a minimum pavement width of twenty-four (24) feet of asphalt, exclusive of curb and gutter, is provided along the property frontage.
 - a.6. As part of the reconstruction of East Shoeman Lane, the existing brick paver pedestrian crosswalk improvements at the intersection of North Scottsdale Road and East Shoeman Lane shall be removed and reconstructed with stamped asphalt.
 - a.7. All vehicle driveways improvements shall be elongated to align with new curb line locations, and constructed in accordance with a.1., above.
 - a.8. The west curb ramp at the intersection East Shoeman Lane and the driveway adjacent to the east property line that provides access to the property to the south (Galleria Corporate Center) shall to be constructed to align with the curb ramp on the east side of the driveway.
 - a.9. All parallel parking spaces shall be concrete.
20. PEDESTRIAN SIDEWALK ACCESS. On the west side of the driveway that abuts the east property line, a minimum six (6) foot wide sidewalk shall be provided, from the north property line to the south property line.
21. STREET LIGHTS. In addition to the pedestrian lighting that will be provided in accordance with the Development Plan, the owner shall provide street lights along the south side of the East Shoeman Lane frontage in accordance with the Design Standards & Policies Manual.
22. UTILITIES – NEW AND RELOCATED. All new and relocated utilities shall be placed underground, except for wireless communication equipment, transformers and switching cabinet provided on site.
23. UTILITIES – TRANSFORMERS AND SWITCHING CABINET ON SITE. All new and relocated above grade transformers and switching cabinets that are provided to serve the development shall be provided in conformation with the Design Standards & Policies Manual.
24. BASIS OF DESIGN REPORT (WATER and WASTEWATER). The Owner1 shall submit for review and obtain acceptance of Final Basis of Design Reports prior to submitting any improvement plans to the City for review. The Final Basis of Design reports, shall address:
- a. Whether the offsite infrastructure is sufficient to provide service to this project.
 - b. All service requirements of the proposed building in detail and discuss all proposed water/sewer line relocations.
25. WATER and WASTEWATER IMPROVEMENTS. The Owner1 shall construct all water, sewer and fire hydrant improvements necessary to provide service to the development per the accepted Basis of Design Reports.
26. EASEMENTS.

- a. **EASEMENTS DEDICATED BY PLAT.** The Owner1 shall dedicate to the city on the final plat, all easements necessary to serve the site, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual.
 - b. **EASEMENTS CONVEYED BY SEPARATE INSTRUMENT.** Before any building permit is issued for the site, each easement conveyed to the city separate from a final plat shall be conveyed by an instrument or map of dedication subject to city staff approval, and accompanied by a title policy in favor of the city, in conformance with the Design Standards and Policies Manual.
 - c. **PUBLIC NON-MOTORIZED ACCESS EASEMENT.** The Owner1 shall dedicate to the City of Scottsdale a public non-motorized access easement over the portion of public sidewalk that extends onto the property.
27. **CONSTRUCTION COMPLETED.** Before any Certification of Shell Building or Certificate of Occupancy, whichever comes first, is issued for the site, the owner shall complete all the infrastructure and improvements required by the Scottsdale Revised Code and these stipulations, in conformance with the Design Standards and Policies Manual and other applicable standards.
28. **REFUSE COLLECTION.** Prior to the issuances of any permit to construct the parking garage, building, grading, or excavation, Owner1 of the Property1 shall either: 1) provide refuse collection on the Property1 in conformance with the requirements of the City of Scottsdale's Solid Waste Department Director or designee; 2) or, provide documentation of a recorded perpetual agreement between the owner of Lot 3 of Galleria Corporate Centre, M.C.R. Book 1249 Page 29, (hereafter "Owner2") and the Owner1, allowing Owner1 to utilized Owner2's refuse containers and/or refuse compactors to dispose of Owner1's refuse generate on Property1. The agreement shall be in a form to the satisfaction of the City Attorney or designee, and City of Scottsdale's Solid Waste Department Director or designee.
29. **PRIVATE WATER AND WASTERWATER LINE EASEMENT.** To the satisfaction of the Water Resources Director or designee, prior to the issuances of any permit to construct the parking garage, building, grading, or excavation, Owner1 shall provide documentation of a recorded Private Water and Wasterwater Line Easement that benefits Owner2 for the private water and wasterwater lines that are to be relocated adjacent to the south property line on Property1 in accordance with the accepted Basis of Design Reports for Water and Wasterwater.
30. **REPLAT.** Prior to the issuances of any permit to construct the parking garage, building, grading, or excavation, Owner1 shall submit, and receive approval to replat of Property1 into one lot.

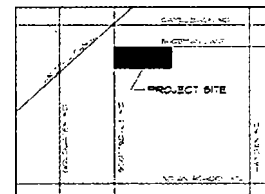


PROJECT DATA

USE	RETAIL OFFICE PARKING
ZONE	C1-DO / C1-DO
MAP DISTRICT	DOWNTOWN MULTIPLE USE TYPE 7
ALLOWABLE HEIGHT	66'-0"
ALLOWABLE HEIGHT WITH BOMA	60'-0"
BUILDING HEIGHT PROVIDED	60'-0"
GROSS LOT AREA	17,169 SF (1349 AC)
NET LOT AREA	16,199 SF (1169 AC)
OFFER ALLOWED	13
OFFER ALLOWED WITH BONUS	10
OFFER PROVIDED	10
BUILDING SETBACK	5'-0" FROM CURB
OPEN SPACE	10% REQUIRED

TABULATIONS

BUILDING AREA	33,715 SF
LEVEL 1 OFFICE	10,637 SF
LEVEL 2 OFFICE	31,725 SF
LEVEL 3 OFFICE	31,725 SF
LEVEL 4 OFFICE	30,049 SF
LEVEL 5 OFFICE	31,725 SF
LEVEL 6 OFFICE	30,049 SF
TOTAL OFFICE	162,610 SF
TOTAL RETAIL	10,637 SF
TOTAL BUILDING AREA	173,247 SF
PARKING PROVIDED	11 CARS
RETAIL 11 CARS 1,000 SF	46 CARS
OFFICE 11 CARS 1,000 SF	631 CARS
TOTAL PARKING PROVIDED	637 CARS
PARKING PROVIDED	11 CARS
LEVEL 1	11 CARS
LEVEL 2	11 CARS
LEVEL 3	11 CARS
LEVEL 4	11 CARS
LEVEL 5	11 CARS
LEVEL 6	11 CARS
TOTAL CARS PROVIDED	66 CARS
ACCESSIBLE SPACES REQUIRED	16 CARS
1% OF REQUIRED	16 CARS
ACCESSIBLE SPACES PROVIDED	16 CARS
1% OF REQUIRED	16 CARS
BIKE PARKING REQUIRED	66 BIKES
BIKE PARKING PROVIDED	66 BIKES



PROJECT VICINITY MAP

SCALE: 1" = 50'

NelsenPartners

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Professional Planning Services
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Scottsdale, Arizona 85254
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www.nelsenpartners.com

PRELIMINARY
NOT FOR
CONSTRUCTION
OR
RECORDING

SHOEMAN LANE

4419 N Scottsdale Rd
Scottsdale, AZ

Date
23 December 2015

Drawings and related digital documents
are the property of NelsenPartners, Inc.
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and location specified on the title block.
Any other use without the written
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Project No.
315011

Exhibit B: Building Design - Parking

01 SITE PLAN

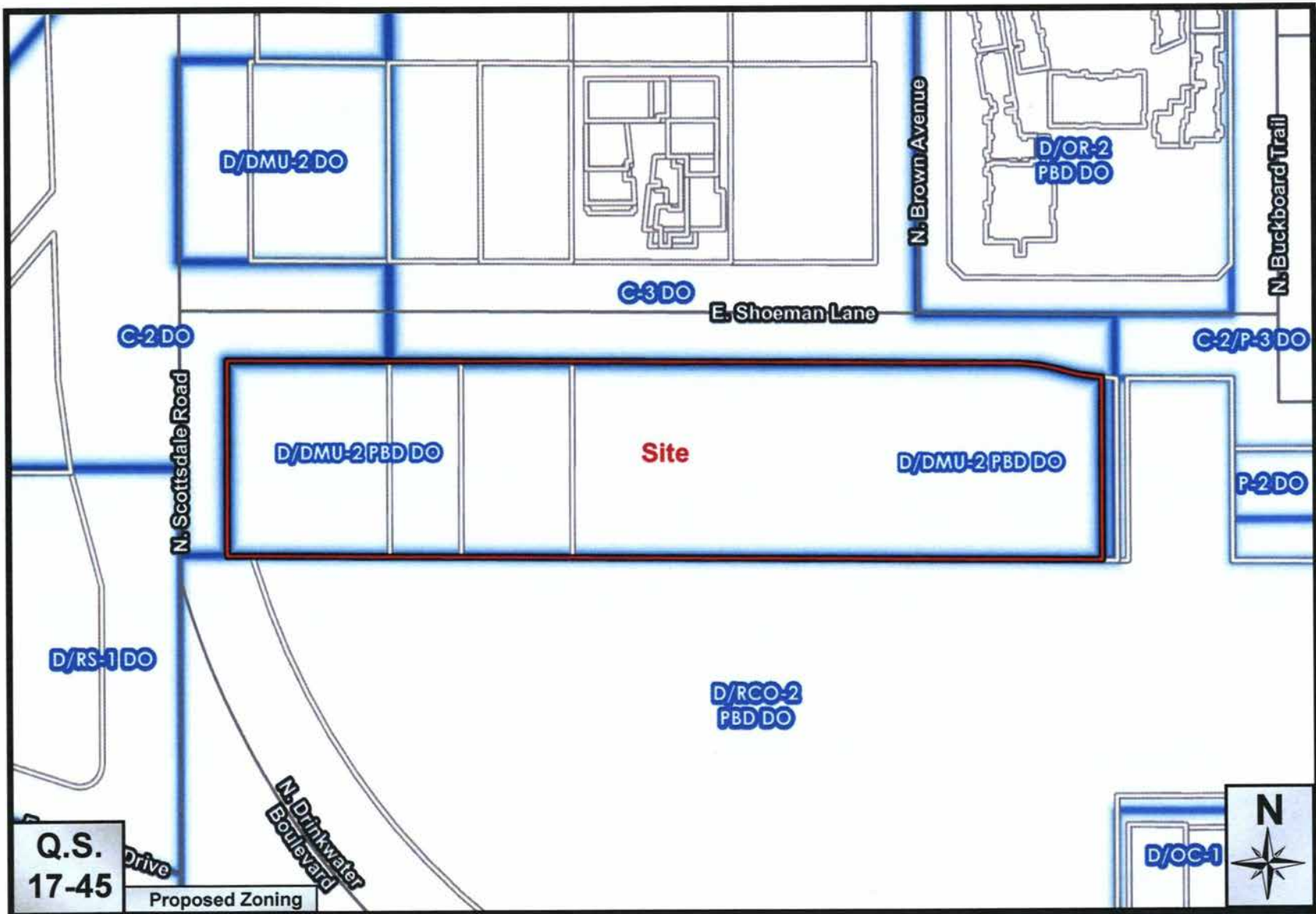
SCALE: 1" = 30'

Ordinance No. 4240
Exhibit A to Exhibit 1
Page 1 of 1

h Elevation

1" = 30'

REF



Shoeman Office Building

7-ZN-2015

RESOLUTION NO. 10366

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA, DECLARING AS A PUBLIC RECORD THAT CERTAIN DOCUMENT FILED WITH THE CITY CLERK OF THE CITY OF SCOTTSDALE AND ENTITLED "SHOEMAN OFFICE BUILDING DEVELOPMENT PLAN, 7-ZN-2015".

WHEREAS, State Law permits cities to declare documents a public record for the purpose of incorporation into city ordinances; and

WHEREAS, the City of Scottsdale wishes to incorporate by reference amendments to the Zoning Ordinance, Ordinance No. 4240, by first declaring said amendments to be a public record.

NOW, THEREFORE BE IT RESOLVED, by the Council of the City of Scottsdale, Maricopa County, Arizona, as follows:

Section 1. That certain document entitled "Shoeman Office Building Development Plan, 7-ZN-2015", attached as Exhibit 'A', three copies of which are on file in the office of the City Clerk, is hereby declared to be a public record. Said copies are ordered to remain on file with the City Clerk for public use and inspection.

PASSED AND ADOPTED by the Council of the City of Scottsdale, Maricopa County, Arizona this ____ day of _____, 2016.


ATTEST:

CITY OF SCOTTSDALE, an
Arizona municipal corporation

By: _____
Carolyn Jagger, City Clerk

By: _____
W. J. "Jim" Lane, Mayor

APPROVED AS TO FORM:
OFFICE OF THE CITY ATTORNEY



Bruce Washburn, City Attorney
By: Joe Padilla, Deputy City Attorney

**Current Planning Services**

One Civic Center
7447 E Indian School Road, Suite 105
Scottsdale, AZ 85251

MEMORANDUM

TO: Honorable Mayor and City Council Members

FROM: Dan Symer, AICP, Senior Planner

THROUGH: Tim Curtis, AICP, Current Planning Director

DATE: 03/21/2016

SUBJECT: Shoeman Office Building (7-ZN-2015)

Due to typographical, reference, date errors in the applicant's project narrative, the following items have been revised and will be provided in the supplemental packet for the above case scheduled to the March 29, 2019 City Council Hearing:

1. Exhibit A to Resolution No. 10366, pages 2-24

Shoeman Office Building Development Plan, 7-ZN-2015

SHOEMAN LANE

Rezoning and Development Plan

PROJECT NARRATIVE

Prepared by:

Withey Morris, PLC

Jason B. Morris

George A. Pasquel III

On behalf of:

Stockdale Capital Partners, LLC

Design Build Team:

LGE Design Build

David Sellers

Vince Dalke

Nelsen Partners

George Melara

Jeff Brand

January 11, 2016

1. INTRODUCTION

Purpose of Request

The purpose of this request is to obtain the entitlements necessary to develop the roughly 2.5 acre site at the southeast corner of Scottsdale Road and Shoeman Lane (the "Property") with a new, high quality office building with ground level retail and a fully integrated, multi-level parking garage. The site, located just south of Scottsdale's preeminent intersection and immediately north of the thriving Galleria Corporate Centre office complex, is perfectly positioned for Class-A+ office use, while the Scottsdale Road frontage is ideally situated for ground floor retail. The approval of this request will help Scottsdale retain and attract highly sought after employers while remaining competitive in the regional, national and international markets by ensuring an adequate supply of innovative, high-end office space in Downtown Scottsdale.

Request

The Property is currently zoned Central Business, Downtown Overlay and Highway Commercial, Downtown Overlay (C-2, DO and C-3, DO). Because this designation is not sufficient to develop the Property appropriately to the highest and best use for the City of Scottsdale, this application seeks to rezone the Property to Downtown/Mixed Use Type-2, Planned Block Development, Downtown Overlay (D/DMU-2, PBD, DO).

Location

The Property is located at 4419 N. Scottsdale Road at the southeast corner of Scottsdale Road and Shoeman Lane, (Assessor's Parcel No. 173-41-007A, -011, -010, and -012A). The full site encompasses roughly 2.5 acres and the four parcels will be combined to allow for the development. The site is currently vastly underutilized with nearly 90% of the site unimproved or used for inefficient vehicle maneuvering or parking.

2. GENERAL PLAN CONFORMANCE

The General Plan Conceptual Land Use Map designates the Property as Mixed-Use Neighborhood and as being within the Downtown Plan Character Area. Mixed-Use Neighborhoods are located in areas with strong access to multiple modes of transportation and major regional access and services, and provide an opportunity for a mix of uses. The Downtown Plan provides more detailed direction for the development of the Property and is discussed further in Section 3 below; however, the General Plan does present several appropriate Goals and Approaches for the Property.

General Plan Land Use Goals and Approaches

No. 1 - Recognize Scottsdale's role as a major regional economic and cultural center, featuring business, tourism, and cultural activities.

- ***Strengthen the identity of Scottsdale by encouraging land uses that contribute to the character of the community and sustain a viable economic base.***

- The proposal will help strengthen the identity of Scottsdale by sustaining a viable economic base. In recent years, Downtown, and especially the Galleria Corporate Centre, has been transformed into an economic center for the City and the region by quickly becoming a desired location for up-and-coming and innovative companies. However, the amount of available office space suitable to court these sought after tenants is highly limited. This proposal will directly address that issue by adding roughly 190,000 sqft of new office space to help ensure Scottsdale maintains a strong economic base for years to come.

No. 4 - Maintain a balance of land uses that support a high quality of life, a diverse mixture of housing and leisure opportunities and the economic base needed to secure resources to support the community.

- ***Support jobs/housing balance by integrating housing, employment, and supporting infrastructure in mixed-use centers located at appropriate locations.***

- Downtown and the adjacent areas have seen a high influx of residential development and density in recent years. The provision of additional, quality employment opportunities and supportive retail uses will help to maintain a positive balance. The mixed-use nature of the projects is appropriate for this downtown location.

No. 5 – Development land use patterns that are compatible with and support a variety of mobility opportunities / choices and service provisions.

- ***Provide a balance of live, work, and play land uses and development intensities that enable convenient non-automotive trips where environmentally and physically feasible.***
- ***Encourage land uses with the highest intensity be located in areas conducive to alternative modes of transportation.***

- The higher intensity use is ideally located in the heart of downtown adjacent to the major intersection of Scottsdale and Camelback Roads where numerous alternative modes of transportation abound. Additionally, the mixed-use nature of the proposal and proximity to other such uses enables convenient, non-automotive trips. Residents of new residential projects in Downtown can easily walk or bike to the new office or retail uses provided.

No. 7 - Sensitively integrate land uses into the surrounding physical and natural environments, the neighborhood setting, and the neighborhood itself.

- ***Focus intense land uses along major transportation networks (such as the Pima Freeway and major arterial streets) and in urban centers (such as Downtown and the Airpark). Less intense land uses should be located within more environmentally sensitive lands.***
- The proposal is a more intense land use which is ideally situated along a Major Arterial (Scottsdale Road) and within an urban center (Downtown). This proposal will enable new, sought after office uses to maintain a presence in Downtown in lieu of pushing this preferred land use to other, less accommodating and more environmentally sensitive areas - or worse, pushing the use to other municipalities or States.

3. DOWNTOWN PLAN CHARACTER AREA CONFORMANCE

The Downtown Plan serves as the comprehensive policy document that guides growth and development decision for Downtown Scottsdale. The Downtown Plan designates the Property as Downtown Multiple Use - Type 2. Type 2 developments are designated for greater scale, height, and intensity than Type 1 developments. The proposal complies with and advances numerous stated goals of the Downtown Plan as outlined below.

Downtown Land Use ("LU") Goals

Goal LU 1:

Maintain Downtown Scottsdale as the commercial, cultural, civic, and symbolic center of the community to ensure a vibrant mix of mutually supportive land uses.

Policy LU 1.1

Revitalization should allow Downtown to remain competitive in local, regional, national and international markets.

- This Goal and Policy is at the heart of this proposal. The approval of this application will enable Downtown to remain competitive in local, regional, national and international markets by providing the necessary infrastructure (high quality office space). Currently, Downtown - (and Scottsdale as a whole) - is missing out on high paying, sought after companies simply because of a lack of appropriate office space to suit their needs. These innovative companies are seeking urban, vibrant, walkable locations to help them attract and maintain employees. Downtown Scottsdale is becoming that desired area, but suitable office space is lacking.

Goal LU 4:

Encourage Downtown Land Use Development Flexibility.

Policy LU 4.1

Retain, expand, or modify as necessary, flexibility in Downtown zoning, development standards, and incentives to achieve the goals of the Downtown Plan.

- To sufficiently develop the project to achieve the goals of the Downtown Plan, this proposal will required the flexibility of amended development standards. The requested amendments are detailed elsewhere in the application, but generally additional height, floor area ratio and flexibility with setbacks will be required. The result is an appropriate project that is beneficial to all of Downtown.

Goal LU 7:

Support a Mix of Land Uses that Promote a Sustainable Downtown.

Policy LU 7.2

Encourage development to make cost effective use of existing urban resources such as infrastructure systems, underutilized sites, buildings, and transportation networks.

- The proposal represents a cost effective and sustainable use of urban resources. The location in Downtown where infrastructure (roads, utilities, public transportation, fire and police

service, etc.) already exists ensures an efficient and sustainable method of City planning and development. The site is nearly 90% undeveloped, which is highly underutilized in this important and valuable location.

Downtown Character & Design ("CD") Goals

Goal CD 1:

The Design Character of any area should be enhanced and strengthened by new development that promotes contextual compatibility.

- The project transforms a piece of property that is currently a void within the context of the Downtown area and creates a commercial product that promotes a walkable environment and employment opportunities. This project enhances compatibility by expanding the areas of pleasant, pedestrian activity and serves to connect current commercial districts within the Downtown fabric.

Policy CD 1.1

Incorporate, as appropriate, in building and site design, the distinctive qualities and character of the surrounding, and/or evolving context.

- The proposal is appropriate for the existing and evolving context. The project is surrounded by taller building with a variety of building designs. This includes the nearby W Hotel, the Galleria Corporate Centre, The Stetson West apartments, and the Waterfront Residences. A large portion of the parking garage has been placed below grade to ensure comparable height as the adjacent Galleria. Height is pushed towards the intersection of Scottsdale and Camelback, where the Waterfront Residences, Fashion Square Mall, and other greater height exists or are approved. The building design places retail along Scottsdale Road to match the surrounding context and preferred pedestrian oriented uses at ground level. The use of glass along the north façade is not only appropriate from an environmental standpoint (natural daylighting), but also reflects the design of the nearby W Hotel.

Mobility ("M") Goals

Goal M 4:

Ensure a convenient and adequate parking supply downtown.

Policy M 4.1

Develop a "park once environment" Downtown, where users can access multiple destinations without needing to move their private vehicle.

- The proposal not only meets the required parking of the City Ordinance, but far exceeds the required amount of parking. The garage will service the new development, but is also ideally located to provide parking for other venues or the general public during off hours. The mixed use nature and location of the project will foster a "park once environment."

Economic Vitality ("EV") Goals

Goal EV 2:

Promote private investment and attract new development to Downtown.

Policy EV 2.1

Encourage new development and reinvestment that maintains Downtown's economic edge in the region.

Policy EV 2.3

Encourage private reinvestment through flexible policies, practices, and incentives that work with the private sector to respond to functional and economic changes in the Downtown.

- The proposal represents new development and reinvestment that will help Downtown maintain an economic edge in the region. As previously noted, innovative and sought after companies want to locate in the vibrancy of Downtown, however adequate office space (in both size and style) to fit the need does not exist or is highly limited in supply.
- As previously noted, the proposal requires amended development standards to develop appropriately and efficiently on the unique, infill site. Providing this flexibility enables the applicant, as a private sector developer and employer, to respond to the functional changes in Downtown; mainly the desire for new office space. The approval of this request equates the encouragement of private reinvestment.

Policy EV 2.4

Promote the retention of existing major Downtown employers and accommodate their future expansion needs.

- Some successful companies in the Downtown area, specifically in the Galleria Corporate Centre, are "busting at the seams" as they outgrow their current office space. To retain these major employers, new office space is required. Therefore this proposal not only helps retain existing employers that may choose to move into the building, but also to attract new, smaller companies that can backfill that vacated space.

4. DOWNTOWN URBAN DESIGN & ARCHITECTURAL CONFORMANCE

Site Development Guidelines

A1. Relationship to New and Existing Development:

#1 - Site Plan Arrangement – The site organization should respect the arrangement of building, open space and landscape elements of adjacent sites.

- The proposal respects the arrangement of adjacent sites. The lower levels on the east edge of the site serve to transition from the one and two story retail along Shoeman. The vertical portion of the development occurs on a portion of the adjacent site with no windows and serves to improve the current blank façade that can be seen from Scottsdale Road.

#2 – Form and Height – Efforts to coordinate the form and height of adjacent structures are encouraged.

- The massing of this project is directly derived from Galleria building on the south edge of the site. Vertical portions of the building happen in areas that do not impact the current building. The higher massing occurs along Scottsdale Road which gives presence to the project and reacts to the height of the Waterfront across the street and the W to the north.

A4. Parking Facilities:

Minimize the visual impact of parking structures and parking lots by locating them at the rear or interior portions of building sites.

- The new, proposed garage is located towards the rear of the Property and will be surrounded by active development on the west, south, and eventually the east sides, completely adhering to this concept. Three levels of the garage are also placed below grade to further minimize the visual impact.

Parking access from alleys and side streets is desired. The number of entrances to parking facilities from other streets, especially major arterials, should be kept to a minimum.

- Access to the garage is not provided from a major arterial. Access to the garage is provided off of Shoeman Lane on the north edge at the midblock location. Secondary access is provided off the existing private drive on the east edge of the project.

Building Form Guidelines

B1. Reduction of Apparent Size and Bulk:

Downtown buildings of three or more stories should be designed as carefully-orchestrated compositions of smaller parts. Every building should reduce its perceived height and bulk by dividing the building mass into smaller-scale components. Suggested methods are encouraged, but other approaches that achieve the same objectives are acceptable.

#1 – Horizontal Composition: Three-part organization of building form.

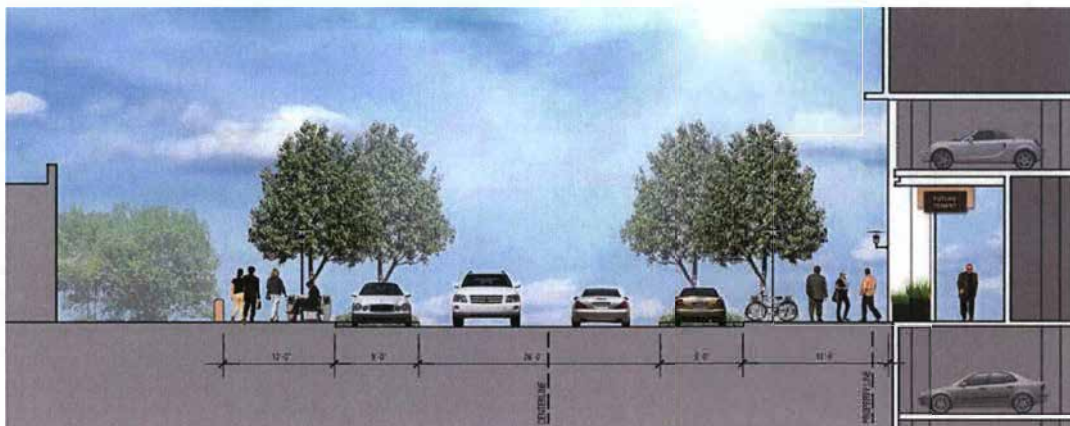
- This project follows the composition guideline of Base-Middle-Top. The lower portions of the building up to 30' consist of parking and retail. This portion forms the base and is distinguished

by natural stone materials and a metal cornice that projects out in order to form a cap for the base and emphasize horizontality. The middle of the building is predominantly glass with a mixture of vertical and horizontal mullions. There are several horizontal linear metal projections and building stepbacks within the middle of the building to further emphasize the horizontal and break the building up into several smaller volumes. The linear metal cornice at the top of the building is yet another emphasis on the horizontal which caps the building.

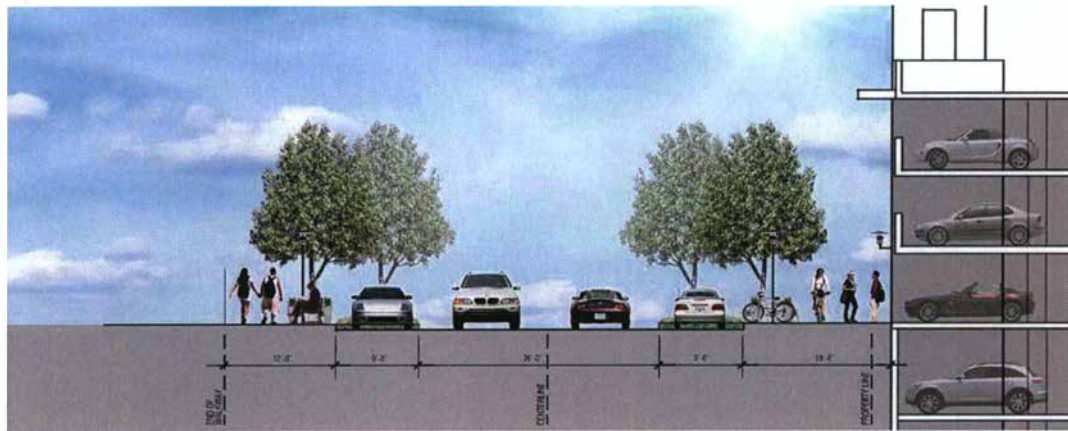


#2 – Composition of Recesses and Projections.

- Recesses are used on the ground level and upper levels of this building. We felt that the recesses enhanced the pedestrian realm the most. The openness of the ground level of the garage helps to create a generous and spatial experience for the patrons. Furthermore, the north edge of the retail forms an arcade with the offices bridging over the sidewalk. This provides for a unique downtown experience, provides critical shade and environmental comfort, and provides a generous sidewalk setback off the parallel parking. The upper levels are also recessed back to help break the building into smaller volumes. Along Scottsdale Road, the building has three different levels of stepbacks that form multiple volumes along the Scottsdale Road frontage.



Streetscape Section through Retail



Streetscape Section through Garage

#3 – Special Provision for Higher Buildings.

- The goal of this building is to design an iconic structure to house the highest level office space in the city. Classical design principles have been combined with contemporary expression and high quality materials to create a project that respects the horizontal emphasis while also enhancing the contemporary built fabric of the current downtown district.



The Stetson



W Scottsdale



Optima Sonoran Village

Architectural Character

C1. Proportion and Scale:

Development proposals should demonstrate evidence they have studied the predominant scale and proportions of buildings in the district and street where they are to be located.

- The overall design of this development is evidence of our thorough research into the existing and future projects in the downtown area adjacent to the site. The taller massing of the project occurs at Scottsdale Road in a manner that helps to act as a gateway to the downtown district. Additionally, it acts to shield the exposure of the Galleria's current entry into the service and back of house area. The lower portions of the building react to the context of the existing offices in the Galleria building and the low-rise nature of the nightlife district.
- The design direction of this building satisfies the intent of the three categories within this section. Horizontality is strongly emphasized in the façade. The building is broken up into base, middle and top sections. Each section is separated by a horizontal eyebrow projection. The top section is also stepped back and capped with a projected fascia to combat a vertical feel. These elements of the façade are not stacked. They are staggered to create variety and interest in the façade.



Highlighted Horizontality Rendering

- Each section of the façade (base, middle, top) has a contrasting feel and materiality as well. The base is composed of natural stone veneers that will appeal to the pedestrian scale of the street. The middle sections is accented by vertical and horizontal metal accents which differentiate the volumes. Thickness of wall does not dominate the façade. We felt that more windows would allow for a less massive feeling building and less visual impact on neighboring properties.



Top

Offset and staggered glazing

Middle

Horizontal and vertical metal accents

Base

Natural Stone Veneers

- The importance of scale is seen in the materiality and articulation of the building at the pedestrian level. Natural stone with accent details will appeal to pedestrians. Steel canopies, custom planters, quality light fixtures, and other site furnishings will provide visual interest along the pedestrian corridor. The scale and feel of building articulation changes as you go from the base level to the middle. The top of the elevation also has a scale change with less window articulation so that the top fascia projection is accented.



Rendering at Ground Level showing building base

C2. Building Materials:

Restraint should be used in the number of different building materials selected. Simplicity of palette is desired. Building materials similar to those in predominant use on the street or in the district of the new project are encouraged.

- The design of this project has intentionally limited materiality to only 3 expressions. These include a natural stone base, low-reflectivity glazing and metal accents. This material palette is very similar to the building materials used on the W Hotel across the street and the neighboring entertainment district. The combination of these three materials establishes a very neutral palette. This neutral palette helps to mitigate visual impact and emphasize vibrant color and materiality of the pedestrian zone.
- Windows will be designed with low reflectivity glazing. Shadow will be generated on the glazing by the use of both vertical and horizontal shading devices attached to the glazing system. Groupings of mullions and shading devices will help to break up large areas of glazing into a variety of window expressions.



Window Expression 1



Window Expression 2



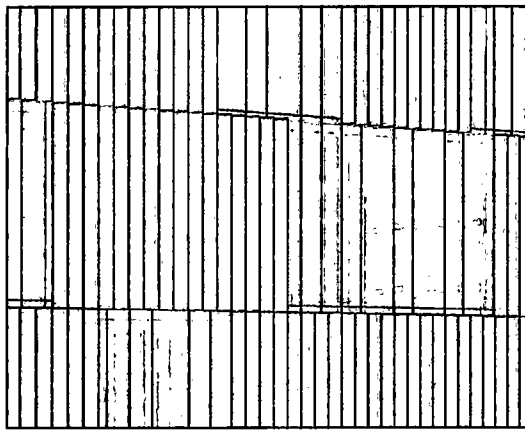
Window Expression 3

- Thickness of walls will be expressed on the base of the building. The majority of stone is used on the first two levels of the building. The stone is used on thick columns that accent the heavy nature of the base of the building. Walls will also accent the heavy, thick nature of the stone base.

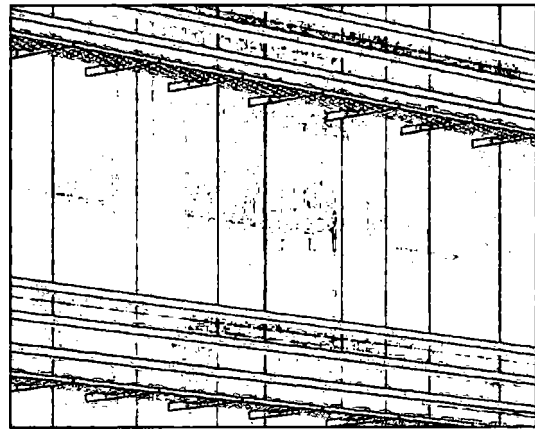
C3. Color and Texture:

Building colors should emphasize light and muted colors with light earth tones dominant. Color selection should show evidence of coordination with the predominant use of color on the street and the district of the new project. .

- The color palette for this building is very neutral in nature. In accordance with guidelines, the base is a natural stone veneer which represents an earth tone. The upper floors have a base material of glass, however it is broken up with a variety of accents. The accents are a natural metal color of neutral gray or light silver. The only color being used will be in the retail tenant storefront buildouts and the site amenities and furnishings.
- Texture on the building is generated by natural stone finished on the pedestrian level. Louvers and other metal accents will be grouped in horizontal and vertical patterns to provide a variety of visual textures that break up the building façade into different sections. These sections are organized to accentuate a horizontal feeling and thus mitigate the vertical height of the building.



Vertical Louvers



Horizontal Louvers

C4. Architectural Detail:

Surface detail, ornament and other elements that enrich architectural character are encouraged.

- Architectural detail will be used differently on the upper and lower stories of the building.
- On the lower level, detail will be seen in stone coursing, light fixtures, canopy details, signage, paving patterns, site plantings and site furnishings. These details are designed to enhance the visual and environmental experience of the pedestrian.



Streetscape Rendering

- On the upper levels, architectural detail will be expressed in the use of shading devices. Due to the amount of glazing, a variety of shading devices will add detail to the façade and act to break the façade up into multiple expressions. This addition of detail and texture to the façade will help mitigate the height and visual impact of the building as well as provide a responsible solar heat gain solution.

5. PLANNED BLOCK DEVELOPMENT CONFORMANCE

As noted in Ordinance Section 6.1301, the purpose of the Planned Block Development Overlay District (PBD) is “to allow for development flexibility in the Downtown Area... developing more Downtown Area public amenities, and adding land uses that would further promote the Downtown Area as a twenty-four (24) hour community”. The proposal is perfectly aligned with this stated purpose. Minor development flexibility - in the form of decreased setbacks and increased height and FAR - is being requested to enable land use that promotes Downtown as a 24 hour community - in the form of much needed, new offices space and associated retail.

The proposal meets numerous PBD Overlay criteria, including, but not limited to the following:

6.1304.A.2 - Criteria of a PBD Overlay District in Type 2 Area

a. The Development Plan shall reflect the goals and policies of the Character & Design chapter of the Downtown Plan

- As noted in Section 3 above, the proposal reflects the goals and policies of the Character & Design chapter of the Downtown Plan.

b. The site development standards and building form shall be in conformance with the Downtown Plan Urban Design & Architectural Guidelines.

- As noted in Section 4 above, the development standards and building form are in conformance with the Downtown Plan Urban Design & Architectural Guidelines.

c. The building form shall reflect the planned character of the development within which the development will be located.

- The development is located within an urban, vertically developed area of Downtown in which surface parking lots are discouraged and creative, vertically integrated development is promoted. The proposal matches this character by removing an underutilized surface lot and enabling a mixed-use, vertical development project with a below and above grade garage.

d. The Development Plan shall incorporate standards for development within 300 feet of the Downtown Boundary that addresses appropriate transitions in heights.

- The Property is not within 300 feet of the Downtown Boundary.

e. The Development Plan shall incorporate standards for development that addresses appropriate transitions in building heights between Downtown Regional Use or Downtown Medical Use -Type 2 and Downtown Multiple Use or Downtown Civic Center – Type 2 areas.

- The Property is not located within the Downtown Regional Use of Downtown Medical Use Type 2 area.

f. The Development Plan for development within 100 feet of a Type 1 Area shall incorporate standards that address appropriate landscape materials and transitions in building heights between the proposed development and the Type 1 Area.

- The Property is not located within 100 feet of a Type 1 Area.

g. The Development Plan shall incorporate standards for development adjacent to public streets that include sidewalks, pedestrian linkages, building forms and architectural features that address the human scale and pedestrian orientation.

- The Property improves the public pedestrian experience on all levels and even extends these improvements to both sides of Shoeman Lane. The sidewalks will be completely renovated and enhanced to provide an interesting and safe realm for patrons. Sidewalks will be of quality material and lined with furnishings, planting and pots to soften and improve the experience. Canopies will be provided to bring the scale of the building down to the human level and provide much needed shade and environmental comfort. The building will provide a great commercial edge for the public way with new shops and restaurants. Quality building materials and lighting opportunities will highlight the experience at all times of day and evening.

h. The pedestrian circulation shall be accessible and easy to navigate, and incorporate open space and pedestrian linkages to the public pedestrian circulation network.

- The Property seamlessly links up to the pedestrian way on both the Shoeman Lane and Scottsdale Road edges. Along Shoeman, the existing poorly maintained sidewalk adjacent to an asphalt surface lot will now be a shaded walkway partially lined with new retailers and/or restaurants. The pedestrian linkage along Scottsdale Road frontage will also be vastly improved. The current sidewalk is a “path to nowhere” which inexplicably stops at the middle of the property. A second sidewalk has ramps and railings with little clarity of direction for pedestrians. The new and upgraded pedestrian links will serve to connect the thriving nightlife district to the commercial areas along Scottsdale Road and to the west of Scottsdale Road. A truly, fully linked system of walkways will be completed.

6.1304.B – Additional Applicable Criteria for a PBD Overlay District

1. The proposed development supports the land use elements of the General Plan and the Downtown Plan.

- As noted in Section 2 and Section 3 above, the proposal supports the land use elements of the General Plan and Downtown Plan.

2. Criteria to add land uses for each Sub-district of the Downtown District.

- No new land uses are proposed by the application.

3. The proposed Development Plan reflects noteworthy investments to provide public benefits, improve the quality of life in the community, and assist in achieving the goals and policies of the General Plan, Downtown Plan and City objectives, primarily in the immediate vicinity of the neighborhood where the development will be located.

- As discussed throughout this document, the proposal provides an inherent public benefits through the provision of highly sought after office space needed to retain and attract quality companies in Downtown Scottsdale. The proposal also increases the number of parking spaces available in Downtown by removing an inefficient surface lot and replacing with a project that exceeds the city’s parking ordinance standards, all at no cost to the public.
Beyond these inherent benefits, the Applicant is also proposing a complete renovation and upgrade to the Shoeman Lane public realm right-of-way. These improvements are not just limited to the area adjacent to the subject Property; rather they encompass both sides of Shoeman Lane from Scottsdale Road east past Brown Avenue. Improvements include new hardscape and landscape, new, wide sidewalks, trees, tree grates with uprights, decorative light poles and public amenities like benches and trash receptacles.

6. THE DEVELOPMENT PLAN

The roughly 2.6 acre Property is located in the heart of Downtown Scottsdale, just steps away from the “Main & Main” intersection of Scottsdale and Camelback Roads. The Development Plan seeks to maximize the potential of this key, infill site with an iconic and appropriate office building with street level retail. The proposal incorporates an integrated 6-level below and above grade parking garage to provide more than adequate parking to meet the project’s needs. The development has a GFAR of 1.82 and building height of 90’-0”+ 6’-0” for mechanical appurtenances.

Design

The design approach for the project is to create a mixed use building with premier office space that will attract innovative, corporate tenants to Downtown Scottsdale. The proposed building succeeds with this premise by creating an iconic and functional design that also adheres to sustainable building practices new economy tenants are demanding. (The building will comply with Scottsdale’s Green Building Program requirements and potentially seek LEED certification). The east-west orientation and the abundance of high-performance glass on the north façade not only maximizes views, but also takes advantage of natural daylighting strategies to reduce energy use. The building will also enhance the context of the Downtown area by providing ground level commercial activity and quality pedestrian links through the site and into the existing Downtown fabric. The architectural character of the building will be contemporary in detail and material with the classical composition of base-middle-top. These design strategies, high quality materials and pronounced architectural expression will create an iconic building that enhances Downtown’s economic and cultural presence.

Retail

The retail component of the project consists of roughly 13,500 sqft and is appropriately placed on the west edge of the site to continue the active, walkable streets scene along Scottsdale Road. Generous outdoor patio space is provided to connect the interior spaces with the exterior public realm. The retail also wraps the corner and continues east along the Shoeman Lane frontage. Storefront glass façade will be the primary material used to visually connect and further activate the street level and public pedestrian realm.

Parking

The parking garage blends seamlessly into the project with the majority appropriately located, near the rear of the Property with an access point mid-block off of Shoeman Lane. A secondary access is provided off the existing private drive on the east edge of the Property. The garage can accommodate 953 spaces (only 685 required) within 3 below grade levels, a ground level, and 3 above grade levels. The garage will be visually screened from public ways by existing and new development. The garage height is kept low on the eastern portion of the site to respect the existing windows and views from the adjacent Galleria Corporate Centre.

Office

The office component of the project consists of roughly 190,000 sqft of leasable space placed above the retail and a level of parking to stretch from the level 3 to level 7. Roughly 3,000 sqft of ground floor office foyer and lobby space is also provided. The floor plates are roughly 37,000 sqft, ideally sized to attract quality tenants and major employers.

Public Realm

The public realm surrounding the site will be vastly improved from the current dilapidated condition. The goal is to create an inviting and comfortable pedestrian connection with shade and interest. New curb

and gutters along with new, wide, decorative concrete sidewalks with new ADA ramps will be installed on both sides of Shoeman Lane. The developer will also seek proper entitlements (public easement or license agreement if necessary) to enable creative building overhangs along the north façade. This is primarily seen at the main entrance overhang which protrudes roughly 10' off the building façade. These items are vital in creating shade from the summer sun and a pleasant east-west connection through the site. Other planned improvements along Shoeman Lane will create 17 new parallel parking spaces for public use. Overall, the improvements will create a comfortable pedestrian connection sorely lacking under the current conditions

Cultural Improvement Program

The Applicant is currently analyzing the potential of original art installations along the Scottsdale Road frontage or along Shoeman Lane to add further interest along the public, pedestrian realm. Should art installations prove to be functionally or otherwise prohibited, an appropriate contribution to the Cultural Improvement Program will be made.

Public Benefits

Per the PBD ordinance, bonus criteria can be achieved through noteworthy investments which provide public benefits, improve the quality of life in the community and assist in achieving the goals and policies of the General Plan, Downtown Plan and City objectives, primarily in the immediate vicinity of where the development is located. As outlined throughout this document, the proposal represents an opportunity for significant public benefits in a wide array of areas, most importantly, the provision of high quality, fully parked office space which is sorely lacking in Downtown. The project is key to attracting and retaining quality employers in Downtown which has an inherent ripple effect (financial and otherwise) in the immediate vicinity of the development and in the City as a whole.

As further detailed in the Proposed Development Standards (Section 7) below, the bonus height and GFAR requested are as follows:

96'-0" – Requested height (96'-0" to the highest appurtenance)

66'-0" – Allowable height by right

15'-0" – Bonus height for compliance with Scottsdale's Green Building Program

15'-0" – Bonus height requiring offsetting public benefit

Per Special Improvements of Table 6.1310F, 15'-0" = \$166,307.68

1.82 – Requested GFAR

1.40 – Allowable GFAR by right

0.42 – Bonus GFAR requiring offsetting public benefit

Per Special Improvements of Table 6.1310F, 0.42 = roughly \$518,758.00

Total cost of offsetting public benefits for requested height/GFAR = \$685,065.68

The project will provide offsetting public benefits through a combination of improvements to Shoeman Lane and a contribution to the Cultural Improvement Program beyond the required 1% amount or a contribution to for Downtown Infrastructure improvements."

South Side of Shoeman Lane	
13 decorative tree grates	\$27,131
8 benches and trash receptacles	\$8,050
10 decorative matching light poles	\$67,500
Subtotal South Side	\$136,188
<i>Cost of Standard Items</i>	<i>-\$23,500</i>
Total Cost Difference	\$79,181

North Side of Shoeman Lane	
Mobilization	\$28,500
Concrete drives w/ ADA ramps	\$28,500
Sidewalk Removal	\$10,300
AC Pavement Removal	\$12,104
Curb Removal	\$1,440
AC Pavement	\$41,280
Concrete Pavement	\$13,585
Curb and Gutter	\$2,244.75
Single Curb	\$4,672
3' Valley Gutter	\$9,889
8' Valley Gutter	\$1,924
6,950 sqft integral color sidewalks w/ banding	\$49,953
Sawcutting	\$520
10 Tree Grates	\$20,870
10 box trees (48")	\$5,170
Planter Granite	\$1,587.50
5 benches and trash receptacles	\$8,050
10 decorative matching light poles	\$67,500
Architectural and Engineering fees	\$24,000
Survey and Staking	\$3,500
<u>As Builts</u>	<u>\$1,500</u>
Total North Side	\$337,089.25

Total Cost of Shoeman Lane Improvements \$416,270.25

As part of the improvements to Shoeman Lane, the existing angled parking will be changed to parallel parking – the preferred parking layout for urban walkability and pedestrian safety. The reconfigured street will reduce the amount of street parking from 44 spaces to 26 spaces – a loss of 18 spaces. The developer will make an in-lieu payment into the Downtown Parking Fund to be used for future parking solutions in this quadrant of downtown.

7. PROPOSED DEVELOPMENT STANDARDS

The project is subject to the Downtown Plan Development Standards. As is expected on an urban, infill site, customized development standards are required to maximize the potential of the site and procure the greatest benefits to the Downtown area. This chart lists the proposed development standards and justification for each is provided below. Additionally, a legislative draft of the proposed amended standards is provided with this application.

	APPLICABLE DEVELOPMENT PLAN STANDARDS	PROPOSED DEVELOPMENT PLAN STANDARDS
A.	<i>Maximum GFAR (Table A.1)</i> 1.4	<i>Maximum GFAR (Table A.1)</i> 1.82
B.	<i>Maximum Building Height (Table A.1)</i> 66'-0"	<i>Maximum Building Height (Table A.1)</i> 90'-0"+6'-0" mechanical appurtenances
C.	<i>Setbacks from public streets, except alleys (Table B.1)</i> Minimum setback from all public streets in Type 2 Area is 20 feet	Minimum setback from Scottsdale Rd. is 20 feet Minimum setback from all other public streets is 15 feet 6 inches.
D.	<i>Building Location (C.1.a.ii)</i> In a Type 2 Area, at least 25 percent of the length of a building façade at grade and up to a height of 30 feet shall be set back at least 10 additional feet	In a Type 2 Area, at least 25 percent of the length of a building façade at grade and up to a height of 14 feet shall be set back at least 10 additional feet; Buildings with facades that are recessed at ground level only shall qualify. Facade recess shall have a minimum depth of 10 feet and height of 14 feet to qualify as building façade.
E.	<i>Building Location (C.2, Table C.2)</i> In a Type 2 Area, a building with a building façade length of 200 feet or more shall be located to achieve a prevailing setback between 25 and 35 feet. The building façades on a corner lot are calculated separately, and not added together.	In a Type 2 Area, a building with a building façade length of 200 feet or more shall be located to achieve a prevailing setback between 20 and 25 feet. The building façades on a corner lot are calculated separately, and not added together.
F.	<i>Building Location (C.3)</i> The prevailing setback is equal to the area between the back of curb and the building facade, divided by the length of the building, as shown in Example B.3.	The prevailing setback is equal to the area between the back of curb and the building facade, divided by the length of the building, as shown in Example B.3. Building arcades with minimum depth of 10 feet and height of 14 feet to qualify as building façade.

G.	<i>Stepbacks (D.1)</i> Downtown Multiple Use – Type 2 Areas: The stepback plane shall incline at a ratio of 1:1, beginning 30 feet above (i) the minimum setback from the public street (except alleys), and (ii) all other property lines, to 45 feet; and beginning at 45 feet, incline at a ratio of 2:1	Downtown Multiple Use – Type 2 Areas: Adjacent to a major arterial, buildings that are greater than 60 feet in height must provide a minimum 8 feet stepback of 25 percent of the portion of the façade that is over 60 feet and a minimum 6 feet stepback of 25 percent of the portion of the façade that is under 60 feet. Adjacent to all other public streets, buildings that are greater than 60 feet in height must provide a minimum 2 feet stepback of the top story for the length of the façade.
H.	<i>Exceptions to setbacks, prevailing setback and stepback standards (E.2.b)</i> A maximum of seven feet for canopies and other covers over sidewalks, balconies and terraces.	A maximum of ten feet for canopies and other covers over sidewalks, balconies and terraces.

Justifications

- A. *GFAR* - Maximum GFAR of 1.4 is allowed by right per the PBD ordinance, however the Downtown zoning district provides incentives for increasing GFAR. The GFAR requested of 1.82 is only slightly above (0.42) the permitted 1.4. The extra GFAR enables the building to maximize tenant space to ensure the greatest employment and economic impact for the City of Scottsdale. Additionally, the intent of GFAR is to place reasonable limitations on building size relative to the site and location. The proposed standard adheres to this intent by enabling greater office density in the appropriate urban core location. Many urban planning guides recommend a GFAR greater than 2.0 to create and maintain urban, walkable areas.
- B. *Building Height* – Maximum building height of 66'-0" is permitted by right per the PBD ordinance, however bonus provisions of the ordinance allow for increased height. This includes an automatic 15'-0" of bonus height for compliance with Scottsdale's Green Building Program, which the developer has opted to participate in. This brings the allowable height to 81'-0". Although the requested height (96'-0") is technically 15'-0" higher, 6'-0" of this "extra" height is reserved for appurtenances that are extremely limited in application and nearly invisible to the surrounding community. The true building stops at 90'-0", a mere 9'-0" greater than permitted and still within the allowable ceiling for the area. The proposed standards adhere to this intent by positioning the building height to preserve views from the Galleria property to the south and the character of the area is already defined with taller buildings emanating from the intersection of Camelback and Scottsdale. Additionally, without the flexibility to provide additional height, a full level of office space would need to be removed from the project. That's 35,000+ sqft of leasable space and employment use in Downtown. This would threaten the viability of the project, but more importantly negate the opportunity the City has to capture sought after employers with high-quality jobs that strengthen Downtown's role as a major economic center. Greater building height is needed to attract these high-quality tenants and today's high-end-office market requires a minimum floor-ceiling height of 10'-0". To achieve this, structural floor heights of roughly 13'-1" are required, which in-turn produced a taller building.

- C. *Setbacks from public streets, except alleys* - The intent of building setbacks is to provide an appropriately sized and consistent public realm areas for pedestrian activity and enjoyment. The proposed standards adhere to this intent by providing 20' along Scottsdale Road and over 15' along Shoeman Lane of improved public realm with upgraded hardscape, new trees, planters, tree grates, pedestrian lighting and quality site furnishings. The proposal represents a massive upgrade to the existing conditions at this location and along most of Shoeman Lane. Shoeman is not a long street, terminating just east of the subject Property and the proposed condition would exceed any condition currently occurring anywhere on Shoeman. The other redeveloped sites along Shoeman (W Hotel and the Scottsdale Retail Plaza) provide similar conditions ranging from 11' to 18'. Furthermore, the building is designed appropriately for the long, skinny infill site. The layout is the minimum building width needed to accommodate a functional parking garage. A greater setback off of Shoeman would shrink the 24'-0" garage drive aisles or require the removal of a row of parking spaces on each level. Either scenario would create an inefficient and cost prohibitive garage design.
- D. *Building Location* – See justification C. above. Although the building will not step back 10' along Shoeman or Scottsdale Roads, the at grade portion of the building is designed for an open feeling with an arcade at the retail portion of the building and enhanced fenestrations at the garage facades. The intent of this standard is to provide variety of pedestrian experience at the ground level. The arcade is the perfect building expression to provide an environmentally comfortable and visually interesting pedestrian experience across a meaningful length of the north façade and streetscape. Pulling the building towards the property line also creates continual shade for the sidewalk and pedestrian zone which it would not be able to do if set back 10' at portions of the façade.
- E. *Building Location, Prevailing Setback* – See justification C. and D. above. It is also important to note that the site is not located adjacent to Type 1 areas or at the perimeter of the Downtown district or adjacent to residential areas.
- F. *Building Location, Prevailing Setback* – See justification C. and D. above. It is also important to note that the site is not located adjacent to Type 1 areas or at the perimeter of the Downtown district or adjacent to residential areas.
- G. *Stepbacks* – See justification C. above. The intent of the stepback plane is to ensure that the building volume is broken up and emphasizes horizontality. We feel that the elevation can be designed in a fashion to read horizontal and mitigate perceived building height without requiring stepbacks that would prohibit a functional office lease depth. Multiple building expressions can break the body of the elevation up into several volumes without significantly stepping back the façade. Along Shoeman Lane, we feel that a recess of 2 feet on the top floor in addition to elements that break the building up into a base-middle-top, will be enough to relieve the verticality and also maintain a functioning column grid in the building. Along Scottsdale Road, the column grid has slightly more flexibility and we can achieve breaking the building into multiple volumes that range in stepback depth from 18 inches to 8 feet. This will provide Scottsdale Road with a visually engaging façade that mitigates building height without being preclusive to the function and viability of the office product.
- H. *Exceptions to Setbacks, Canopies* – A 3'-0" exception to the depth of canopies to increase from 7'-0" to 10'-0" will allow adequate shade for the outdoor patio areas at ground level and the pedestrian realm along Shoeman Lane. The projection allowance also creates a recognizable office entry feature along Shoeman Lane.

8. CONCLUSION

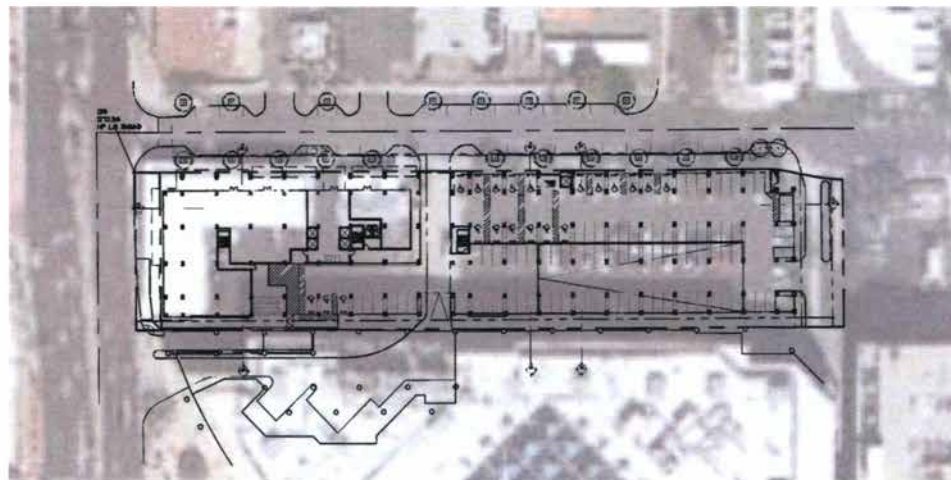
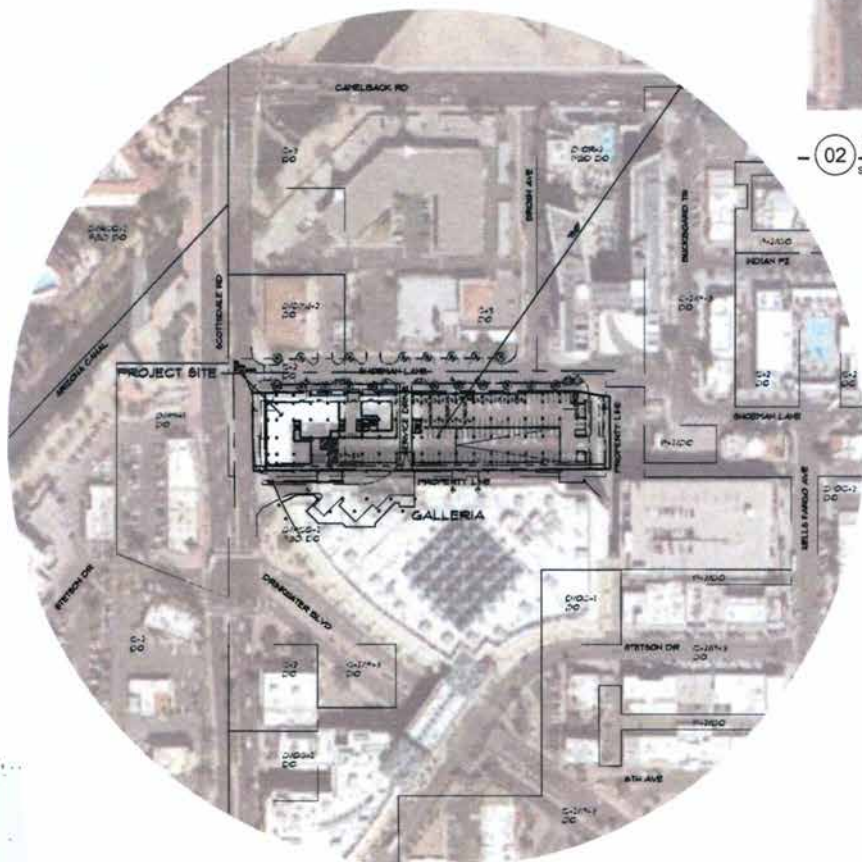
As outlined in this narrative and as seen in the application exhibits, the proposal meets and exceeds numerous stated goals of the General Plan, the Downtown Plan, the Planned Block Development Overlay, and the Downtown Design Guidelines. The project will deliver an iconic yet compatible Class-A office building near the City's preeminent intersection while ensuring the City remains economically competitive from a regional, national and international perspective. The project will provide tangible results from decades of efforts by the City to maintain Downtown as an economic hub of employment and activity.

PROPOSED DEVELOPMENT STANDARDS

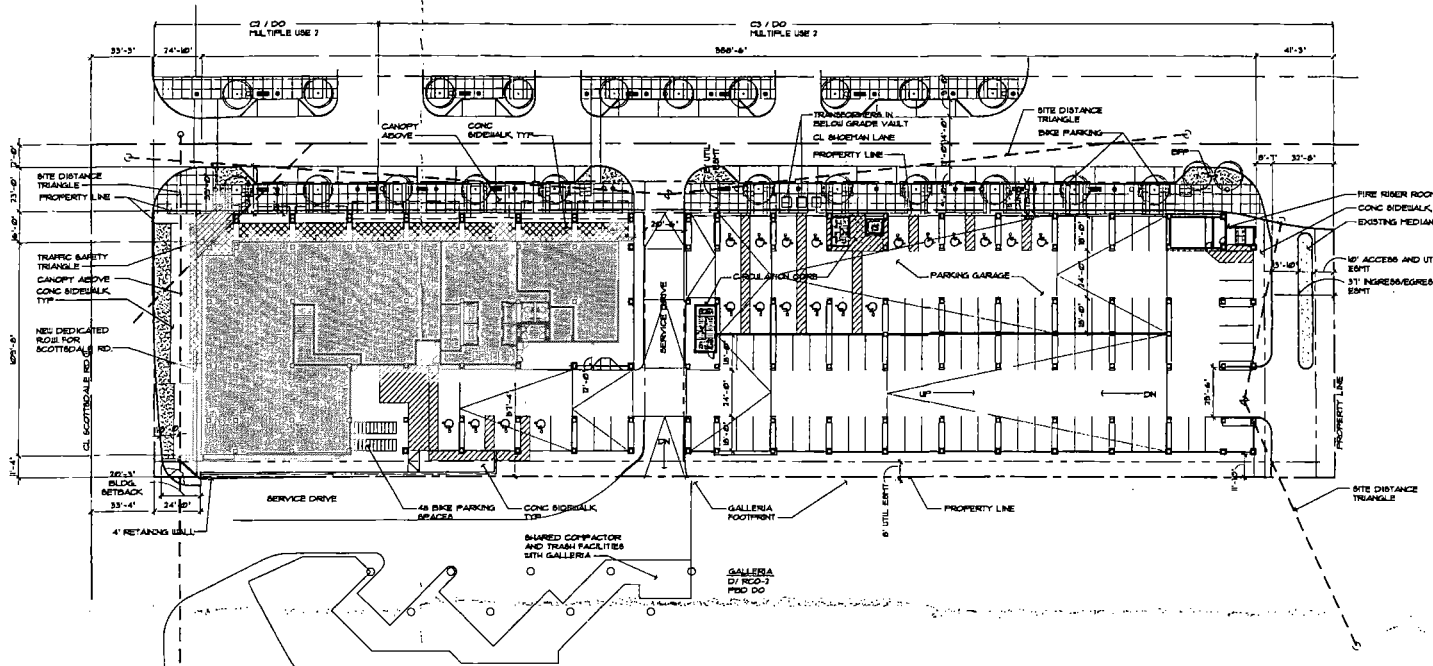
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B.	<i>Maximum Building Height (Table A.1)</i> 66'-0"	<i>Maximum Building Height (Table A.1)</i> 90'-0"+6'-0" mechanical appurtenances measured from datum line at 1'-0" above the average top of curb elevation.
C.	<i>Setbacks from public streets, except alleys (Table B.1)</i> Minimum setback from all public streets in Type 2 Area is 20 feet	Minimum setback from Scottsdale Rd. is 20 feet Minimum setback from all other public streets is 15 feet 6 inches.
D.	<i>Building Location (C.1.a.ii)</i> In a Type 2 Area, at least 25 percent of the length of a building façade at grade and up to a height of 30 feet shall be set back at least 10 additional feet	In a Type 2 Area, at least 25 percent of the length of a building façade at grade and up to a height of 14 feet shall be set back at least 10 additional feet; Buildings with facades that are recessed at ground level only shall qualify. Facade recess shall have a minimum depth of 10 feet and height of 14 feet to qualify as building façade.
E.	<i>Building Location (C.2, Table C.2)</i> In a Type 2 Area, a building with a building façade length of 200 feet or more shall be located to achieve a prevailing setback between 25 and 35 feet. The building façades on a corner lot are calculated separately, and not added together.	In a Type 2 Area, a building with a building façade length of 200 feet or more shall be located to achieve a prevailing setback between 20 and 25 feet. The building façades on a corner lot are calculated separately, and not added together.
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G.	<p><i>Stepbacks (D.1)</i></p> <p>Downtown Multiple Use – Type 2 Areas: The stepback plane shall incline at a ratio of 1:1, beginning 30 feet above (i) the minimum setback from the public street (except alleys), and (ii) all other property lines, to 45 feet; and beginning at 45 feet, incline at a ratio of 2:1</p>	<p>Downtown Multiple Use – Type 2 Areas:</p> <p>Adjacent to a major arterial, buildings that are greater than 60 feet in height must provide a minimum 8 feet stepback of 25 percent of the portion of the façade that is over 60 feet and a minimum 6 feet stepback of 25 percent of the portion of the façade that is under 60 feet. Adjacent to all other public streets, buildings that are greater than 60 feet in height must provide a minimum 2 feet stepback of the top story for the length of the façade.</p>
H.	<p><i>Exceptions to setbacks, prevailing setback and stepback standards (E.2.b)</i></p> <p>A maximum of seven feet for canopies and other covers over sidewalks, balconies and terraces.</p>	<p>A maximum of ten feet for canopies and other covers over sidewalks, balconies and terraces.</p>



Resolution No. 10366
Exhibit A
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01 SITE PLAN
SCALE: 1"=30'

PROJECT DATA

USE:	RETAIL/OFFICE/PARKING
ZONING:	C3-DO / C3-DO
BUS DISTRICT:	DOUNTOWN MULTIPLE USE TYPE 2
ALLOWABLE HEIGHT WITH BONUS:	66'-0"
BUILDING HEIGHT PROVIDED:	66'-0"
GRASS LOT AREA:	12,145 SF (3.00 AC)
NET LOT AREA:	80,105 SF (1.83 AC)
GPAL ALLOWED:	1.3
GPAL ALLOWED WITH BONUS:	3.0
GPAL PROVIDED:	1.02
BUILDING SETBACK:	10'-0" FROM CURB
OPEN SPACE:	NOT REQUIRED

TABULATIONS

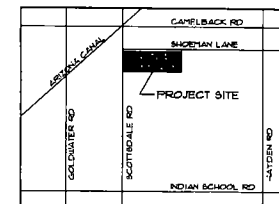
BUILDING AREA	33,713 SF
LEVEL 1 OFFICE	10,311 SF
LEVEL 2 OFFICE	11,175 SF
LEVEL 3 OFFICE	11,290 SF
LEVEL 4 OFFICE	38,065 SF
LEVEL 5 OFFICE	37,790 SF
LEVEL 6 OFFICE	36,368 SF
TOTAL OFFICE	150,929 SF
TOTAL RETAIL	13,631 SF
TOTAL BUILDING AREA	284,860 SF

PARKING REQUIRED	
RETAIL (1 CAR / 300 SF)	46 CARS
OFFICE (1 CAR / 300 SF)	831 CARS
TOTAL PARKING REQD	877 CARS

PARKING PROVIDED	
STREET PARKING	11 CARS
LEVEL B2	178 CARS
LEVEL B3	178 CARS
LEVEL B4	302 CARS
LEVEL 1	91 CARS
LEVEL 2	90 CARS
LEVEL 3	90 CARS
TOTAL CARS PROVIDED	930 CARS

ACCESSIBLE SPACES REQD (1% OF PROVIDED)	10 CARS
ACCESSIBLE SPACES PROVIDED (INCLUDES 2 VAN ACCESSIBLE)	10 CARS

BIKE PARKING REQD (1/10 SPACES REQUIRED)	60 BIKES
BIKE PARKING PROVIDED	60 BIKES



PROJECT VICINITY MAP
SCALE: N.T.S.

NeisenPartners

NeisenPartners, Inc.
Architecture Planning Interiors
Austin, Scottsdale
15230 N. Scottsdale Road, Suite 300
Scottsdale, Arizona 85254
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www.neisenpartners.com

PRELIMINARY
NOT FOR
CONSTRUCTION
OR
RECORDING

SHOEMAN LANE
4419 N Scottsdale Rd
Scottsdale, AZ

Date
23 December 2015

Resolution No. 10366
Exhibit A
Page 28 of 38

Overlays and within existing recording
human construction information and is qualified
based on the information and may not be
duplicate, valid, or complete without other
information of the project.

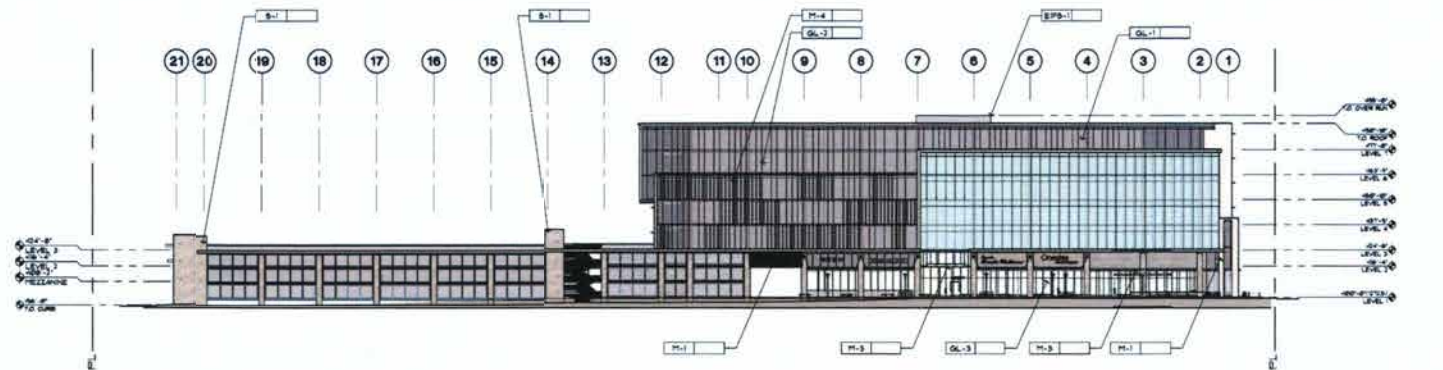
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Project No.
315011

A102
SITE PLAN

REF:

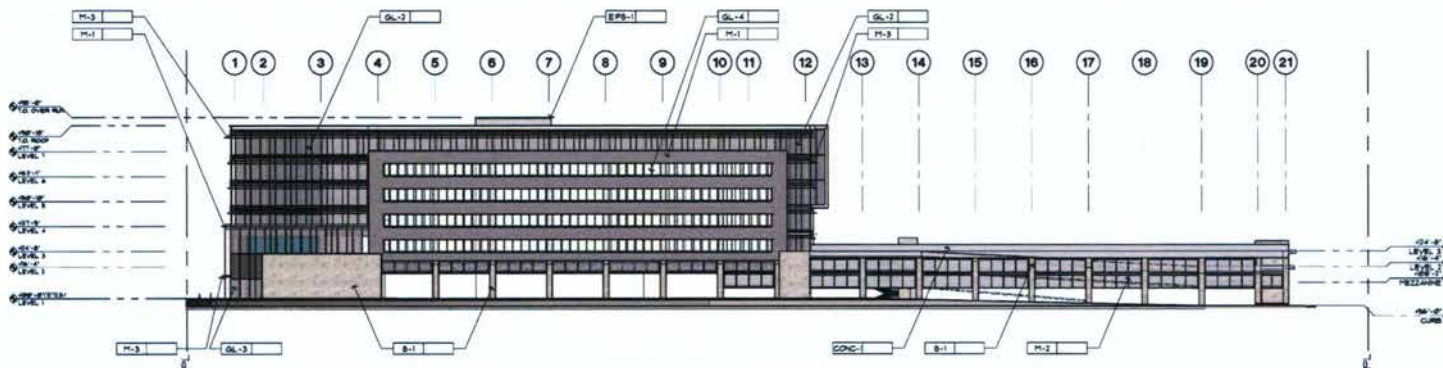
17-JAN-2016
11/12/16



04 North Elevation

SCALE: 1"=30'

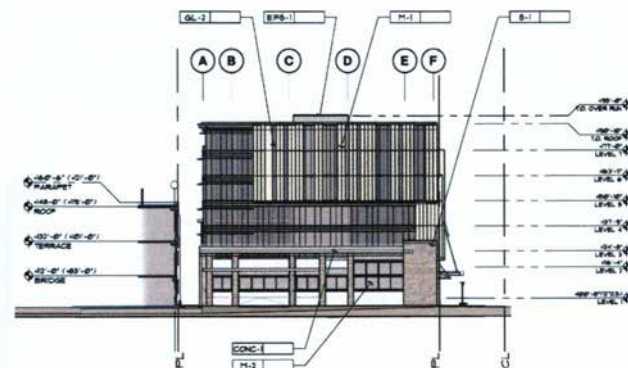
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03 South Elevation

SCALE: 1"=30'

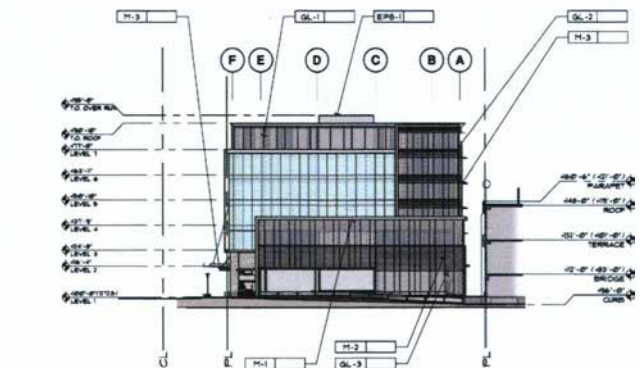
REF:



02 East Elevation

SCALE: 1"=30'

REF:



01 West Elevation

SCALE: 1"=30'

REF:

FINISH SCHEDULE:

- CONCRETE (DIV. 3)
CONC-1: INTEGRAL COLOR OR CAST-IN-PLACE PARKING GARAGE
- STONE (DIV. 4)
S-1: SANDSTONE VENEER COLUMN SURROUNDS OR WALL CLADDING
- METAL (DIV. 5.1)
M-1: COMPOSITE PREFABRICATED METAL PANELS MOUNTED AS A DRY ROUTE AND RETURN SYSTEM
M-2: GARAGE SCREENING - TUBE STEEL PANELS WITH PERFORATED METAL PANEL INFILL ENTIRE PANEL TO BE PAINTED
M-3: PAINTED STEEL CANOPES WITH PERFORATED METAL PANEL INFILL
M-4: VERTICAL FIN MILLION EXTENSIONS TO BE PREFABRICATED AND ATTACHED TO CURTAIN WALL SYSTEM
- GLASS (DIV. 6)
GL-1: TINTED, LOW-E, HIGH EFFICIENCY GLAZING CAPTURED IN A CURTAIN WALL WITH ALL MILLIONS TO BE STRUCTURAL SILICONE GLAZED
GL-2: TINTED, LOW-E, HIGH EFFICIENCY GLAZING CAPTURED IN A CURTAIN WALL WITH ALL MILLIONS TO BE STRUCTURAL SILICONE GLAZED
GL-3: CLEAR, LOW-E, HIGH EFFICIENCY GLAZING CAPTURED IN A CURTAIN WALL WITH ALL MILLIONS TO BE STRUCTURAL SILICONE GLAZED
GL-4: TINTED, LOW-E, HIGH EFFICIENCY GLAZING CAPTURED IN KIBBO OR PUNCHED WINDOW STOREFRONT SYSTEM
- EPS (DIV. 8)
EPS-1: INTEGRAL COLOR EPS
- COMPOSITE PANEL (DIV. 9)
PC-1: LARGE FORMAT COMPOSITE RANDSCREEN PANEL

Resolution No. 10366
Exhibit A
Page 30 of 38

NelsenPartners

NelsenPartners, Inc.
Architecture Planning Interiors
Austin - Scottsdale
15230 N. Scottsdale Road, Suite 300
Scottsdale, Arizona 85254
Tel: 480.949.6800
Fax: 480.949.6801
www.nelsenpartners.com

PRELIMINARY
NOT FOR
CONSTRUCTION
OR
RECORDING

SHOEMAN LANE
4419 N Scottsdale Rd
Scottsdale, AZ

Date
04 November 2015

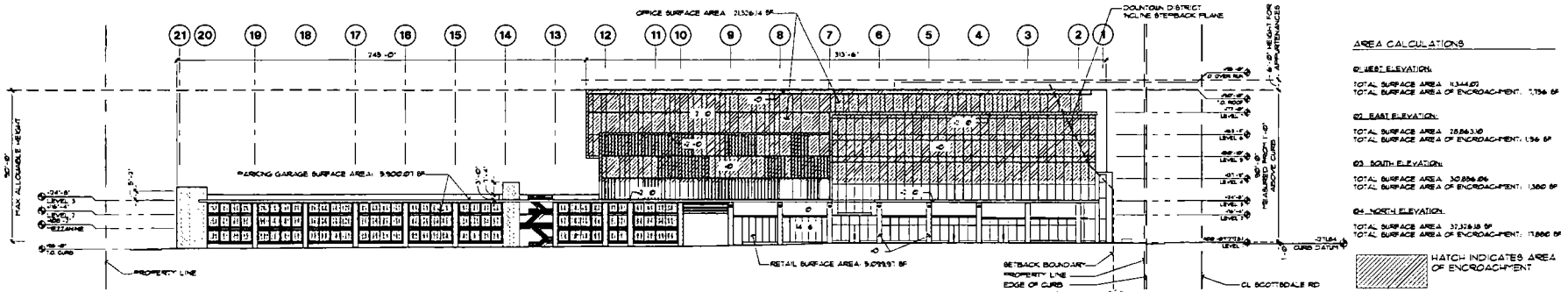
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Project No.
315011

A301
ELEVATIONS

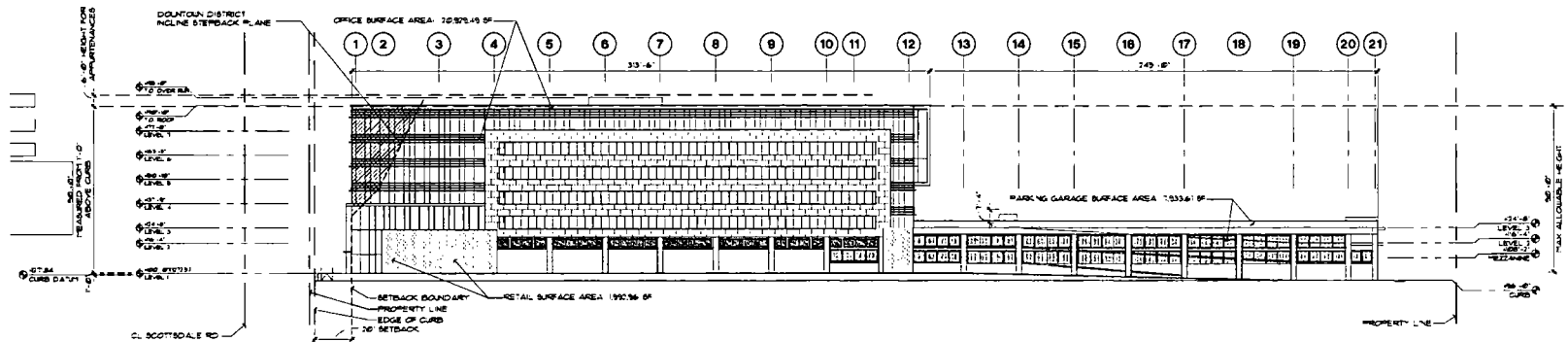
A301
ELEVATIONS



04 North Elevation

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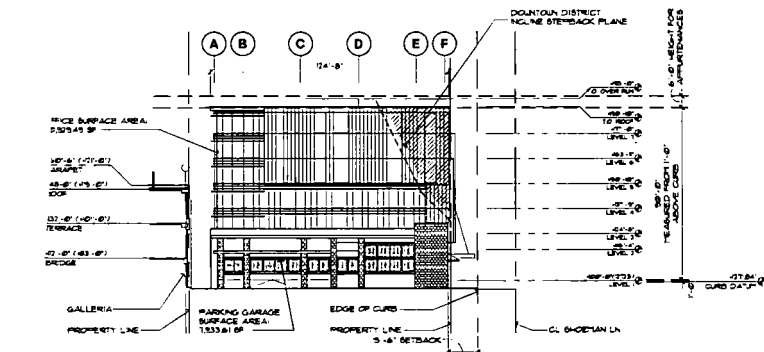
REF.



03 South Elevation

SCALE: 1"=30'

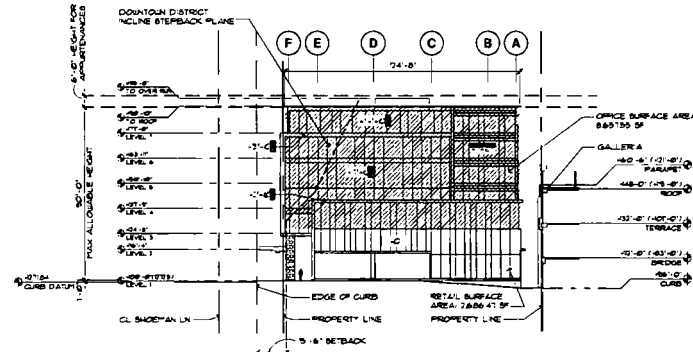
REF.



02 East Elevation

SCALE: 1"=30'

REF.



01 West Elevation

SCALE: 1"=30'

REF.

AREA CALCULATIONS

01 WEST ELEVATION:	
TOTAL SURFACE AREA: 11,653.97 SF	
TOTAL SURFACE AREA OF ENCROACHMENT: 1,134.61 SF	
02 EAST ELEVATION:	
TOTAL SURFACE AREA: 10,151.31 SF	
TOTAL SURFACE AREA OF ENCROACHMENT: 1,366.61 SF	
03 SOUTH ELEVATION:	
TOTAL SURFACE AREA: 28,257.10 SF	
TOTAL SURFACE AREA OF ENCROACHMENT: 1,366.61 SF	
04 NORTH ELEVATION:	
TOTAL SURFACE AREA: 31,226.35 SF	
TOTAL SURFACE AREA OF ENCROACHMENT: 1,366.61 SF	

HATCH INDICATES AREA OF ENCROACHMENT



02 SOUTHWEST PERSPECTIVE
SCALE: N.T.S.

REF.



01 NORTHWEST PERSPECTIVE
SCALE: N.T.S.

REF.

NelsenPartners
Nelsen Partners, Inc.
Architecture Planning Interiors
Austin - Scottsdale
15210 N. Scottsdale Road, Suite 300
Scottsdale, Arizona 85254
Tel: 480.348.6900
Fax: 480.949.6801
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Resolution No. 10366
Exhibit A
Page 33 of 38

SHOEMAN LANE
4419 N Scottsdale Rd
Scottsdale, AZ

Date
27 August 2015

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Project No.
315011

A303
BUILDING PERSPECTIVE



02 NORTHEAST PERSPECTIVE
SCALE: N.T.S.

REF:



01 NORTHEAST AERIAL PERSPECTIVE
SCALE: N.T.S.

REF:

Resolution No. 10366
Exhibit A
Page 34 of 38

NelsenPartners
Nelsen Partners, Inc.
Architecture Planning Interiors
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4419 N Scottsdale Rd
Scottsdale, AZ

Date
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Project No.
315011

A304
BUILDING PERSPECTIVE



02 STREET AERIAL PERSPECTIVE
SCALE: N.T.S.

REF:



01 STREET PERSPECTIVE
SCALE: N.T.S.

REF:

NelsenPartners

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tel: 480.940.8900
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PRELIMINARY
NOT FOR
CONSTRUCTION
OR
RECORDING

SHOEMAN LANE

4419 N Scottsdale Rd
Scottsdale, AZ

Date
27 August 2015

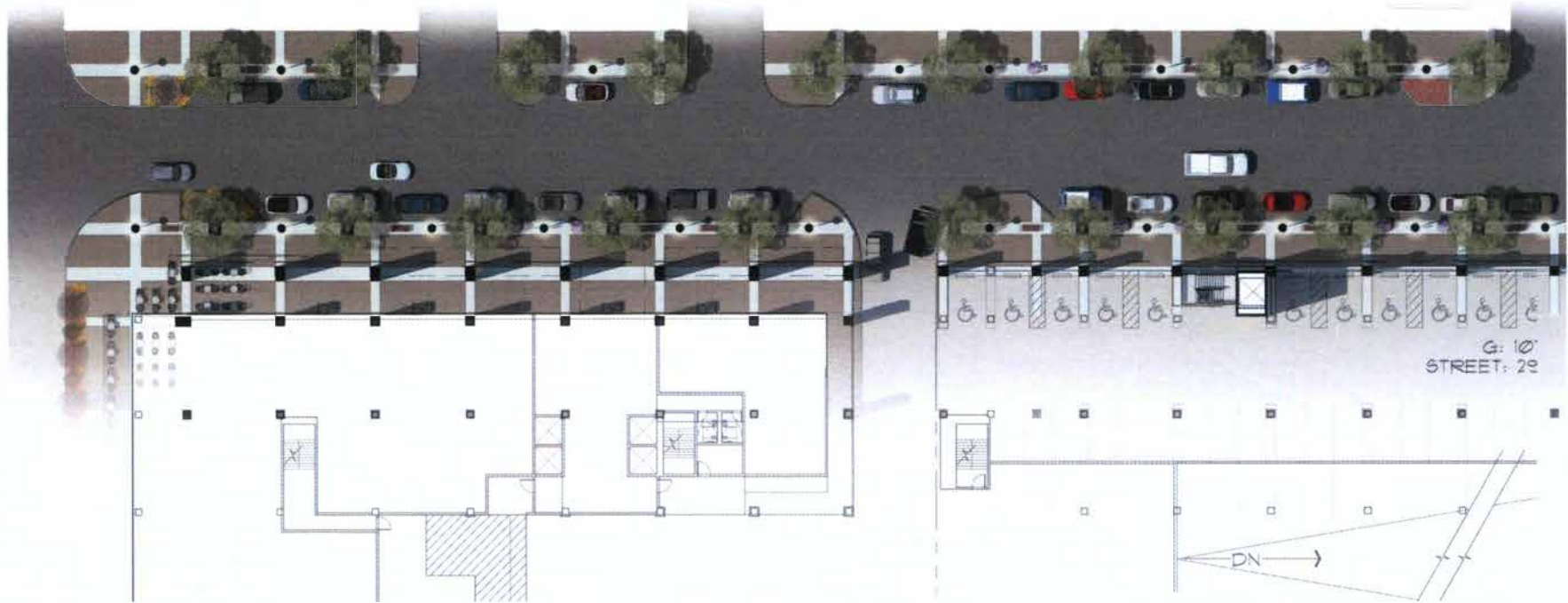
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Project No.
315011

A305
STREET PERSPECTIVE

Resolution No. 10366
Exhibit A
Page 35 of 38



01 STREETScape PLAN

SCALE: 1" = 10'

REF:

Resolution No. 10366
Exhibit A
Page 36 of 38

NelsenPartners

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Scottsdale, Arizona 85254

tel: 480.349.8800

fax: 480.949.8801

www.nelsenpartners.com

PRELIMINARY

NOT FOR

CONSTRUCTION

OR

RECORDING

SHOEMAN LANE

4419 N Scottsdale Rd
Scottsdale, AZ

Date
27 August 2015

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Project No.

315011

A306

STREETScape SITE PLAN

PRELIMINARY
NOT FOR
CONSTRUCTION
OR
RECORDING

SHOEMAN LANE
4419 N Scottsdale Rd
Scottsdale, AZ

Resolution No. 10366
Exhibit A
Page 37 of 38

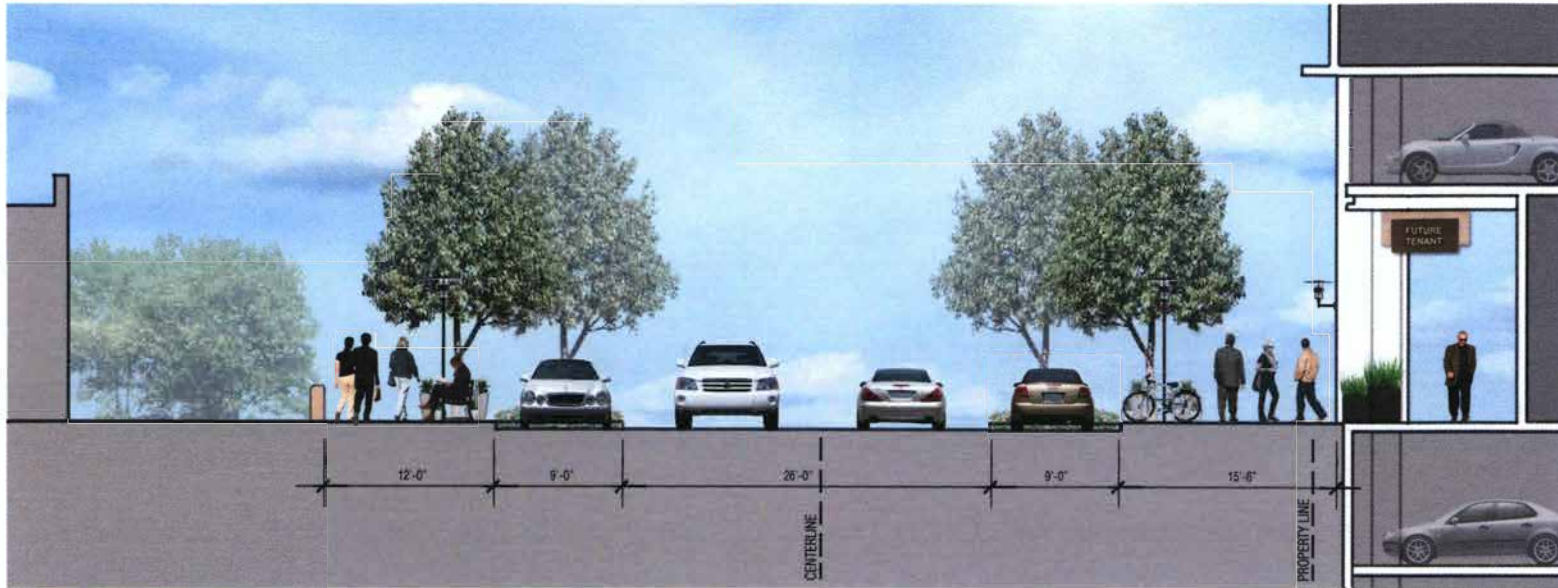
Date
27 August 2015

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reproduced, copied, or modified without written
consent of the architect.

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Project No.
315011

A307
STREET SECTIONS



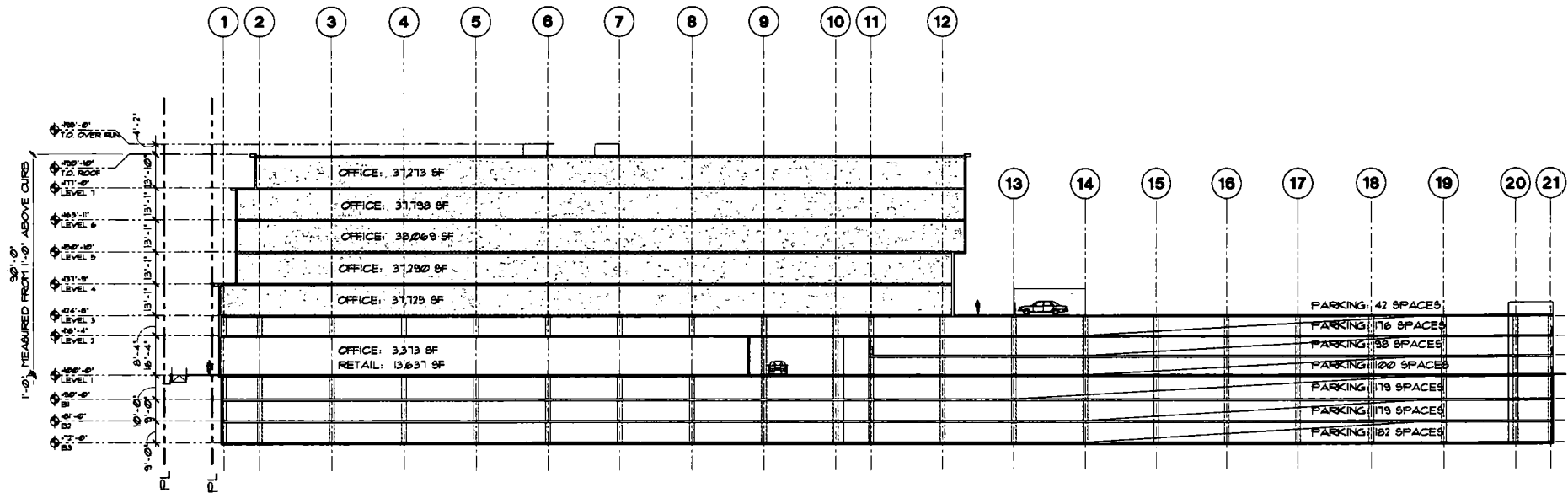
02 STREET SECTION 1
SCALE: 1/4"=1'-0"

REF.



01 STREET SECTION 2
SCALE: 1/4"=1'-0"

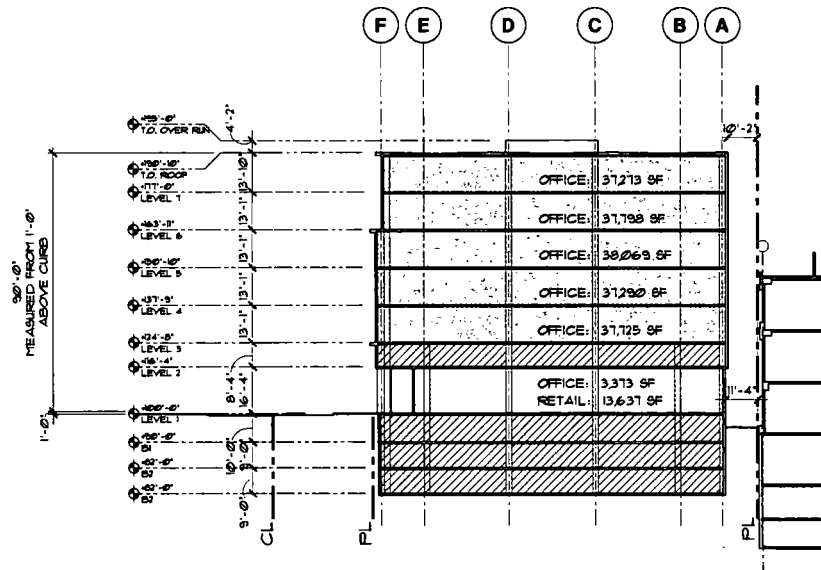
REF.



EAST-WEST SECTION
THROUGH SCOTTSDALE ROAD

SCALE: 1"=20'

REF.



NORTH-SOUTH SECTION
THROUGH SHOEMAN LANE

SCALE: 1"=20'

REF.

RESOLUTION NO. 10357

A RESOLUTION OF THE CITY OF SCOTTSDALE, ARIZONA,
AUTHORIZING THE MAYOR TO EXECUTE DEVELOPMENT
AGREEMENT NO. 2016-021-COS FOR PROPERTY GENERALLY
LOCATED AT 4419 NORTH SCOTTSDALE ROAD.

WHEREAS, A.R.S. § 9-500.05 authorizes the City to enter into development agreements with persons having an interest in real property located in the City; and

WHEREAS, it is in the best interest of the City and owner to enter into Development Agreement No. 2016-021-COS for construction of a commercial building and parking structure and use of available bonus provisions under the Scottsdale Revised Code to increase the projects floor area, add 30 feet of building height and develop in accordance with the City's green building construction code construction, and for the installation of public art on The Shoeman Office Building on property located at 4419 N. Scottsdale Road, 7223 E. Shoeman Lane and 7233 E. Shoeman Lane; and

WHEREAS, this Development Agreement No. 2016-021-COS is consistent with the portions of the City's general plan applicable to the property on the date this Agreement is executed.

NOW, THEREFORE, LET IT BE RESOLVED, by the Council of the City of Scottsdale, as follows:

Section 1. That Mayor W.J. "Jim" Lane is authorized and directed to execute Development Agreement No. 2016-021-COS after it has been executed by all other parties.

Section 2. That the City Clerk is hereby directed to record Development Agreement No. 2016-021-COS with the Maricopa County Recorder within ten (10) days of its execution by all Parties.

PASSED AND ADOPTED by the Council of the City of Scottsdale, Arizona, this _____ day of _____, 2016.

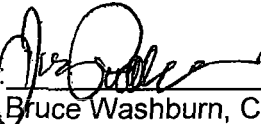
ATTEST:

CITY OF SCOTTSDALE, an Arizona
Municipal Corporation

By: _____
Carolyn Jagger
City Clerk

By: _____
W.J. "Jim" Lane
Mayor

APPROVED AS TO FORM:
OFFICE OF THE CITY ATTORNEY

By: 

Bruce Washburn, City Attorney
By: Joe Padilla, Deputy City Attorney

When Recorded Return to:

City of Scottsdale
Current Planning Services
7447 E. Indian School Rd., Suite 105
Scottsdale, AZ 85251

Agreement No. 2016-021-COS

DEVELOPMENT AGREEMENT

This Development Agreement (the "Agreement") is entered into this _____ day of _____, 2016, by Stockdale Galleria Land Owner, LLC, a Delaware limited liability company ("Developer"), and the City of Scottsdale, Arizona, an Arizona municipal corporation ("City"), collectively referred to as "the Parties".

RECITALS

A. Arizona Revised Statutes §9-500.05 authorizes the City to enter into a Development Agreement related to real property located inside the incorporated area of the City with a landowner or other person having an interest in the real property.

B. The Property that is the subject of this Agreement consists of approximately 1.979 net acres located at 4419 North Scottsdale Road, 7223 East Shoeman Lane, 7233 East Shoeman Lane, and 7235 East Shoeman Lane, Scottsdale, Arizona (the "Property"). The Property is situated within the incorporated boundaries of the City and is more particularly described on **Exhibit "A"** (the "Property") attached hereto and incorporated herein by reference.

C. The Developer is the owner of the Property described in **Exhibit "A"**.

D. Developer plans to develop the Property by constructing a 204,660 +/- square foot commercial building and parking structure ("the Project").

E. Developer desires to utilize available bonus provisions under the Scottsdale Revised City Code, to increase the gross floor area of the Project by 46,789 square feet and obtain an additional 30 feet of Building Height by constructing the development in accordance with the City of Scottsdale's Green Building Program and code, constructing certain Special Improvements in the East Shoeman Lane right-of-way, and paying to the City Two Hundred Sixty Eight Thousand Seven Hundred Ninety Five Dollars and forty-three cents (\$268,795.43) to be deposited into the City's Downtown Special Improvement Trust Fund to be used by the City for the future construction of Special Improvements that achieve public benefits in the Downtown

Area specifically within boundaries of the area depicted by the bold outline on **Exhibit "B"** (the "Future Special and Parking Improvement Area") attached hereto and incorporated herein by reference.

F. In order to complete the Project, the Developer has made Development Applications to the City for a Zoning Ordinance Text Amendment, case number 5-TA-2015; and, a Zoning District Map Amendment, case number 7-ZN-2015.

G. The Parties understand that following the conclusion of the required public hearings the Scottsdale City Council may vote to deny or approve the Developer's Development Application requests for the Zoning Ordinance Text Amendment and Zoning District Map Amendment. This Agreement does not require the City Council to vote in any particular way.

H. The Developer will commission and install original artwork on the Property in accordance with the Scottsdale Revised Code.

I. Developer and City acknowledge and agree that development of the Property will benefit the City's residents and the Property.

J. This Agreement is consistent with the portions of the City's General Plan applicable to the Property on the date of this Agreement.

K. The City's governing body has authorized execution of this Agreement by Resolution No. 10357.

AGREEMENT

NOW, THEREFORE, in consideration of the foregoing Recitals and representations and the mutual covenants and conditions in this Agreement, The Parties agree as follows:

1. Recitals. The recitals set forth above are hereby incorporated into this Agreement by this reference.

2. Effective date. This agreement shall be effective upon execution by the parties.

3. Property Interest of the Developer. Developer warrants that it is the fee title owner of the Property and that the Property is located within the municipal limits of the City.

4. Developers Bonus and Special Improvement Obligations.

4.1 Bonus Development Standards. The Property is zoned Central Business Downtown Overlay (C-2 DO) and Highway Commercial Downtown Overlay

(C-3 DO). Developer will apply for a Zoning District Map Amendment to rezone the Property to Downtown/Downtown Multiple Use Type-2, Planned Block Development, Downtown Overlay (D/DMU-2, PBD, DO) zoning that includes Bonus Development Standards.

4.2 Bonus Provisions. Developer shall be entitled to utilize available bonus provisions under Scottsdale Revised City Code, Appendix B – Basic Zoning Ordinance, Article VI, - Supplemental Districts, Section 6.1310 to obtain an increase in gross floor area and obtain additional building height inclusive of roof top appurtenances not to exceed the amount approved in Zoning District Map Amendment, case number 7-ZN-2015, for the Project, if Developer:

4.2.1 Constructs the entire Project in accordance with the City of Scottsdale's Green Building Program and code, which is the International Green Construction Code (IGCC), as amended and adopted by the City of Scottsdale;

4.2.2 Constructs those certain Special Improvements in the East Shoeman Lane right-of-way, described on **Exhibit "C"** (the "East Shoeman Lane Street Improvements"), pursuant to Section 4.3 below; and

4.2.3 Pays Two Hundred Sixty Eight Thousand Seven Hundred Ninety Five Dollars and forty-three cents (\$268,795.43) into the City's Downtown Special Improvement Trust Fund (the "In-Lieu Payment for Special Improvements").

4.3 Additional Terms Related to the Special Improvements in the East Shoeman Lane right-of-way.

4.3.1 Developer shall pay for any and all costs and expenses of designing, engineering, permitting, constructing and installing the East Shoeman Lane Street Improvements; such costs and expenses (which shall include, without limitation, costs of labor and materials and professional and consultant fees) shall be a minimum of Four Hundred Sixteen Thousand Two Hundred Seventy Dollars and twenty-five cents (\$416,270.25).

4.3.2 The Developer shall maintain the sidewalks, hardscape, landscape, bicycle racks, pedestrian amenities, and pedestrian lighting improvements constructed in the East Shoeman Lane right-of-way as a condition of obtaining the Special Improvement bonus. The City shall own the East Shoeman Lane Street Improvements after the City has accepted them as complete and final.

4.4 Developer's Additional Terms Related to the In-lieu Payment for Special Improvements.

4.4.1 Prior to the issuance of any permit to construct any vertical improvements, above or below grade, excluding excavation, the Developer shall pay to the City the In-Lieu Payment for Special Improvements. However the last day the

payment can be made without an increase is December 31, 2017, and any unpaid amount after December 31, 2017 is subject to being increased as set forth in Section 4.4.2.

4.4.2 If all or any part of the In-Lieu Payment for Special Improvements has not been paid by December 31, 2017, any unpaid amount shall increase on January 1, 2018, and annually thereafter, by an escalator factor of 3.5% in accordance with the following formula:

$$A = P(1 + 0.035)^{CY-2017}$$

Where:

A = Dollar amount to be paid

P= Unpaid amount of In-Lieu Payment for Special Improvements

CY = Current year

4.5 City's Additional Terms Related to the use of In-Lieu Payment for Special Improvements.

4.5.1 The City shall deposit the In-Lieu Payment for Special Improvements into the City's Downtown Special Improvement Trust Fund.

4.5.2 The City shall use the In-Lieu Payment for Special Improvements monies to construct future Special Improvements for public benefit within the Future Special and Parking Improvement Area.

4.5.3 The City agrees to own and maintain the Special Improvements constructed by the City with the In-Lieu Payment for Special Improvements.

4.6 Failure to Pay. All amounts set forth in paragraphs 4.2 and 4.4 of this Agreement shall be paid no later than 12:00 noon on December 31, 2018. If Developer has not made full payment of all amounts, the City shall issue a written notice by regular U.S. Mail to Developer containing a calculation of all outstanding amounts due, including any increases as a result of escalation. Developer shall pay in full the outstanding amounts to the City by cashier check no later than thirty (30) days from the date of the letter. If payment has not been received by the City in accordance with the demand for payment set forth in the letter, the City will suspend all certificates of occupancy issued for the Project and all operations on the Property shall cease until full payment has been made and the certificates have been reissued.

5. Developer's Removal of Public Parking.

5.1 Payment Amount for the Removal of Public Parking. As part of the development of the Project, Developer may remove and not replace up to eighteen (18) existing public parking spaces in the East Shoeman Lane right-of-way adjacent to the Property. Developer shall pay the City twelve thousand nine hundred fifty eight dollars

and thirteen cents (\$12,958.13) per eliminated space (the "Eliminated Parking Payment") as compensation for the City's loss of public parking spaces.

5.2 Payment Due. Prior to the issuance to Developer of any permit to construct any improvements that would cause the elimination of any existing public parking spaces in the East Shoeman Lane right-of-way, Developer shall pay to the City the amount specified in Section 5.1. Any payment incurred pursuant to Section 5.1, and payable after January 1, 2018, shall increase in accordance with the fee schedule for in-lieu parking credits, Resolution No. 8153, beginning on January 1, 2018, and the first day of each year thereafter, until paid.

5.3 Parking Improvement Account. The City agrees to deposit the amount paid by the Developer set forth in paragraph 5.1 into a new City account titled the "Downtown Drinkwater Neighborhood Parking Structure Improvements" (the "DDNPSI").

5.4 City's Use of Funds. The City agrees to use the funds deposited into the DDNPSI account to development a future parking structure within the area as depicted by the bold outline shown on **Exhibit "B"** incorporated herein the "Future Special and Parking Improvement Area".

5.5 Parking Credits. The Developer and the City agree that the Developer will not receive, and the Property will not be assigned, parking space credits for any amount paid by Developer for the removal of public parking spaces in the East Shoeman Lane right-of-way.

6. Artwork.

6.1 Artwork Requirement. Developer shall commission and install an original artwork on the Property in accordance with Scottsdale Revised Code, Appendix B – Basic Zoning Ordinance, Article VI, - Supplementary Districts, Section 6.1309. - Cultural Improvements Program requirements. and Article VII, - General Provisions, Section 7.1000. - Cultural Improvements Program, through Section 7.1017.

6.2 Artwork Cost Requirement. The minimum cost of the artwork shall be calculated in accordance with Scottsdale Revised Code, Appendix B – Basic Zoning Ordinance, Article VI, - Supplementary Districts, Section 6.1309. - Cultural Improvements Program requirements. and Article VII, - General Provisions, Section 7.1004. - General Provisions.

6.3 Conceptual Art Plan Approval.

6.3.1 The Developer and the City agree that the Developer may defer approval of the Conceptual Art Plan from the Cultural Council and Development Review Board in accordance with the Scottsdale Revised Code, Appendix B – Basic Zoning Ordinance, Article VII, - General Provisions, Section 7.1014. – Deferment of

artwork of the Cultural Improvements Program

6.3.2 The Developer agrees that the approval of the Conceptual Art Plan from the Cultural Council and from the Development Review Board shall be obtained prior to the issuance of any building permit to construct any vertical improvements, above or below grade, excluding excavation, on the Property.

6.4 Artwork Installation and Certificate of Completion.

6.4.1 City and the Developer agree that the Developer may obtain a Temporary Certificate-of-Occupancy, as determined by the City's Building Official, for the parking garage that is connected to the Project prior to the Certificate of Completion for the artwork so that the garage may be utilized during construction of the Project by the Developer's construction contractor and employees that are associated with construction of the Project.

6.4.2 The Developer agrees that the City may revoke any Temporary Certificate-of-Occupancy issued by the City's Building Official for the parking garage that is connected to the Project if the Developer fails to install the artwork prior to obtaining a final site inspection for the Project.

6.4.3 Exclusive of paragraph 6.4.1, Developer agrees to obtain a Certificate of Completion from the Zoning Administrator for the installation of the Artwork prior to the issuance of a Temporary Certificate-of-Occupancy, Final Site Inspection, Certification of Shell Building or Certificate-of-Occupancy for the Project.

6.5 Ownership and Maintenance of Artwork. The current Property owner(s) and its successors and assigns shall own and maintain the Artwork in accordance with the Scottsdale Revised Code, Appendix B – Basic Zoning Ordinance.

7. Compliance with all Laws. Developer shall develop the Property in compliance with all Federal, State, County and local laws, ordinances, rules, regulations, permit requirements, or any other policies of the City.

8. General Provisions.

8.1 Notices. All notices, filings, consents, approvals, and other communications provided for herein or given in connection herewith ("notices") shall be validly given, filed, made, delivered, or served if in writing and delivered personally or sent by registered or certified United States Postal Service mail, return receipt requested, postage prepaid to:

If to the City: The City of Scottsdale
 Attention: City Attorney
 3939 North Drinkwater Boulevard
 Scottsdale, Arizona 85251

Copy to: City of Scottsdale
Attention: Zoning Administrator
Planning and Development Services
Department
7447 E. Indian School Rd., Suite 105
Scottsdale, AZ 85251

If to Developer: Stockdale Galleria Land Owner, LLC
Attention: Shahrod Yari
4343 N. Scottsdale Rd., Suite 180
Scottsdale, AZ 85251

Copy to: Withey Morris, PLC
Attention: Jason Morris
2525 East Arizona Biltmore Circle, Suite A-212
Phoenix, AZ 85016

8.2 Mailing Effective. Notices given by registered or certified mail shall be deemed delivered 72 hours following deposit in the U.S. Postal Service in the manner set forth above.

8.3 Approvals. When a party's consent is required pursuant to this agreement, the consenting party shall not unreasonably withhold, delay or condition its approval.

8.4 Waiver. No delay in exercising any right or remedy shall constitute a waiver thereof and no waiver by the parties of the breach of any provision of this Agreement shall be construed as a waiver of any preceding or succeeding breach of the same or of any other provision of this Agreement

8.5 Headings. The descriptive headings of the paragraphs of the Agreement are inserted for convenience only, and shall not control or affect the meaning or construction of any of the provisions of the Agreement.

8.6 Authority. The parties to this Agreement represent to each other that they have full power and authority to enter into this Agreement, and that all necessary actions have been taken to give full force and effect to this Agreement.

8.7 Entire Agreement. The Agreement, including exhibits, constitutes the entire Agreement between the parties.

8.8 Severability. If any provision of this Agreement limiting the uses of the Property is declared void or unenforceable, then the entire Agreement shall be void. If any other provision of this Agreement is declared void or unenforceable, such provision shall be severed from this Agreement, which shall otherwise remain in full

force and effect, provided that the fundamental purposes of this Agreement are not defeated by such severability.

8.9 Governing Law. The laws of the State of Arizona shall govern the interpretation and enforcement of this Agreement. The Parties agree that venue for any action commenced in connection with this Agreement shall be proper only in a court of competent jurisdiction located in Maricopa County, Arizona, and the Parties hereby waive any right to object to such venue.

8.10 Recordation. This Agreement, and any amendment or cancellation of this Agreement, shall be recorded, in its entirety, in the official records the county recorder's office in Maricopa County, Arizona, no later than ten (10) days after the effective date of this Agreement, amendment, or cancellation, as required by A.R.S. § 9-500.05.

8.11 Remedies. If any party to this Agreement breaches any provision of the Agreement, the non-defaulting party shall be entitled to all remedies available at both law and in equity, including specific performance.

8.12 Attorneys' Fees and Costs. If any party brings a legal action either because of a breach of the Agreement or to enforce a provision of this Agreement, the prevailing party will be entitled to reasonable attorneys' fees and court costs.

8.13 Binding Effect. The benefits and burdens of this Agreement shall run with the Property and be binding upon and shall inure to the benefit of the parties hereto and their respective heirs, legal representatives, successors in interest, and assigns. This Agreement shall be incorporated by reference in any instrument purporting to convey an interest in the Property.

8.14 Third Parties. There are no third party beneficiaries to this Agreement, and no person or entity not a party hereto shall have any right or cause of action hereunder.

8.15 No Agency Created. Nothing contained in this Agreement shall create any partnership, joint venture, or agency relationship between the parties.

8.16 Contract Administrator. The City's contract administrator for this Agreement shall be Zoning Administrator, for the City of Scottsdale, or designee.

IN WITNESS WHEREOF, the Parties have executed this Agreement as of the day and year first above written.

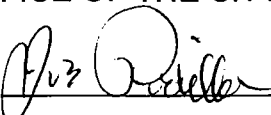
THE CITY OF SCOTTSDALE:
an Arizona municipal corporation

ATTEST:

By: _____
Carolyn Jagger, City Clerk

By: _____
W. J. "Jim" Lane, Mayor

APPROVED AS TO FORM:
OFFICE OF THE CITY ATTORNEY

By:  _____
Bruce Washburn, City Attorney
By: Joe Padilla, Deputy City Attorney

STATE OF ARIZONA)
) ss.
County of Maricopa)

The foregoing instrument was acknowledged before me this _____ day of _____, 2016, by W. J. "Jim" Lane, Mayor of the City of Scottsdale, Arizona, a municipal corporation.

Notary Public

My Commission Expires:

DEVELOPER:

Stockdale Galleria Land Owner, LLC, a Delaware Limited Liability Company

By: _____

Shahrod Yari

Its: AUTHORIZED SIGNATURE

Managing Principal Partner

STATE OF ARIZONA)

) ss.

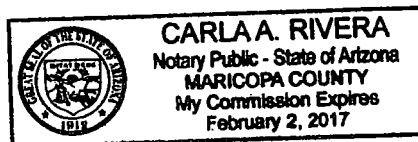
County of Maricopa)

The foregoing instrument was acknowledged before me this 11th day of March, 2016, by Shahrod Yari, Managing Principal of Stockdale Galleria Land Owner, LLC, a Delaware Limited Liability Corporation.

Notary Public

My Commission Expires:

February 2, 2017



LEGAL DESCRIPTION SHOEMAN HI-RISE

LOTS 6 & 7, SHOEMAN TRACT, AS RECORDED IN BOOK 42 OF MAPS, PAGE 31,
OFFICIAL RECORDS OF MARICOPA COUNTY RECORDER, MARICOPA COUNTY, ARIZONA.

EXCEPT THE NORTH 15 FEET THEREOF:

AND:

LOT 1, MINOR LAND DIVISION PLAT, GALLERIA CORPORATE CENTRE, AS RECORDED IN
BOOK 1249 OF MAPS, PAGE 29, OFFICIAL RECORDS OF MARICOPA COUNTY RECORDER,
MARICOPA COUNTY, ARIZONA.

SAID PARCELS CONTAINS 1.979 ACRES (86,215 S.F.) MORE OR LESS.

PAGE 1 OF 2

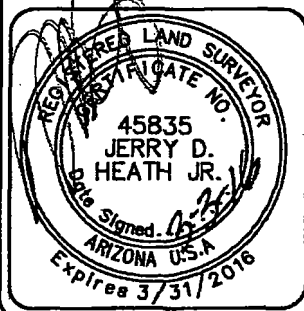


Exhibit A
Agreement No. 2016-021-COS
Page 1 of 2

TITLE: **XB01**
SCALE: 1"=80'
DATE: 3/03/16
DESC: LEGAL
DESCRIPTION

HUNTER

ENGINEERING

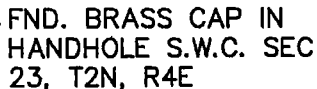
10450 N. 74TH ST., SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986

CIVIL AND SURVEY

PROJ.NO.LGEC189-S

EXHIBIT

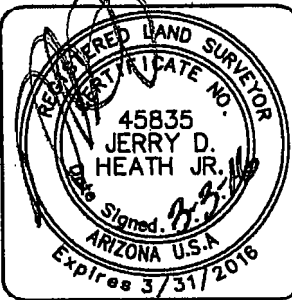
CURVE	RADIUS	LENGTH	DELTA
C1	122.46'	30.94'	14°28'37"
C2	192.46'	48.63'	14°28'37"

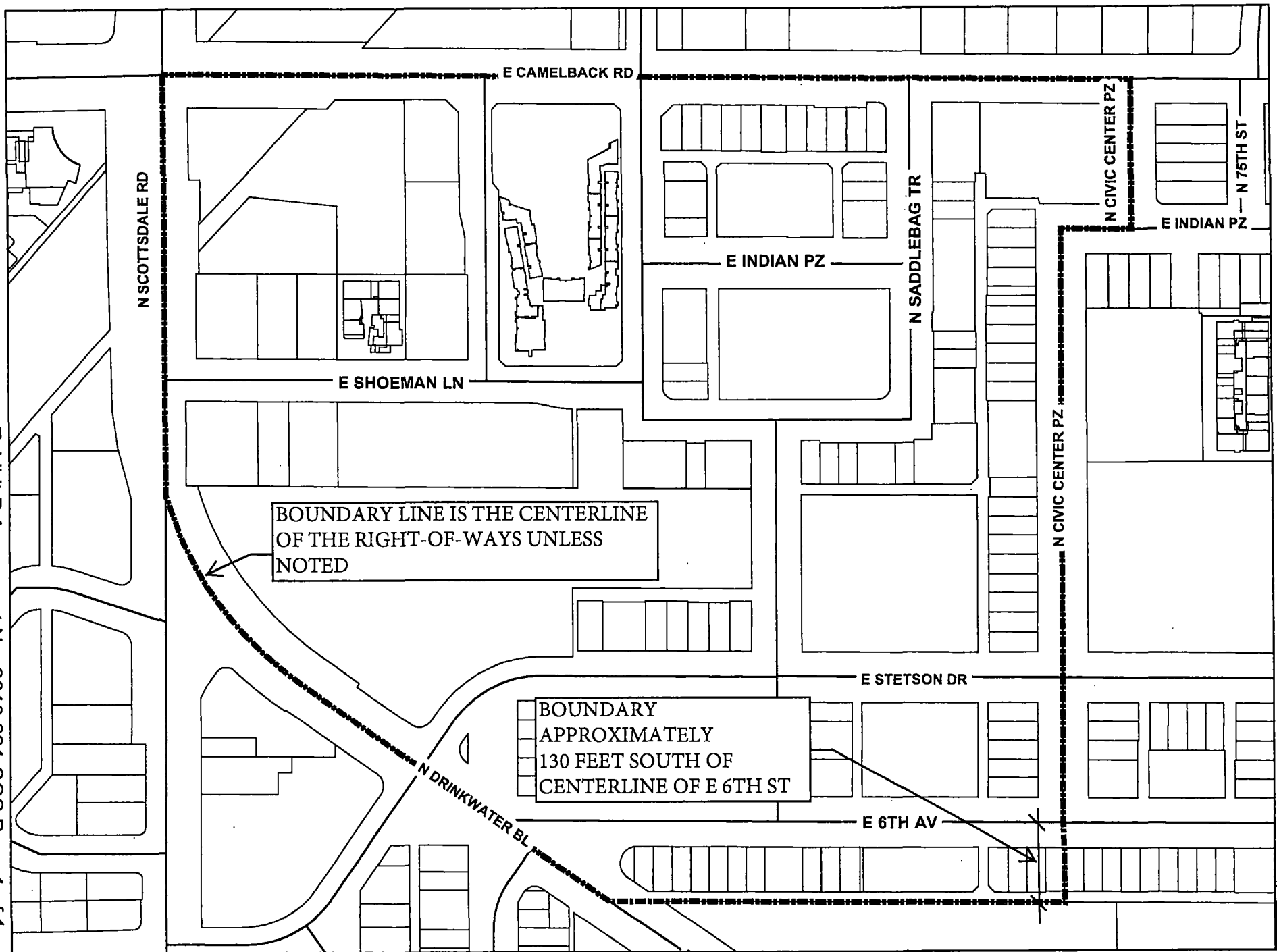


HUNTER

10450 N. 74TH ST., SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986

PROJ.NO.LGEC189-S



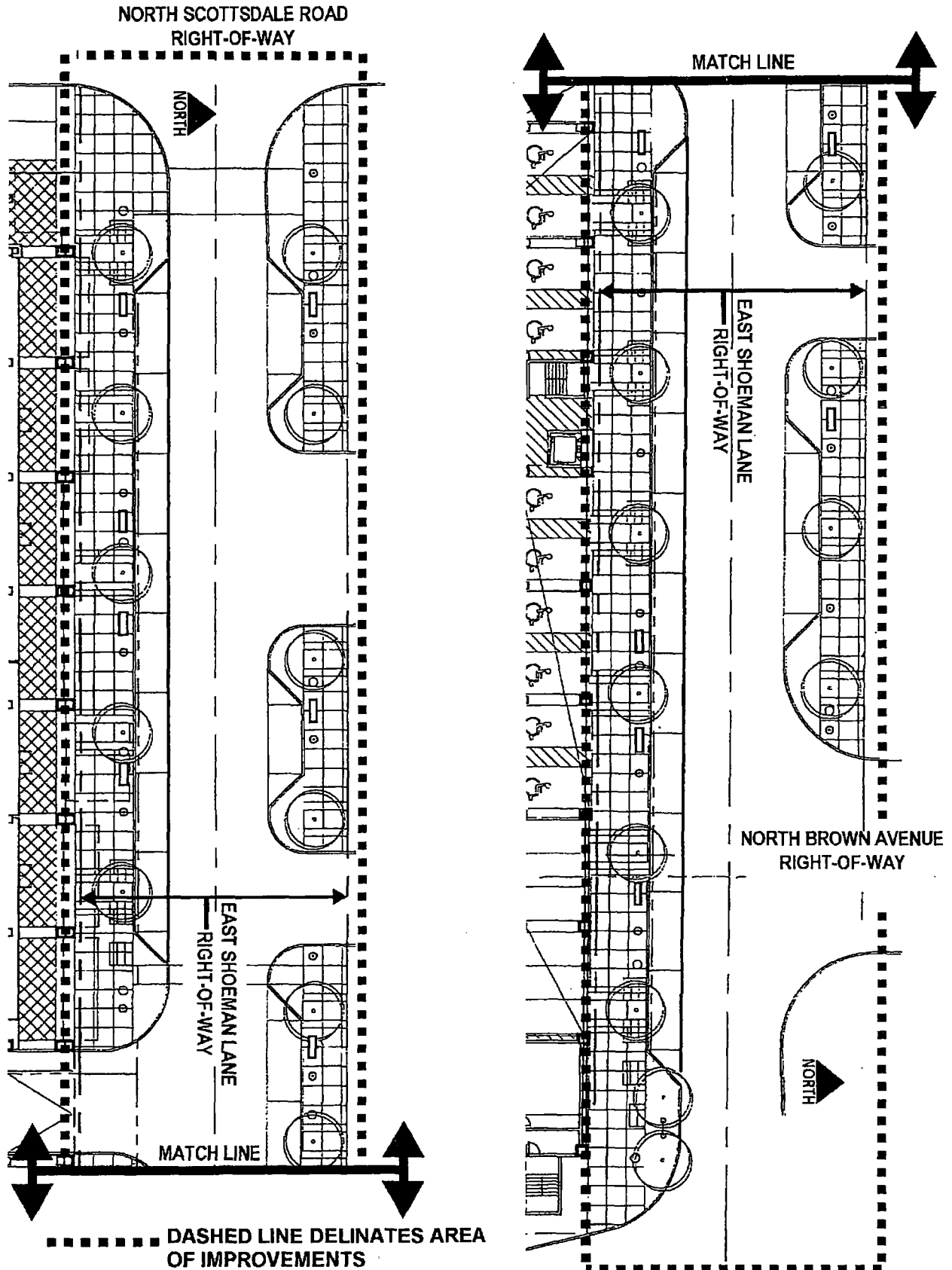


Special Improvements in the East Shoeman Lane Right-of-Way

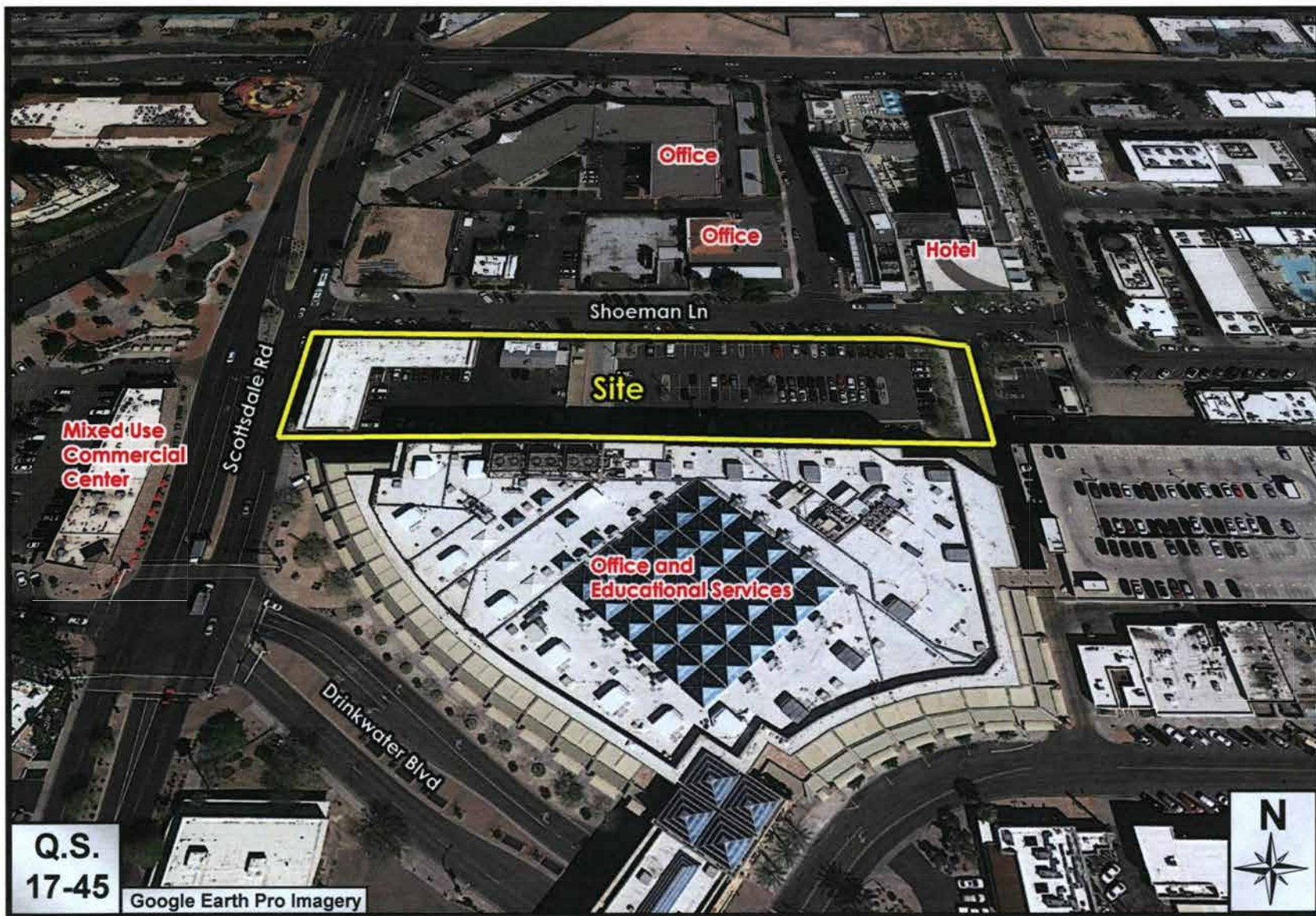
The following improvements shall be constructed by the Developer in the area delineated within the dashed line shown on Figure 1 on Page 2 of 2 of Exhibit C.

DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL
East Shoeman Lane Northside				
Mobilization	1	LS	\$ 28,500.00	\$28,500.00
Concrete drives with ADA ramps	3	EA	\$ 9,500.00	\$28,500.00
Sidewalk removal		LS	\$ 10,300.00	\$10,300.00
AC Pavement Removal	1,513	SY	\$ 8	\$12,104.00
Curb Removal	480	LF	\$ 3	\$1,440.00
AC Pavement	960	SY	\$ 43	\$41,280.00
Concrete Pavement	209	SY	\$ 65	\$13,585.00
Curb and Gutter	123	LF	\$ 18.25	\$2,244.75
Single Curb	292	LF	\$ 16	\$4,672.00
3-foot Valley Gutter	341	LF	\$ 29	\$9,889.00
8-foot Valley Gutter	37	LF	\$ 52	\$1,924.00
Sidewalk with color and banding	6,950	SF	\$ 7.19	\$49,953.00
Sawcut	130	LF	\$ 4	\$520.00
Tree Grates	10	EA	\$ 2,087.00	\$20,870.00
48-inch Box trees	10	EA	\$ 517	\$5,170.00
Planter Granite	1,270	SF	\$ 1.25	\$1,587.50
Benches and Trash cans	5	EA	\$ 1,610.00	\$8,050.00
Light Poles	10	EA	\$ 6,750.00	\$67,500.00
A & E Fees	1	LS	\$ 24,000.00	\$24,000.00
Survey and staking	1	LS	\$ 3,500.00	\$3,500.00
As Builts		LS	\$ 1,500.00	\$1,500.00
Total			\$ SUBTOTAL	\$337,089.25
East Shoeman Lane Southside				
Tree Grates	13	EA	\$ 2,087.00	\$27,131.00
Benches and Trash cans	8	EA	\$ 1,610.00	\$8,050.00
Light Poles	10	EA	\$ 6,750.00	\$67,500.00
Cost of Standard Items		LS	\$ 23,500.00	(\$23,500.00)
Total			SUBTOTAL	\$79,181.00
			TOTAL	\$416,270.25

FIGURE 1

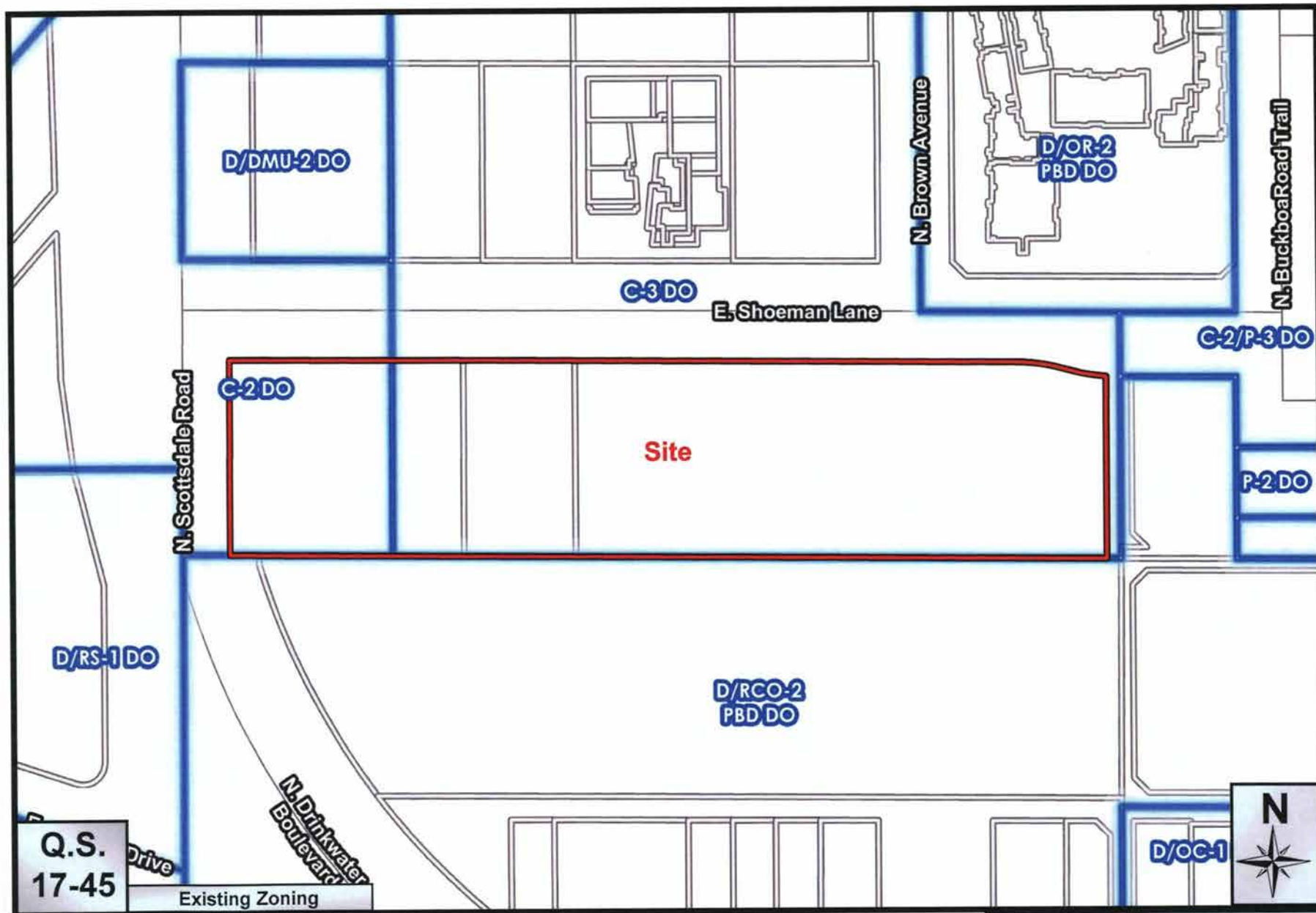






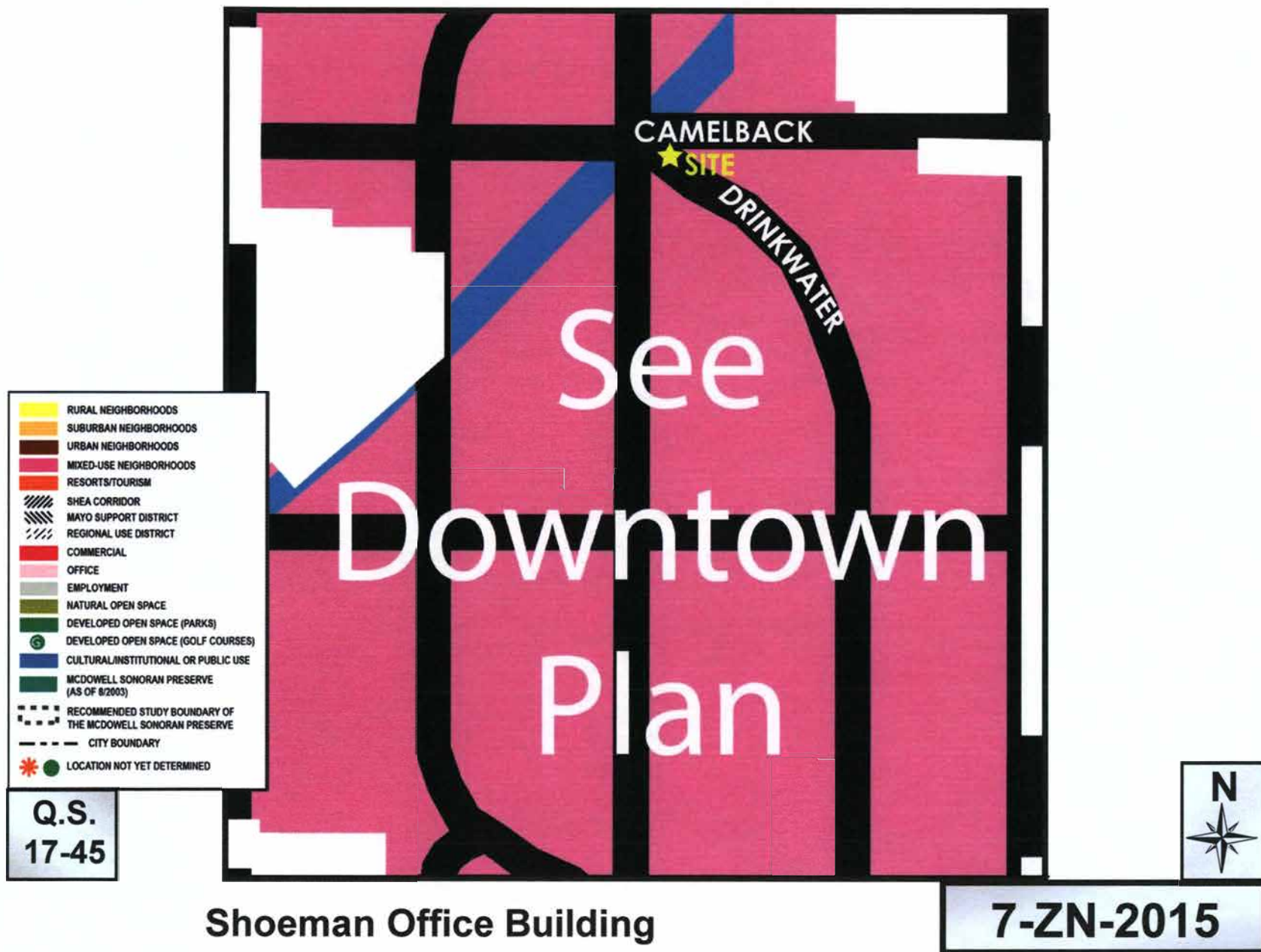
Shoeman Office Building

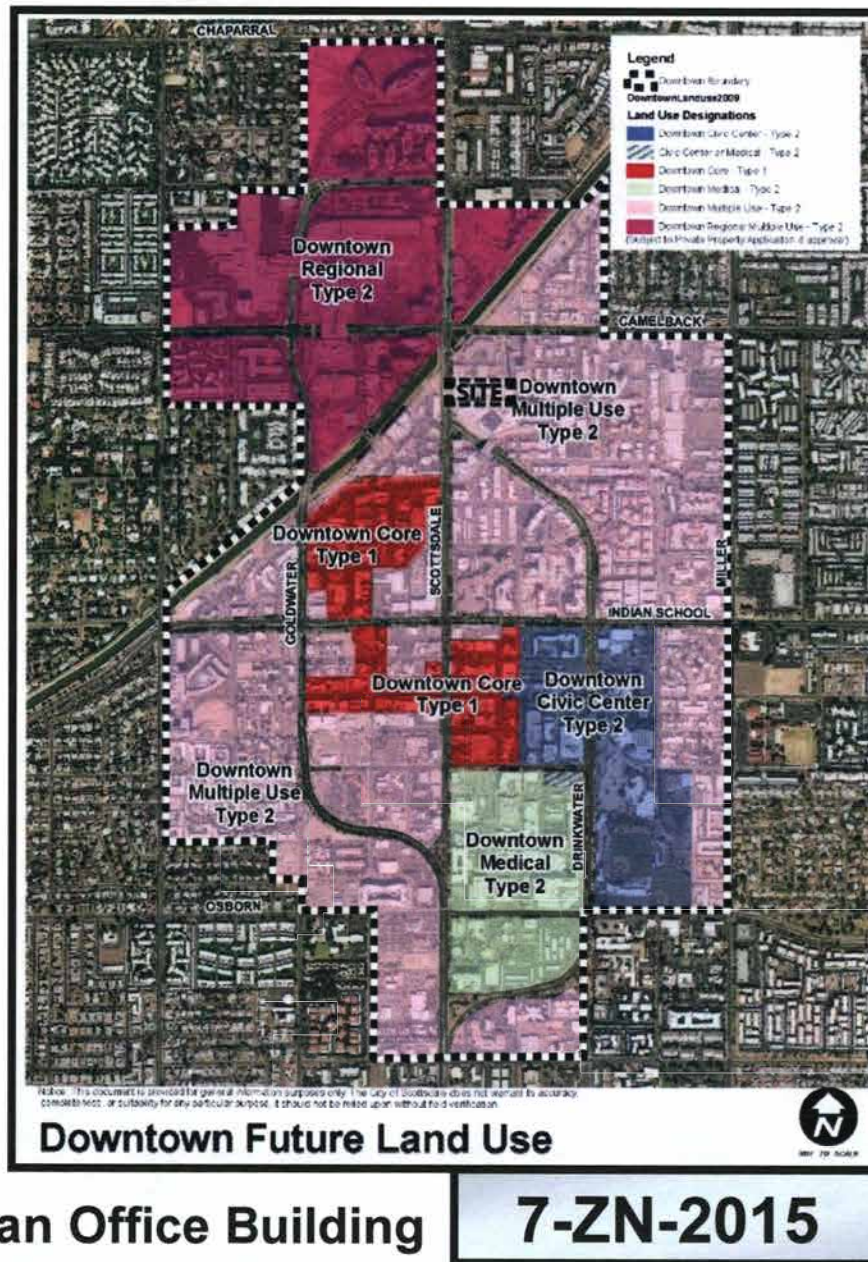
7-ZN-2015



Shoeman Office Building

7-ZN-2015







February 13, 2015

Re: Rezoning Application – 4419 N. Scottsdale Rd - Case No. 1155-PA-2014

Dear Property Owner / Neighbor

Our office represents Stockdale Capital ("Stockdale") with regard to the roughly 2.3 acre property located at 4419 N. Scottsdale Road at the southeast corner of Scottsdale Road and Shoeman Lane (the "Property"). See attached aerial map for reference. The purpose of this letter is to inform you that Stockdale intends to file a rezoning application to obtain the required entitlements to develop a new office building with associated retail and multi-level parking garage.

The Property currently has two separate zoning designations of Central Business (C-2), Downtown Overlay (DO) and Highway Commercial (C-3) Downtown Overlay (DO) and consists of a large expanse of surface parking behind a small, 2-story office building. The application will consolidate the zoning, most likely to a designation of Downtown Mixed Use, Type-2, Planned Block Development, Downtown Overlay (DMU-2, PBD, DO), to allow for the proposed development. The development would create retail/restaurant and outdoor patio space at the ground floor along Scottsdale Road with multiple levels of office space above. See attached preliminary site plan. The building height would not be greater than ninety feet and the total floor area proposed is roughly 255,000 sqft. A parking structure, both below grade and above grade, is incorporated into the structure and is planned to provide parking spaces in excess of that which is currently required by City code.

In order to discuss this application and any questions you may have, we have scheduled an open house as follows: Thursday, February 26, 2015 from 6:00-7:00pm, at a conference room in the W Hotel, 7277 East Camelback Road in Scottsdale. Feel free to stop by at any time. If this date and time are not convenient, we would be happy to speak with you individually. Please feel free to contact me at 602.230.0600 or George@WitheyMorris.com. Additionally, any questions and/or comments can be directed to the City's Project Coordinator Dan Symer at 480.312.4218 or DSymer@ScottsdaleAZ.gov.

In the future, you should be receiving notification postcards from the City regarding the case and its schedule for public hearings by the Planning Commission and City Council. Information can also be found on the City's website at: <http://www.scottsdaleaz.gov/projects>. Thank you for your courtesy and consideration.

Very truly yours,

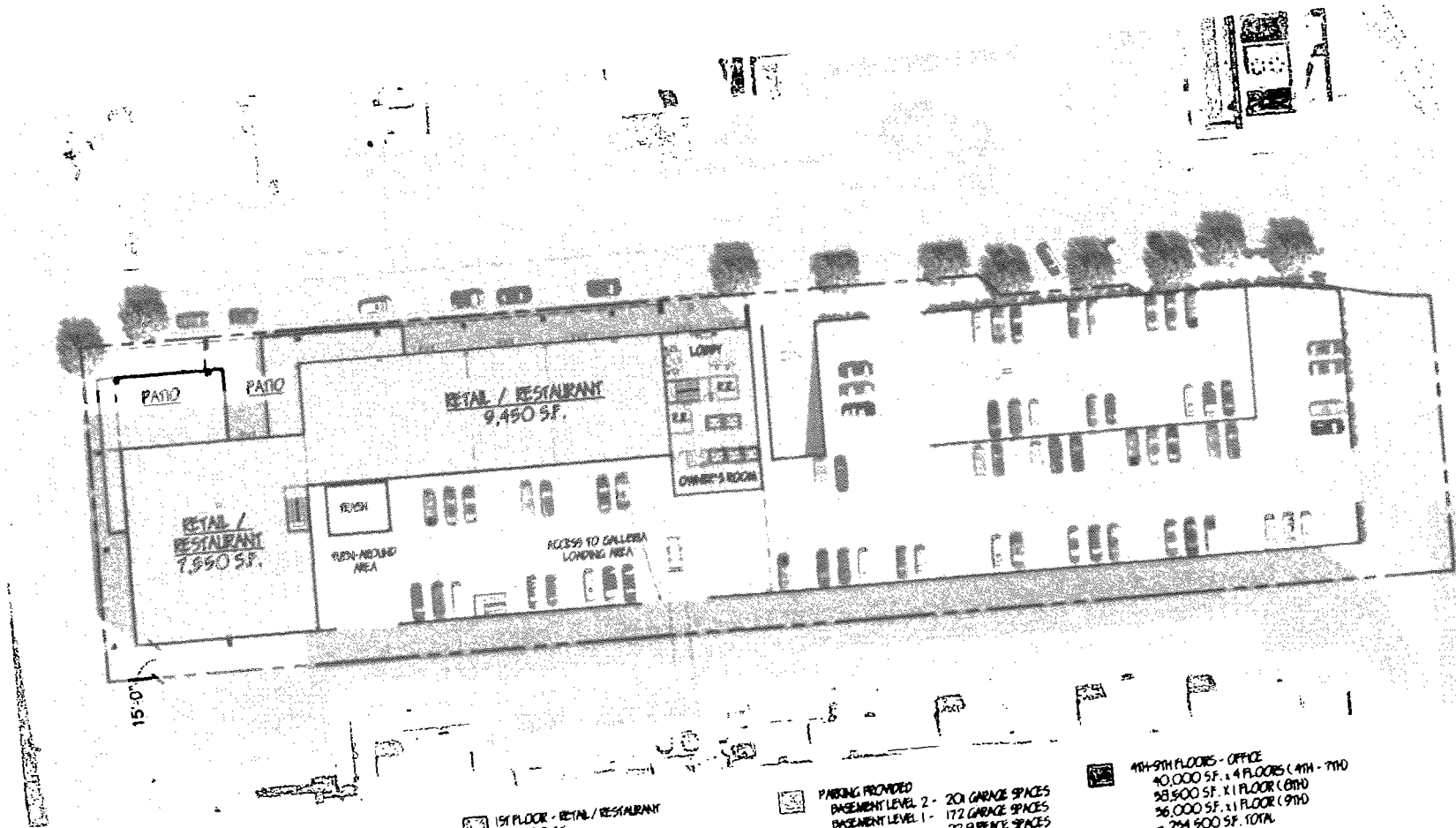
WITHEY MORRIS P.L.C.

By

George Pasquel III

Attachment: Aerial, Site Plan

ATTACHMENT #8



SHOEMAN LANE - PROJECT DATA

TOTAL SITE AREA: 91,657 SF. (.210 ACRES)
 TOTAL BUILDING AREA: 254,800 SF.
 (RETAIL / RESTAURANT: 17,000 SF.)
 (CONDO LOBBY: 3,100 SF.)
 (TOTAL OFFICE SF. = 234,500 SF.)
 LOT COVERAGE: 21.9%
 F.A.R. (BUILDINGS ONLY): 218X

725 TOTAL SPACES REQUIRED
 957 TOTAL SPACES PROVIDED

1ST FLOOR - RETAIL / RESTAURANT
 17,000 SF.
 PATIO: 9,450 SF.

PARKING REQUIRED:
 17,000 SF. - 2000 SF. EXEMPTION -
 15,000 SF. / 350 - 45 SPACES
 9,450 SF. (PATIO) / 350 - 10 SPACES
 93 SPACES TOTAL REQUIRED

PARKING PROVIDED
 BASEMENT LEVEL 2 - 201 GARAGE SPACES
 BASEMENT LEVEL 1 - 172 GARAGE SPACES
 STREET PARKING - 22 SURFACE SPACES
 1ST FLOOR - 116 SURFACE SPACES
 2ND FLOOR - 201 GARAGE SPACES
 3RD FLOOR - 201 GARAGE SPACES
 4TH FLOOR - 44 GARAGE SPACES
 TOTAL PROVIDED - 957 PARKING SPACES (3.76 CARS/1,000 SF.)

4TH-9TH FLOORS - OFFICE
 40,000 SF. x 4 FLOORS (4TH - 7TH)
 28,500 SF. x 1 FLOOR (8TH)
 26,000 SF. x 1 FLOOR (9TH)
 = 254,500 SF. TOTAL

PARKING REQUIRED:
 254,500 SF. / 350 = 670 SPACES REQUIRED

LGE DESIGN GROUP

FIRST FLOOR PLAN

1"=20'-0"

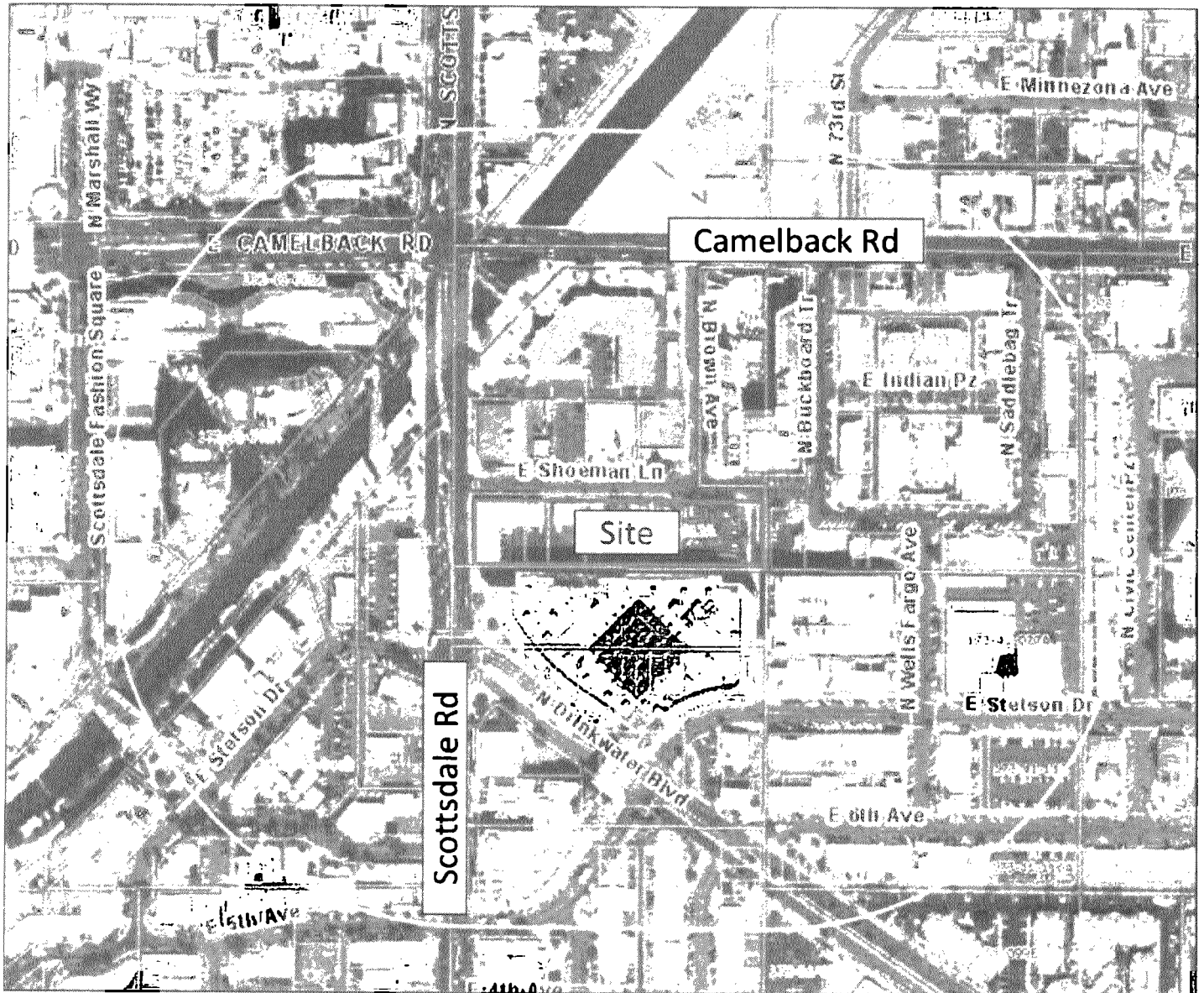


STOCKDALE
CAPITAL PARTNERS



Shoeman Lane

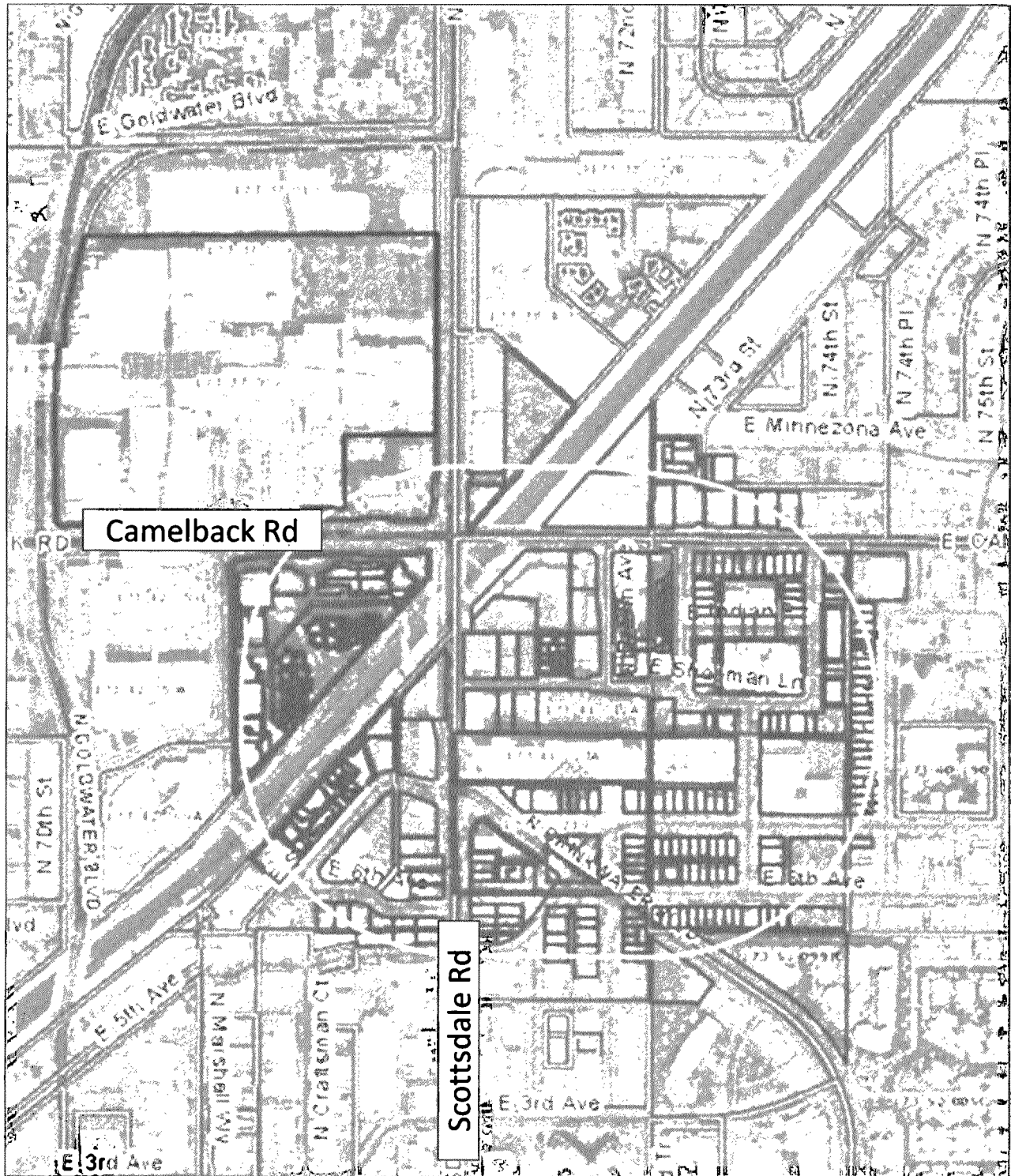
Aerial Map



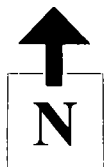
4419 N. Scottsdale Rd



750 ft Mailing Map



4419 N. Scottsdale Rd



Symer, Daniel

From: Brianne Brown <briny84@gmail.com>
Sent: Sunday, December 20, 2015 11:23 AM
To: Symer, Daniel
Subject: 7-ZN-2015 (Marquee project)

Dear Dan Symer,

As a resident of Scottsdale I'd like to express my support of the proposed office building at Shoeman and Scottsdale (Marquee project). I love the design of this building and think it would be a great addition to the area. Old Town Scottsdale has flourished over the past couple of years and I feel that this building will continue to bring the right kind of commerce and interest to the area to continue the awesome growth we've experienced. Old Town Scottsdale has a few u

Thank you for your consideration,

-Brianne Brown

Scottsdale Resident

Symer, Daniel

From: Ron Deitrick <rd7171@gmail.com>
Sent: Wednesday, December 16, 2015 11:46 AM
To: Symer, Daniel
Subject: Marquee Project

Mr. Symer,

I recently heard about one of the proposed projects in downtown. I am a resident of Scottsdale and live very close to the downtown area. I have been watching the revitalization of this area with a mix of building types and designs, and appreciate the work of city planning to balance the cultural history of Scottsdale with the necessary growth of a forward-thinking, modern city.

I'd like to express my support of the Marquee project, the proposed office building at Shoeman Lane and Scottsdale Rd., case no. 7-ZN-2015. It's so nice to see a project with a modern design, which is what keeps a city vibrant.

Please accept this letter of support for this project, and I hope this will be another wonderful addition to world-class Scottsdale.

Sincerely,

Ron Deitrick

Symer, Daniel

From: Jeff Bethke <jbethke8181@me.com>
Sent: Monday, January 11, 2016 10:06 AM
To: Symer, Daniel
Subject: Letter of support for the Marquee project in Downtown Scottsdale - Case 7-ZN-2015

Greetings Mr. Symer,

I understand that there is some opposition to the proposed development of the Marquee project in Scottsdale located at Shoeman Ln. and Scottsdale Rd.

As a resident of Scottsdale I am writing to express my full support of this project. I watched the video that details the project, and I must say this is exactly the type of architectural design that will continue to bring much needed business and recruit the talent we need for companies to thrive here in Arizona.

I am a 34 year old father of two, and plan on being in Scottsdale for the long term. If I were a younger and single person, being able live and work downtown in a building like this with the amenities of downtown Scottsdale would be fantastic. My older brother is president of a local tech company that can't expand here in Arizona because we don't have the young tech talent other locations do, which is why he is working on expanding in Austin, TX. We need businesses that are attracted by buildings such as the Marquee.

I also believe my property values are tied very closely with the growth of business in Scottsdale. I have lived in Scottsdale since I was 12 years old, and I've never seen the Galleria building be much of anything other than an eyesore in an otherwise growing city. It's time this building gets the facelift it needs.

Thank you for your time in reading this letter of support and I hope to continue seeing this project continue, and others like it recruit tech companies and their talent to our city.

Best Regards,

Jeff Bethke
Scottsdale Resident
520-991-1589

Symer, Daniel

From: Jeffrey Cohn <JCohn@jbcpcclaw.com>
Sent: Thursday, December 17, 2015 10:02 AM
To: Symer, Daniel
Subject: Case Number 5-TA-2015

Follow Up Flag: Follow up
Flag Status: Flagged

Good Morning Dan,

As general partner to RKJC, LP, the owner of the property located at 7234 East Shoeman Lane, I wish to voice my concerns with the proposed office building and parking garage at 4419 North Scottsdale Road, case number 5-TA-2015. There are a number of troublesome issues that should be addressed before this project is approved, including:

Parking...With the construction of the W Hotel, followed with the change in use of the Galleria and now the other massive projects being approved and coming on line, there is a severe shortage of parking in the area. As an on-site property owner, I am faced with daily occurrences with asking people to leave my on-site parking reserved for the occupants of my building. This week alone, I was assaulted by a trespasser when I politely asked him to leave. By converting the parking from the existing angled parking to parallel parking (and eliminating 20 street spaces) to meet the needs for a design that is quite frankly appalling in nature and appearance only exacerbates the parking issue for my building and others in the area. It certainly does not provide any additional benefit to the public (rather it increases the detriment to the public by further limiting the ability to access the area) nor does it enhance the Downtown Character Area Plan goals.

Structure and Design...The proposed building is too massive for the available square footage, is unsightly, lacking any architectural appeal and fails to meet the Character & Design standards of the Downtown Overlay or Downtown Character Plan. From prior City Council meetings, I understand that Scottsdale is interested in retaining some of the character of the buildings in place, refereeing on more than one occasion, to my building. Yet, the proposed project is contemporary in design, using harsh exteriors, an over-abundance of glass and lacks exterior features to soften the hardscape. To make matters worse, I understand that public right of way property is being used for some of the features to incorporate the project. Ironically, the developer of my building donated land for public use to have the design approved and we are now seeing the opposite. This project is requiring the City of Scottsdale to donate public land to approve their office building. Given that we will see requests for approval of other neighboring properties in the near future, the approval of an aesthetically unappealing building on the corner is important to the character of the entire area as it will be the lead in for the future development. If the City makes the mistake on this project and allows it to be built as currently designed, you will expect the same type of proposals to be offered for approval for the rest of the area.

As a neighboring building owner, I therefore request that the approval of the project either be declined or continued pending modification that will resolve the many issues.

Jeffrey B. Cohn, President
Law Offices of Jeffrey B. Cohn, P.C.
General Partner,
RKJC, LP

Symer, Daniel

From: Ruenger, Jeffrey
Sent: Friday, December 11, 2015 11:53 AM
To: Symer, Daniel; Perone, Steve
Cc: Curtis, Tim
Subject: FW: 10 December 2015 Rezoning case 4419 North Scottsdale Rd Dec 17 agenda item
Importance: High

From: COGS AZ [<mailto:cogsaz@gmail.com>]
Sent: Thursday, December 10, 2015 2:59 PM
To: Development Review Board
Cc: Milhaven, Linda; Venker, Steve
Subject: 10 December 2015 Rezoning case 4419 North Scottsdale Rd Dec 17 agenda item
Importance: High

To: Develop Board Commissioners: Regarding the Shoeman Lane case (4419 N. Scottsdale Rd) that is now on the next Regular Agenda for Thursday, 17 December—At the 3 December DRB hearing, there was considerable commissioners' and Chairman/Vice Mayor Smith's discussion and recommendations for project changes architecturally, step-back compliance with the existing Downtown Guidelines, and corrections to reduce excessive massing. The applicant's request to take public street right-of-way to meet basic development standards requirements was informally rejected by consensus—how has the building been down-sized to fit the existing site in the past 7 days? The current website shows absolutely no change to the project presented as a Non-Action item at the last DRB meeting. WHY IS THIS?

It is logically assumed that the applicant would make changes to the site plan prior to appearing on the agenda and that those changes would be available to the public (as well as the commissioners) in time to be studied for compliance and compatibility to existing guidelines and development standards unique to the Downtown Overlay. Unfortunately, unless Councilwoman Milhaven watches the 3 December video/audio, she will not be informed of commissioners' recommendations to the applicant.

Please provide a link to the updated site plan and architectural changes that will be part of the fresh presentation expected on 17 December as soon as possible. Respectfully requested and thank you in advance.

Sonnie Kirtley, COGS—The Coalition of Greater Scottsdale e-mail: cogsaz@gmail.com cellular 602 717 3886 anytime



This email has been checked for viruses by Avast antivirus software.
www.avast.com

Symer, Daniel

From: Javoronok, Sara
Sent: Tuesday, July 07, 2015 4:44 PM
To: Symer, Daniel
Subject: FW: Scottsdale growth (Downtown)

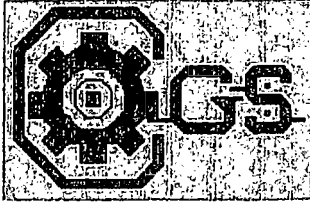
Dan,

This came into the GP inbox. I'm pretty sure it's for you.

Sara

From: RHWCoach@aol.com [mailto:RHWCoach@aol.com]
Sent: Thursday, July 02, 2015 2:10 PM
To: Scottsdale General Plan
Subject: Scottsdale growth (Downtown)

Too many high rise buildings are being built. The look of old town Scottsdale is fading quickly. The new plan for a building on the Nuss building location is going to ruin the look of the area. If a building must be built it should be no higher than the Galleria Building. Thank you. Ray and Karen Whitten



The Coalition of Greater Scottsdale

7904 E. Chaparral Road, Suite A110-127
Scottsdale, AZ 85250 email: cogsaz@cox.net
Website: www.cogsaz.net

To: Commissioners, Development Review Board
Re: Case 7-ZN-2015 Shoeman office and parking structure

December 14, 2015

We respectfully request that you continue case 7-ZN-2015 to a date to be determined until the applicant modifies the current project proposal to address the following issues identified by the Development Review Commissioners, Vice Mayor Smith, city staff and public input:

- 1. The building structure is too massive for the available site square footage**
 - Failure to meet development standard setbacks on Scottsdale Road with the placement of the proposed building and parking structure at the property line
 - Failure to meet development standard setbacks on Shoeman Lane without moving the existing curb and the proposed taking of public right-of-way
- 2. The architectural design does not meet the Character & Design standards of the Downtown Overlay or Downtown Character Area Plan.**
 - Failure to meet guidelines for step backs on vertical planes
 - Failure to place building upper floor stacking off Signature Scottsdale Road
 - Failure to avoid excessive exterior glass and to incorporate more coarse textures common to southwestern design
 - Failure to use architectural offset options to reduce the horizontal and vertical impact of the building face
 - Introduction of a contemporary-urban building of this intensity is not compatible with the Galleria or other immediate area buildings.
- 3. The exterior landscape plan does not use the private site property.**
 - Public right-of-way property is used for all exterior soft and hardscape features.
- 4. The proposed project reduces already scarce area public street parking.**
 - The proposal to convert existing angled parking on East Shoeman Lane to parallel parking spaces removes the minimum of 20 existing spaces needed for area business customers and their employees.
- 5. The Scottsdale Road sidewalk reduces the pedestrian experience with building overhang, building face to the property line and the lack of a buffer to Scottsdale traffic.**

Thank you for your consideration.

Respectfully,

For the COGS Board of Directors, Sonnie Kirtley, Chair

REQUEST TO SPEAK



Request to Speak cards must be submitted to City Staff **BEFORE** public testimony begins.

Public testimony is limited to three (3) minutes per speaker.

Additional time MAY be granted to speakers representing two or more persons.

Cards for designated speakers and the person(s) they represent must be submitted together.

5

NAME (print)

Sonnie Kirtley

MEETING DATE

24 Feb 2016

NAME OF GROUP/ORGANIZATION (if applicable)

COGS

ADDRESS

ON record

ZIP

HOME PHONE

WORK PHONE

E-MAIL ADDRESS (optional)

☒ I WISH TO SPEAK ON AGENDA ITEM #

5

☐ I WISH TO DONATE MY TIME TO

☐ I WISH TO SPEAK DURING "PUBLIC COMMENT"* CONCERNING

*Citizens may complete one Request to Speak "Public Comment" card per meeting and submit it to City Staff. "Public Comment" time is reserved for citizen comments regarding non-agendized items. The Board and Commission may hear "Public Comment" testimony, but is prohibited by state law from discussing items which are not listed on the agenda.

This card constitutes a public record under Arizona law.

ATTACHMENT 8C

SawKnee CURTLEE REQUEST TO SPEAK



8

Request to Speak cards must be submitted to City Staff **BEFORE** public testimony begins.
Public testimony is limited to three (3) minutes per speaker.
Additional time MAY be granted to speakers representing two or more persons.
Cards for designated speakers and the person(s) they represent must be submitted together.

NAME (print) SONNIE KIRLEY MEETING DATE 17 DEC
NAME OF GROUP/ORGANIZATION (if applicable) COGS
ADDRESS 7904 E Chaparral Rd A110-127 ZIP 85250
HOME PHONE 602 717 3886 WORK PHONE _____
E-MAIL ADDRESS (optional) _____

☒ I WISH TO SPEAK ON AGENDA ITEM # 8 ☐ I WISH TO DONATE MY TIME TO _____
☐ I WISH TO SPEAK DURING "PUBLIC COMMENT"* CONCERNING _____

*Citizens may complete one Request to Speak "Public Comment" card per meeting and submit it to City Staff. "Public Comment" time is reserved for citizen comments regarding non-agendized items. The Board and Commission may hear "Public Comment" testimony, but is prohibited by state law from discussing items which are not listed on the agenda.

This card constitutes a public record under Arizona law.

REQUEST TO SPEAK

Non Action



8

Request to Speak cards must be submitted to City Staff **BEFORE** public testimony begins.
Public testimony is limited to three (3) minutes per speaker.
Additional time MAY be granted to speakers representing two or more persons.
Cards for designated speakers and the person(s) they represent must be submitted together.

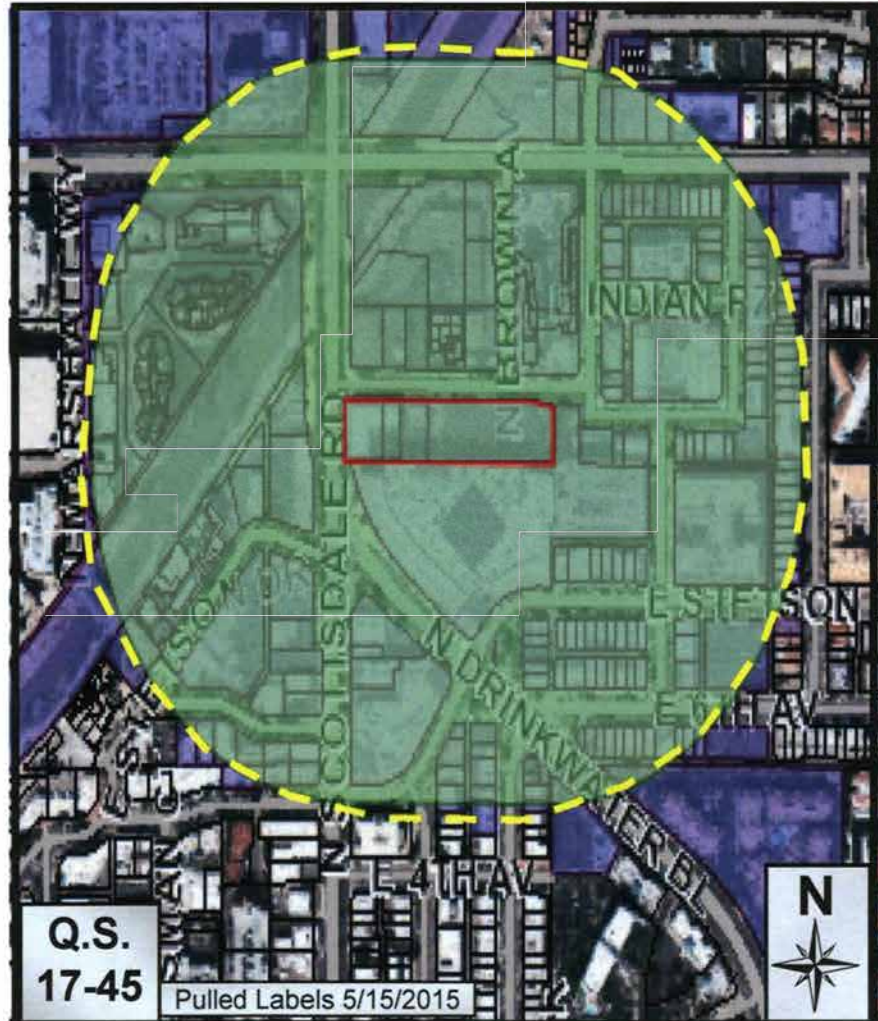
NAME (print) SONNIE KIRLEY (SawKnee CURTLEE) MEETING DATE 3 DEC 2015
NAME OF GROUP/ORGANIZATION (if applicable) COGS
ADDRESS 7904 E Chaparral Rd A110-127 ZIP 85250
HOME PHONE 602 717 3886 WORK PHONE _____
E-MAIL ADDRESS (optional) _____

☒ I WISH TO SPEAK ON AGENDA ITEM # 8 ☐ I WISH TO DONATE MY TIME TO _____
☐ I WISH TO SPEAK DURING "PUBLIC COMMENT"* CONCERNING _____

*Citizens may complete one Request to Speak "Public Comment" card per meeting and submit it to City Staff. "Public Comment" time is reserved for citizen comments regarding non-agendized items. The Board and Commission may hear "Public Comment" testimony, but is prohibited by state law from discussing items which are not listed on the agenda.

This card constitutes a public record under Arizona law.

City Notifications – Mailing List Selection Map



Map Legend:



Site Boundary



Properties within 750-feet

Postcards HUP – 333

Postcards PC- 333

Postcards CC - 333

Additional Notifications:

- Interested Parties List
- Adjacent HOA's
- P&Z E-Newsletter
- Facebook
- Twitter
- Nextdoor
- City Website-Projects in the hearing process

The Galleria Parking Structure Vertical Expansion

7-ZN-2015

TRAFFIC IMPACT ANALYSIS SUMMARY
Shoeman Lane Development
SEC Scottsdale Road and Shoeman Lane
7-ZN-2015

Summary Prepared by John Bartlett, COS Traffic Engineering
Traffic Impact Study Prepared by Sarah Simpson, United Civil Group

Existing Conditions:

Site Location – SEC Scottsdale Road and Shoeman Lane

Existing Development – Site currently consists of two (2) commercial buildings totaling approximately 24,500 square feet.

Street Classifications –

- Scottsdale Road is an Urban Major Arterial roadway.
- Camelback Road is an Urban Minor Collector roadway
- Drinkwater Boulevard is an Urban Major Arterial
- Shoeman Lane is a Local Collector roadway.
- Stetson Drive is a Local Collector roadway.

- Existing Street Conditions –

- **Scottsdale Road** is a five lane facility divided by a raised center median in the vicinity of the site. The roadway provides three northbound lanes, two southbound lanes, and curb and gutter on both sides of the roadway.
- **Camelback Road** is a five lane facility divided by a raised median west of Scottsdale Road. To the east of Scottsdale Road, Camelback Road is a four lane roadway with a center two-way left-turn lane. There is curb and gutter on the north and south sides of the roadway, and bike lanes on both sides of the roadway to the east of Scottsdale Road. The posted speed limit is 35 miles per hour.
- **Drinkwater Boulevard** provides three northbound lanes and two southbound lanes separated by a raised center median. There is curb and gutter on both sides of the roadway. The posted speed limit is 35 miles per hour.
- **Shoeman Lane** provides one lane in each direction between Scottsdale Road and Buckboard Trail with angled parking on both sides of the roadway. The posted speed limit is 25 miles per hour.
- **Stetson Drive** provides one lane in each direction between Scottsdale Road and 75th Street with angled parking on both sides of the roadway. The posted speed limit is 25 miles per hour.

Existing Intersection Conditions –

- The intersection of **Scottsdale Road and Camelback** is a signalized intersection with protected-only left-turn phasing on all approaches. Dual left-turn lanes are provided on the northbound, southbound, and eastbound approaches. A dedicated left-turn lane is provided on the westbound approach. Dedicated right-turn lanes are provided on the southbound and eastbound approaches.
- The intersection of **Scottsdale Road and Drinkwater Boulevard** is a signalized intersection with permitted left-turn phasing on the northbound, eastbound and westbound approaches, and permitted-protected left-turn phasing on the

southbound approach. Dual left-turn lanes are provided on the southbound approach. Dedicated left-turn lanes are provided on the northbound, and westbound approaches. A dedicated right-turn lane is provided on westbound approach.

- The intersection of **Scottsdale Road and Shoeman Lane** is a three-legged intersection stop controlled on the westbound approach. There is a dedicated left-turn lane on the southbound approach. Westbound left-turns are prohibited.
- The intersection of **Scottsdale Road and Stetson Drive** is a four-legged signalized intersection. Permitted-protected left-turn phasing is provided on the northbound and southbound approaches, and permitted-only left-turn phasing is provided on the eastbound and westbound approaches. Dedicated left-turn lanes are provided on all approaches. A dedicated right-turn lane is provided on the northbound approach.

Existing Volumes –

- Average Daily Traffic on Scottsdale Road – 29,613
- Average Daily Traffic on Camelback Road – 17,093
- Average Daily Traffic on Drinkwater Boulevard – 10,093
- Average Daily Traffic on Shoeman Lane – 2,457
- Average Daily Traffic on Stetson Drive – 4,804

Existing Speed Limits –

- The posted speed limit on Scottsdale Road is 30 miles per hour.
- The posted speed limit on Camelback Road is 35 miles per hour.
- The posted speed limit on Drinkwater Boulevard is 35 miles per hour.
- The posted speed limit on Shoeman Lane is 25 miles per hour.
- The posted speed limit on Stetson Drive is 25 miles per hour.

Proposed Development:

Description - The proposed development plan consists of a demolishing the existing buildings and replacing them with a 9-story building with 191,528 square feet of office and 13,367 square feet of retail (mix of restaurant and retail).

Site Access – The applicant is proposing to maintain the existing eastern access onto Shoeman Lane and eliminate the existing western access point on Shoeman Lane. The applicant is also proposing a new access point onto Galleria driveway on the eastern side of the site. The applicant is also proposing to convert the existing angled parking to parallel parking on both sides of Shoeman Lane and expanding the sidewalk and pedestrian area on the south side of Shoeman lane along the property frontage.

TRIP GENERATION COMPARISON TABLE:

	Daily Total	AM Peak Hour			MD Peak Hour			PM Peak Hour		
		In	Out	Total	In	Out	Total	In	Out	Total
Proposed - Office/Retail 191,528 SF General Office 8,864 SF High-Turnover Sit Down Restaurant 4,773 Specialty Retail	3,317	310	75	385	-	-	-	101	275	376
Existing -	1,085	-	-	-	-	-	-	30	36	66
Increase/Decrease	2,232	310	75	385	-	-	-	71	239	310

Traffic Analysis:

Intersection Level of Service – The intersection of Scottsdale Road and Camelback Road is anticipated to operate at poor levels of service during the AM and PM peak hours. This condition is present under existing, background (without development), and buildout (with development) scenarios.

All other study intersections are anticipated to operate at acceptable levels of service during the peak hours.

Additional Information:

Summary:

The approval of the zoning change would result in an estimated 3,317 trips generated per day to and from the project site. The development is estimate to generate 385 trips during the AM peak hour, and 376 trips during the PM peak hour. This represents a potential increase of 2,232 daily trips over the existing development.

The intersection of Scottsdale Road and Camelback Road is anticipated to operate at poor levels of service during the AM and PM peak hours. This condition is present under existing, background (without development), and buildout (with development) scenarios.

All other study intersections are anticipated to operate at acceptable levels of service during the peak hours.

Comments/Concerns:

The applicant is proposing to convert the existing angled parking on the north and south sides of Shoeman Lane to parallel parking to expand the sidewalk/pedestrian area on the north side of the site. This would reduce the number of on-street parking spaces in the area.



**SCOTTSDALE DEVELOPMENT REVIEW BOARD
KIVA-CITY HALL
3939 DRINKWATER BOULEVARD
SCOTTSDALE, ARIZONA**

Thursday December 3, 2015

SUMMARIZED MEETING MINUTES

PRESENT:

David N. Smith, Vice Mayor/Chair
Paul Alessio, Planning Commissioner
Kevin Bollinger, Vice Chair
Matthew Mason, Development Member
Prescott Smith, Development Member
Joe Young, Design Member
Kelsey Young, Design Member

ABSENT:

All Present

STAFF:

Steve Venker
Joe Padilla
Meredith Tessier
Dan Symer
Keith Niederer
Bryan Cluff
Steve Perone

CALL TO ORDER

Vice Mayor Smith called the meeting of the Scottsdale Development Review Board to order at 1:00 p.m.

ROLL CALL

A formal roll call was conducted confirming members present as stated above.

ADMINISTRATIVE REPORT

1. Identify supplemental information, if any, related to the December 3, 2015 Development Review Board agenda items, and other correspondence.

MINUTES

2. Approval of the November 19, 2015 Development Review Board Meeting Minutes

BOARD MEMBER K. YOUNG MOVED TO APPROVE THE NOVEMBER 19, 2015 DEVELOPMENT REVIEW BOARD MEETING MINUTES SECONDED BY BOARD MEMBER P. SMITH THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0).

CONSENT AGENDA

3. 5-PP-2015 Pima and Los Gatos State Land Preliminary Plat

Request approval a Preliminary Plat for a 50-lot residential subdivision, with Amended Development Standards for a reduction in lot area, lot width, and front yard setbacks, a Preliminary Landscape Plan, Wall Elevations/Details, Hardscape & Pedestrian Circulation Plan, Community Features and Materials, and the Natural Area Open Space (NAOS) Plan, all on approximately 58 acres.

VICE CHAIR BOLLINGER MOVED TO APPROVE 5-PP-2015 SECONDED BY COMMISSIONER ALESSIO THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SIX (6) TO ZERO (0) WITH BOARD MEMBER P. SMITH RECUSING HIMSELF.

4. 29-DR-2015 Chase Pima/FLW

Request approval of the site plan, landscape plan, and building elevations for a new financial institution with approximately 3,500 square feet of building area, with drive-through service, located on a 0.44-acre site.

BOARD MEMBER K. YOUNG MOVED TO APPROVE 29-DR-2015 SECONDED BY BOARD MEMBER MASON THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0).

5. 49-DR-2015 Verizon PHO Scottsdale Stadium 2 Small Cell

Request approval of a new Type 3 Wireless Communication Facility (WCF) to be co-located on a replacement street light pole, with an associated ground mounted radio cabinet, located within the public right-of-way.

**BOARD MEMBER K. YOUNG MOVED TO APPROVE 49-DR-2015
SECONDED BY BOARD MEMBER MASON THE MOTION CARRIED
UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0).**

6. 53-DR-2015 Verizon PHO Rosie Small Cell

Request approval of a new Type 3 Wireless Communication Facility (WCF) to be co-located on a replacement street light pole, with an associated ground mounted radio cabinet, located within the public right-of-way.

**BOARD MEMBER K. YOUNG MOVED TO APPROVE 53-DR-2015
SECONDED BY BOARD MEMBER MASON THE MOTION CARRIED
UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0).**

REGULAR AGENDA

7. 42-DR-2015 Brynne Smith Memorial Campus

Request approval of the site plan, landscape plan, and building elevations for new commercial building, with 4,225 square feet of building area, on a 2.5-acre pad site in an existing shopping center.

**BOARD MEMBER J. YOUNG MOVED TO APPROVE 42-DR-2015 SECONDED
BY BOARD MEMBER K. YOUNG THE MOTION CARRIED UNANIMOUSLY
WITH A VOTE OF SEVEN (7) TO ZERO (0).**

Two citizens spoke in opposition to the project.

NON-ACTION ITEM

8. 7-ZN-2015 Shoeman Office Building

The applicant and staff are requesting direction from the Development Review Board as it pertains to the proposed development standards, building form, and human scale of the north elevation of the Shoeman Office Building.

**THE BOARD HEARD PRESENTATIONS BY STAFF AND THE APPLICANT
AND PROVIDED PRELIMINARY COMMENTS REGARDING THE PROJECT
WITH J. YOUNG RECUSING HIMSELF.**

One citizen regarding concerns over the project.

ADJOURNMENT

With no further business to discuss, the regular session of the Development Review Board adjourned at 2:09 P.M.

Summary of Development Review Board's December 3, 2015 Comments

On December 3, 2015, the Development Review Board held a non-action hearing pertaining to the proposed development plan. Below is summary of the Board's comments:

- The direction of the design works.
- The proposed development is a lot of building on a small site and is very crowded.
- The pedestrian experience adjacent to East Shoeman Lane appears to be worked out with the tradeoff of converting angled parking to parallel parking.
- Concerns regarding the pedestrian experience adjacent to North Scottsdale Road (no landscaping, trees or shade) and needs additional "...work...."
- the design does not "...work..." on our "...signature street of North Scottsdale Road...."
- The setback and stepback should be for achieved for the visual appearance, but to avoid the "...canyon effect...." adjacent to the street.
- The visual integrity of the citizens driving up and down the streets should be protected by incorporating the setback and stepbacks and not changing angled parking on East Shoeman Lane.
- Consideration should be incorporated to offset the visual impacts building.
- Even though there is appreciation and liking the design, the building should be more "...edgy..." and contemporary.

DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

Planned Block Development Overlay Criteria Analysis

In accordance with Section 6.1304.A. of the Zoning Ordinance, before the first Planning Commission hearing on a Planned Block Development Overlay (PBD) district Zoning District Map Amendment application, the Development Review Board shall make a recommendation to the Planning Commission, regarding the proposed Development Plan (Attachment #'s 4- 8), based on the following criteria for development in the Type 2 Area of the Downtown Area:

1. The Development Plan shall reflect the goals and policies of the Character & Design chapter of the Downtown Plan.

GOAL CD 1: The design character of any area should be enhanced and strengthened by new development that promotes contextual compatibility.

- The design character of the contextual area is comprised of a mix of small and large scale developments that were developed over the past 30 years, and has been evolving to a more contemporary design with recent developments. The proposed building form is primarily a vertical structure that would further introduce a new contemporary urban character in the area.

The proposed site design places the proposed building and parking structure at the property lines along North Scottsdale Road provides a building-street relationship that is consistent with the downtown urban environment and contextual design of the area. The proposed location of the building and parking structure adjacent to East Shoeman Lane are nearer to the existing curb (between four and ten feet) than most new developments in this area of the Downtown. Most new and large scale developments in the area provide building setback zones between the nearest curb and the building of approximately twenty feet, with an occasional sixteen foot wide building setback zone. Older and smaller one and two story developments in the area typically provide a building setback zone ranging between approximately eight and twenty five feet wide. To achieve a building zone setback similar to the contextual area, the applicant proposes to convert the existing angled parking on East Shoeman Lane to parallel parking spaces (approximately twenty parking spaces will be removed of the existing forty-eight spaces). The proposed street section would allow for a building setback zone between the proposed curb nearest to the base of the building and parking garage that is primarily fifteen feet wide, with a few locations that are wider. The floors of the building above the first floor area are located at the property line and approximately fifteen feet from the proposed curb, and which creates an arcade at ground level.

GOAL CD 2: Development should sensitively transition in scale, height, and intensity at the downtown plan boundary and between adjoining urban neighborhoods of differing development.

- The proposed development is approximately three hundred feet south of the Regional Urban Neighborhood, which is on the north side of the Arizona Canal. This goal is not applicable because it is not adjacent to the Downtown boundary.

GOAL CD 3: Downtown development should respect and respond to the unique climate and context of the southwestern Sonoran Desert.

- The proposed development plan incorporates compliance with the City's Green Building program, which minimizes environmental impact through building techniques and increased energy efficiencies. Window shade devices, shade trees, grade level arcade, and high efficiency glazing assist responding to the climate of the southwestern Sonoran Desert. Additional efforts should be given to the City's meeting the Sensitive Design Principles, Downtown Urban Design and Architectural Guidelines (DUDAG), and Office Design Guidelines with the subsequent development review application of the final design of the building. As the building design evolves, consideration should be given additional shade devices, and natural materials, colors and coarse textures associated with this southwestern Sonoran Desert region.

GOAL CD 4: Strengthen pedestrian character and create strong pedestrian linkages.

- The proposed development plan maintains the existing street pedestrian circulation adjacent to North Scottsdale Road and East Shoeman Lane. At the grade level of building, building storefront windows are proposed adjacent to North Scottsdale Road and East Shoeman Lane. To assist in mitigating the appearance of the parking garage and to provide pedestrian interest, the development plan narrative indicates that the façade of the garage will incorporate the development's required public art. Along the base of the building, a building arcade is provided adjacent to East Shoeman Lane, which will provide pedestrian level shade. In addition, building windows are proposed along the base of building that will allow visibility into the building to provide pedestrian interest. As part of the subsequent development application for development review, additional trees, canopies, and/or other shades devices that provide pedestrian shade should be incorporated along the North Scottsdale Road frontage.

As part of the proposed development plan improvements, a new street cross section for East Shoeman Lane proposed. The development plan indicates that the existing on street angled parking will be removed between North Scottsdale Road and east property line (the driveway into the Scottsdale Galleria Corporate Center) and will be replaced with parallel parking. The development plan narrative indicates that modifications will allow for an enlarged sidewalk and pedestrian area on both side of the street that will include benches, hardscape, pedestrian lighting and trees. Also, the modification will assist in creating a stronger pedestrian oriented connection from North Scottsdale Road to the interior bars, offices, personal care services, restaurants, retail, and residential uses that are located to the east and in the interior of the Drinkwater Urban Neighborhood.

GOAL CD 6: Incorporate a regional landscape palette that complements downtown's urban character.

- Most all exterior landscape opportunities for the proposed development plan are within the public right-of-way, which are required to be drought tolerant plants in accordance with the Scottsdale Revised City Code (SRC). As part of the subsequent development

application for development review, a conceptual landscape plan will be required that demonstrates compliance with the landscape guidelines of the DUDAG, Zoning Ordinances and the SRC.

GOAL CD 7: The extent and quality of lighting should be integrally designed as a part of the built environment.

- As part of the subsequent development application for development review, the property owner will be required to demonstrate compliance with the Design Standards & Policies Manual, DUDAG, and the Zoning Ordinance. The zoning ordinance text amendment pertaining to exterior lighting adopted by the City Council in August, 2014 incorporated provisions that limit night light nuisance, and glare. In addition, staff will be incorporating stipulations limiting the height of exterior fixture to twenty feet above grade, and 20 feet in height above the drive surfaces of the top deck of the proposed parking structure.

GOAL CD 8: Implement high quality design in downtown architecture.

- Even though the zoning district map amendment and associated development plans are generally limited to site layout and general building form, most development applications include some level of conceptual architectural design. The proposed conceptual building elevations exhibit a contemporary designed building with some consideration for the Scottsdale Sensitive Design Principles, DUDAG, and Scottsdale Office Design Guidelines. As final building design is developed with the subsequent development review application, additional consideration and incorporation of traditional desert colors, materials, and building forms that provide a complementary interpretation of the Sonoran Desert architectural design that achieves the Scottsdale Sensitive Design Principles, DUDAG, and Scottsdale Office Design Guidelines should be incorporated.

GOAL CD 9: Development should incorporate sustainable building practices and products.

- As indicated above, the proposed development plan incorporates compliance with the Scottsdale Green Building program, which minimizes environmental impact through building techniques and increased energy efficiencies.
2. The site development standards and building form shall be in conformance with the Downtown Plan Urban Design & Architectural Guidelines.

The proposed building design of the development plan incorporate long linear, and tall vertical planes with minimal building mass offset and stepback, particularly adjacent to East Shoeman Lane (north elevation). The Downtown Plan Urban Design & Architectural Guidelines (DUDAG) policies and guidelines asseverate building design that incorporates human scale and a variety of building masses that minimize tall, relatively “flat”, walls that have minimal variation in the building mass at the building setback, and result in the “canyon effect” adjacent to the streets. Specifically for buildings over 3 stories tall, and near and over 72 feet tall, the DUDAG emphasizes horizontal offsets and proportions to reduce and avoid vertical proportions that exaggerate building height.

When a building is viewed from the street, tall, relatively “flat”, proportions and that extravagant building height should be minimized. This may be accomplished in variety methods, particularly by incorporating definable building form and mass offset similar to the consideration incorporated into the west elevation of the building. Additional building form and mass offset consideration should be incorporate into the north building elevation such as stepping building height back away from the street as the building height increases to effectively address this criterion and the DUDAG. Also, additional consideration should be incorporated that increase the building setback zone at the grade adjacent to the parking structure and upper floor levels of the building.

3. The building form shall reflect the planned character of development within which the development will be located.

The Downtown Plan specifies that Type 2 areas of the Downtown are higher scale (height and intensity/density) developments located outside of the Type 1 areas (Old Town, Main Street, 5th Avenue, Marshall Way, and Craftsman Court) and DUDAG primarily outlines the planned architectural character and building forms in the Type 2. The proposed development plan is consistent with the Downtown Plan’s Type 2 designation; where as additional consideration for the DUDAG’s architectural character and building form guidelines should be incorporated. The DUDAG specifies that the apparent size and bulk of larger architectural form of buildings are to be reduced, particularly adjacent to streets – with taller vertical planes limited to the interior of the development. Furthermore, the apparent size and bulk should be designed as compositions of smaller parts that reduce a building’s perceived height and bulk by dividing the building mass into smaller-scale components and stepping building height back away from the street as the building height increases.

4. The Development Plan shall incorporate standards for development within 350 feet of the Downtown Boundary that address appropriate transitions in building heights between the proposed development and the zoning districts abutting or adjacent to the development.

- The development is not within 350 feet of the Downtown Boundary.

5. The Development Plan shall incorporate standards for development in the Downtown Regional Use - Type 2 or Downtown Medical - Type 2 Areas, and within 100 feet of the Downtown Multiple Use - Type 2 or Downtown Civic Center - Type 2 Areas, that address appropriate transitions in building heights between the proposed development and the Downtown Multiple Use - Type 2 or Downtown Civic Center - Type 2 Areas.

- The development is not within the Downtown Regional Use - Type 2 or Downtown Medical - Type 2 Areas.

6. The Development Plan for development within 100 feet of a Type 1 Area shall incorporate standards that address appropriate landscape materials and transitions in building heights between the proposed development and the Type 1 Area.

- The development is not within 100 feet of a Type 1 Area.

7. The Development Plan shall incorporate standards for development adjacent to public streets that include sidewalks, pedestrian linkages, building forms, and architectural features, that address human scale and pedestrian orientation.
 - The proposed development plan incorporates windows, arcade, artwork, trees, benches and pedestrian sidewalk lighting that assist in providing human scale and pedestrian oriented active building and street frontages. Due to the proposed intensity of the development adjacent to streets and orientation of the property, opportunities to provide court yards and outdoor spaces for pedestrians that would otherwise break up the long linear, and tall vertical planes are limited. As elaborated above, DUDAG considerations for varied proportions that provide offset and stepback should be incorporated to reduce the apparent linear and vertical size of the building and to provide a human scale relationship for the development.
8. The pedestrian circulation shall be accessible and easy to navigate, and incorporate open space and pedestrian linkages to the public pedestrian circulation network.
 - The proposed development has pedestrian linkages to North Scottsdale Road and East Shoeman Lane from the building and parking garage.



**SCOTTSDALE DEVELOPMENT REVIEW BOARD
GRANITE REEF SENIOR CENTER
1700 N. GRANITE REEF ROAD
SCOTTSDALE, ARIZONA**

Thursday December 17, 2015

SUMMARIZED MEETING MINUTES

PRESENT:

Linda Milhaven, Councilwoman/Chair
Paul Alessio, Planning Commissioner
Kevin Bollinger, Vice Chair
Matthew Mason, Development Member
Prescott Smith, Development Member
Joe Young, Design Member
Kelsey Young, Design Member

ABSENT:

All Present

STAFF:

Steve Venker
Joe Padilla
Dan Symer
Andrew Chi
Brad Carr
Greg Bloemberg
Steve Perone

CALL TO ORDER

Councilwoman Milhaven called the meeting of the Scottsdale Development Review Board to order at 1:04 p.m.

ROLL CALL

A formal roll call was conducted confirming members present as stated above.

ADMINISTRATIVE REPORT

1. Identify supplemental information, if any, related to the December 17, 2015 Development Review Board agenda items, and other correspondence.

MINUTES

2. Approval of the December 3, 2015 Development Review Board Meeting Minutes

COMMISSIONER ALESSIO MOVED TO APPROVE THE DECEMBER 3, 2015 DEVELOPMENT REVIEW BOARD MEETING MINUTES SECONDED BY BOARD MEMBER K. YOUNG THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0).

CONSENT AGENDA

3. 4-PP-2015 Gallery

Request approval of a preliminary plat for an 18-lot residential subdivision, including a preliminary landscape and hardscape plan, an open space plan, vehicular and pedestrian entry gates, conceptual amenities plan, conceptual lighting plan and cut sheets, all on an approximately 1.1-acre site.

VICE CHAIR BOLLINGER MOVED TO APPROVE 4-PP-2015 SECONDED BY BOARD MEMBER K. YOUNG THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0).

4. 32-DR-2015 Orangedale Court

Approval of the site plan, landscape plan, and building elevations for a new multi-family development, comprised of a two-story building and a three-story building, with a total of 15 dwelling units, and approximately 11,700 square feet of building area, on an approximately 0.76-acre site.

VICE CHAIR BOLLINGER MOVED TO APPROVE 32-DR-2015 SECONDED BY BOARD MEMBER K. YOUNG THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0).

5. 38-DR-2015 The Agave Residences

Request approval of the site plan, landscape plan, and building elevations for a new 5-story multi-family residential development consisting of 365 dwelling units, with approximately 408,225 square feet of building area, and multi-level parking structure with 581 parking spaces, all on a 7.1-acre site. The applicant is also requesting approval to allow patio encroachments into the required 20-foot-wide setback, and for the approval of mature landscaping to shade sidewalks.

**BOARD MEMBER K. YOUNG MOVED TO APPROVE 38-DR-2015
SECONDED BY BOARD MEMBER MASON THE MOTION CARRIED
UNANIMOUSLY WITH A VOTE OF SIX (6) TO ZERO (0) WITH BOARD
MEMBER SMITH RECUSING HIMSELF.**

6. 39-DR-2015 Miller Square

Request approval of the site plan, landscape plan, and building elevations for a new three-story multi-family residential development, consisting of 10 dwelling units, with approximately 17,500 square feet of building area, all on a 0.41-acre site.

**VICE CHAIR BOLLINGER MOVED TO APPROVE 39-DR-2015 SECONDED
BY BOARD MEMBER K. YOUNG THE MOTION CARRIED UNANIMOUSLY
WITH A VOTE OF SEVEN (7) TO ZERO (0).**

7. 56-DR-2015 Jacksons Carwash

Request for approval of a modification to the site plan, landscape plan, and building elevations of the existing carwash/fuel station/convenience store facility for the addition of a self-service automated express lane and two shade canopies for self-service vacuum equipment, all on an approximately 3.25-acre site.

**VICE CHAIR BOLLINGER MOVED TO APPROVE 56-DR-2015 SECONDED
BY BOARD MEMBER K. YOUNG THE MOTION CARRIED UNANIMOUSLY
WITH A VOTE OF SEVEN (7) TO ZERO (0).**

REGULAR AGENDA

8. 7-ZN-2015 Shoeman Office Building

Request for approval of a modification to the site plan, landscape plan, and building elevations of the existing carwash/fuel station/convenience store facility for the addition of a self-service automated express lane and two shade canopies for self-service vacuum equipment, all on an approximately 3.25-acre site.

VICE CHAIR BOLLINGER MOVED TO CONTINUE 7-ZN-2015, THE MOTION FAILED DUE TO A LACK OF A SECOND. BOARD MEMBER MASON MOVED TO RECOMMEND 7-ZN-2015 TO THE PLANNING COMMISSION AND THE CITY COUNCIL SECONDED BY BOARD MEMBER K. YOUNG THE MOTION CARRIED WITH A VOTE OF FOUR (4) TO ONE (1) WITH VICE CHAIR BOLLINGER DISSENTING AND BOARD MEMBERS P. SMITH AND J. YOUNG RECUSING THEMSELVES.

One citizen spoke requesting the case be continued.

9. 35-DR-2015 The Holiday

Request approval of the site plan, landscape plan, and building elevations for a new multi-family residential building, consisting of 4 dwelling units, and approximately 4,485 square feet of building area, all on an approximately 0.23-acre site.

VICE CHAIR BOLLINGER MOVED TO APPROVE 35-DR-2015 SECONDED BY BOARD MEMBER J. YOUNG THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0) WITH DELETED STIPULATIONS AND ADDED STIPULATION.

10. 2016 Development Review Board Hearing Schedule

The board reviewed the 2016 Development Review Board schedule

BOARD MEMBER MASON MOVED TO APPROVE THE 2016 DEVELOPMENT REVIEW BOARD HEARING SCHEDULE SECONDED BY VICE CHAIR BOLLINGER THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0)

ADJOURNMENT

With no further business to discuss, the regular session of the Development Review Board adjourned at 2:39 P.M.



**SCOTTSDALE PLANNING COMMISSION
KIVA-CITY HALL
3939 DRINKWATER BOULEVARD
SCOTTSDALE, ARIZONA**

WEDNESDAY, FEBRUARY 24, 2016

SUMMARIZED MEETING MINUTES

PRESENT: Michael Edwards, Chair
Matthew Cody, Vice Chair
David Brantner, Commissioner
Paul Alessio, Commissioner
Larry S. Kush, Commissioner
Michael J. Minnaugh, Commissioner
Ali Fakih, Commissioner

STAFF: Tim Curtis
Joe Padilla
Randy Grant
Dan Symer
Greg Bloemberg
Bryan Cluff
Taylor Reynolds
Phil Kercher

CALL TO ORDER

Chair Edwards called the regular session of the Scottsdale Planning Commission to order at 5:02 p.m.

ROLL CALL

A formal roll call was conducted confirming members present as stated above.

* Note: These are summary action minutes only. A complete copy of the meeting audio is available on the Planning Commission website at:
<http://www.scottsdaleaz.gov/boards/planning-commission>

MINUTES REVIEW AND APPROVAL

1. Approval of February 10, 2016 Regular Meeting Minutes including the Study Session.

COMMISSIONER BRANTNER MOVED TO APPROVE THE FEBRUARY 10, 2016 REGULAR MEETING MINUTES INCLUDING THE STUDY SESSION, SECONDED BY COMMISSIONER ALESSIO THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0).

REGULAR AGENDA

2. [4-GP-2015 \(Aire on McDowell\)](#)

Request by owner for a non-major General Plan amendment to the City of Scottsdale General Plan 2001 from the Mixed Use Neighborhoods to Urban Neighborhoods land use designation on a 7.1 +/- acre site located at 6802 - 6880 E. McDowell Road. Staff contact person is Greg Bloemberg, 480-312-4306. Applicant contact person is John Berry Hammond, 480-385-2727.

Item No 2: Recommended City Council approve case 4-GP-2015, by a vote of 6-0; Motion by Commissioner Brantner, for a non-major General Plan amendment to the City of Scottsdale General Plan 2001 to change the land use designation from Mixed Use Neighborhoods to Urban Neighborhoods, 2nd by Commissioner Kush; with Commissioner Fakih recused himself.

Request to speak Card: Dana Close

3. [15-ZN-2015 \(Aire on McDowell\)](#)

Request by owner for a Zoning District Map Amendment from Highway Commercial (C-3) to Multi-family Residential (R-5) zoning on a 6.8 +/- gross acre site located at 6802 - 6880 E. McDowell Road. Staff contact person is Greg Bloemberg, 480-312-4306. Applicant contact person is John Berry, 480-385-2727.

Item No. 3: Recommended City Council approve case 15-ZN-2015, by a vote of 6-0; Motion by Commissioner Brantner, per the staff recommended stipulations after determining that the proposed Zoning District Map Amendment is consistent and conforms with the adopted General Plan, 2nd by Commissioner Alessio; with Commissioner Fakih recused himself.

Request to speak Card: Dana Close

* Note: These are summary action minutes only. A complete copy of the meeting audio is available on the Planning Commission website at:
<http://www.scottsdaleaz.gov/boards/planning-commission>

4. 5-TA-2015 (Text Amendment to Planned Block Development Overlay District)
Request by owner for approval of a text amendment to the City of Scottsdale Zoning Ordinance (Ordinance No. 455) for the purpose of amending Planned Block Development Overlay District (PBD): 1) Table 6.1308.B., to allow six (6) feet to be added to the maximum building height for rooftop appurtenances, if they do not cover more than 20 percent of the roof area of the building and are set back at least 15 feet from the building elevations; 2) Table 6.1310.C., to allow six (6) feet to be added to the maximum building height for rooftop appurtenances, if they do not cover more than 20 percent of the roof area of the building and are set back at least 15 feet from the building elevations; and 3) Table 6.1310.F., to add a note that the building height bonus includes any rooftop appurtenances. Staff contact person is Dan Symer, AICP, 480-312-4218. Applicant contact person is Jason Morris/George Pasquel III, 602-230-0600.

Item No. 4: Recommend City Council approve Option A; case 5-TA-2015, by a vote of 6-1; Motion by Commissioner Brantner, after determining that the proposed Text Amendment is consistent and conforms with the adopted General Plan, 2nd by Commissioner Kush, with Commissioner Fakih dissenting.

Request to speak Card: Sonnie Kirtley

5. 7-ZN-2015 (Shoeman Office Building)
Request by owner for a Zoning District Map Amendment from Central Business Downtown Overlay (C-2 DO) and Highway Commercial Downtown Overlay (C-3 DO) zoning to Downtown/Downtown Multiple Use Type-2, Planned Block Development, Downtown Overlay (D/DMU-2, PBD, DO) zoning, including approval of Property Development Standards and a Development Plan, on a ±1.96-acre site located at 4419 N. Scottsdale Rd., 7223 E. Shoeman Ln. and 7233 E. Shoeman Ln. Staff contact person is Dan Symer, AICP, 480-312-4218. Applicant contact person is Jason Morris/George Pasquel III, 602-230-0600.

Item No. 5: Recommended City Council approve case 15-ZN-2015, by a vote of 7-0; Motion by Commissioner Kush, per the staff recommended stipulations, after determining that the proposed Zoning District Map Amendment, Development Plan and Amended Development Standards are consistent and conform with the adopted General Plan, 2nd by Commissioner Alessio.

Request to speak Card: Sonnie Kirtley

* Note: These are summary action minutes only. A complete copy of the meeting audio is available on the Planning Commission website at:
<http://www.scottsdaleaz.gov/boards/planning-commission>

Non-Action Item

6. 7-TA-2014 (Planned Shared Development (PSD) Text Amendment)

Request by the City of Scottsdale, as the applicant, for a text amendment to the City of Scottsdale Zoning Ordinance (No. 455), creating the Planned Shared Development Overlay district, the purpose of which is to allow development standards to apply to a site that is defined by its perimeter rather than applying development standards only to individual parcels or lots. This Text Amendment will also include miscellaneous additions and minor amendments to Sections 4.100 and 7.820 in order to incorporate the new PSD overlay district and is further intended to eliminate the need for the perimeter exception set forth in the Land Divisions ordinance of the Scottsdale Revised Code. **Staff/Applicant contact person is Bryan Cluff, 480-312-2258.**

Request to speak Card: Ed Bull

ADJOURNMENT

With no further business to discuss, the regular session of the Planning Commission adjourned at 7:06 p.m.

* Note: These are summary action minutes only. A complete copy of the meeting audio is available on the Planning Commission website at:
<http://www.scottsdaleaz.gov/boards/planning-commission>

Text Amendment to Planned Block Development Overlay District

Item 8, 7-ZN-2015

City Council

Coordinator: Dan Symer, AICP

Date: March 29, 2016

Shoeman Office Building

Request: Approval of a Zoning District Map Amendment,

From: Central Business Downtown Overlay (C-2 DO) and Highway Commercial Downtown Overlay (C-3 DO)

To: Downtown / Downtown Multiple Use, Type 2, Planned Block Development, Downtown Overlay (D/DMU-2 PBDDO) zoning and with a Development Plan

7-ZN-2015

Shoeman Office Building

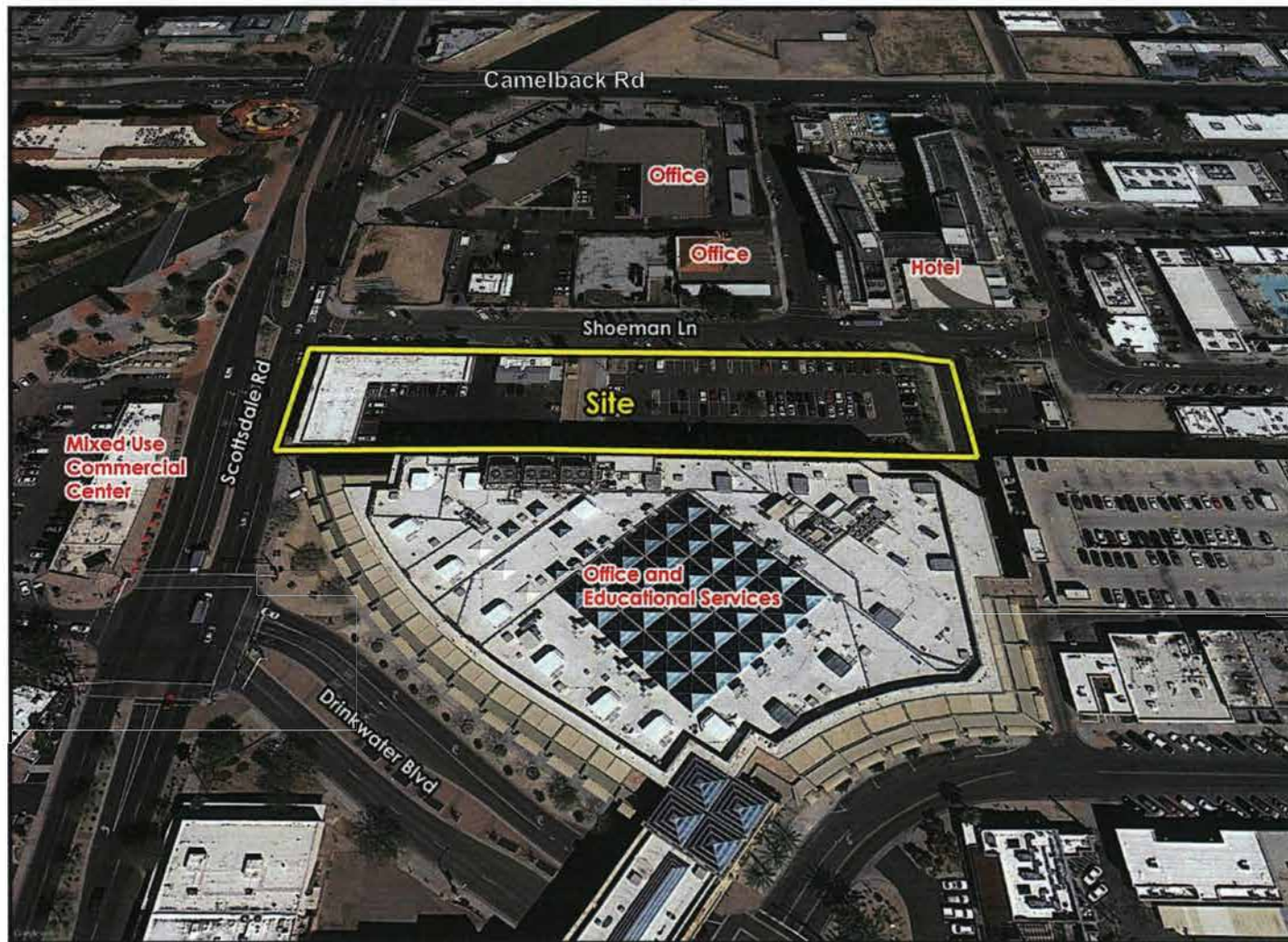
Development Information:

- **Proposed Use:** Office and retail
- **Parcel Size (gross):** 112,765 square feet
- **Total Building Size:** 204,660 square feet
- **Gross Floor Area Ratio Proposed:** 1.82 with bonuses
- **Building Height Proposed:** 96 feet (Inclusive of roof top appurtenance)
(Subject to the approval 5-TA-2015)
- **Parking Required:** 683 spaces (3.33 spaces per 1000 square feet)
- **Parking Provided:** 970 spaces (4.73 spaces per 1000 square feet)



7-ZN-2015

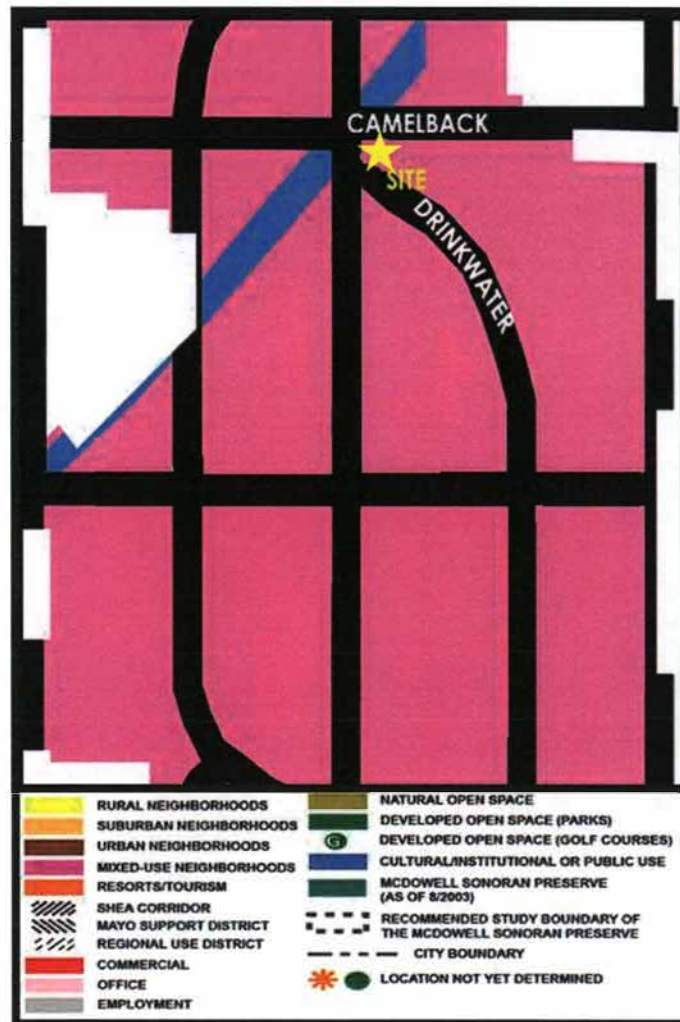
Shoeman Office Building



DETAIL AERIAL

7-ZN-2015

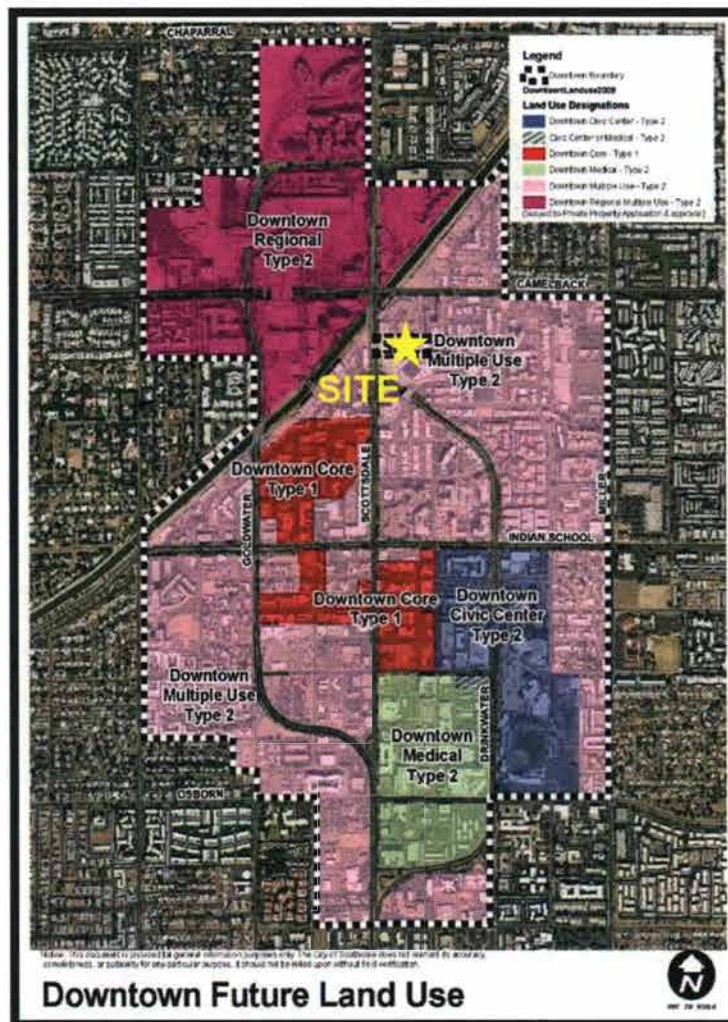
Shoeman Office Building



GENERAL PLAN

7-ZN-2015

Shoeman Office Building



DOWNTOWN PLAN

7-ZN-2015

Eldorado on 1st

City Council criteria:

Sec. 1.607. (Zoning District Map Amendment Criteria)

- The application appears consistent with the adopted General Plan

Sec. 6.1304.B. (Planned Block Development Overlay Criteria)

1. Standard criteria:

- a. Consistency with Land use elements of General Plan and the Downtown Plan.

2. Pertains to adding land use – no additions requested

3. Criteria to achieve bonus(es):

- a. Development Plan incorporates public benefits, and improve to achieve bonuses for Floor Area and Building.

Shoeman Office Building

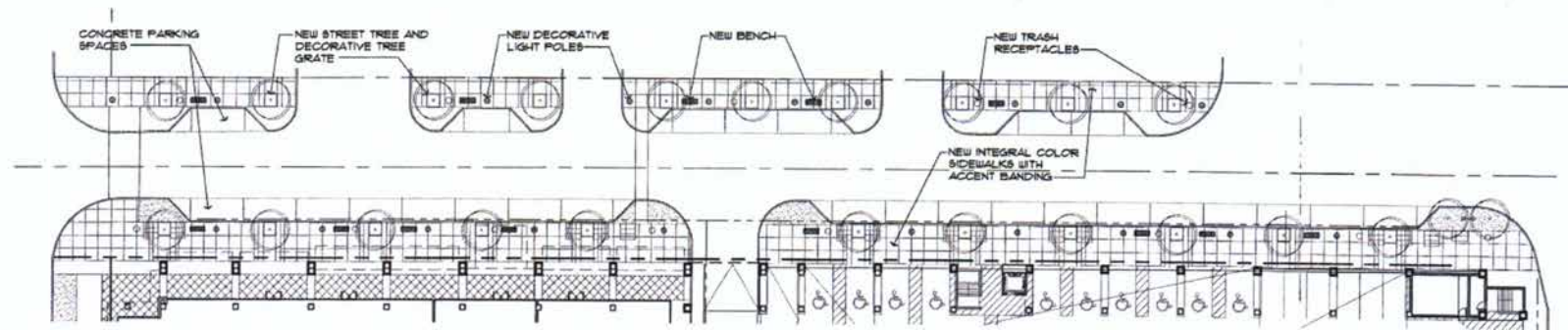
To Achieve Bonus Criteria – Building Height (30 Feet) and Floor Area (46,789 sqft):

- Compliance with City of Scottsdale's Green Building Program (IGCC)
- Enhanced Reconstruction of East Shoeman Lane (\pm \$416,270)
 - Pedestrian Lighting
 - Hardscape
 - Landscaping
 - Pedestrian Amenities (benches, trash cans, bike racks, etc.)
- Contribution to the Downtown Special Improvement Trust Fund (\pm \$268,795)

Shoeman Office Building



Existing East Shoeman Lane

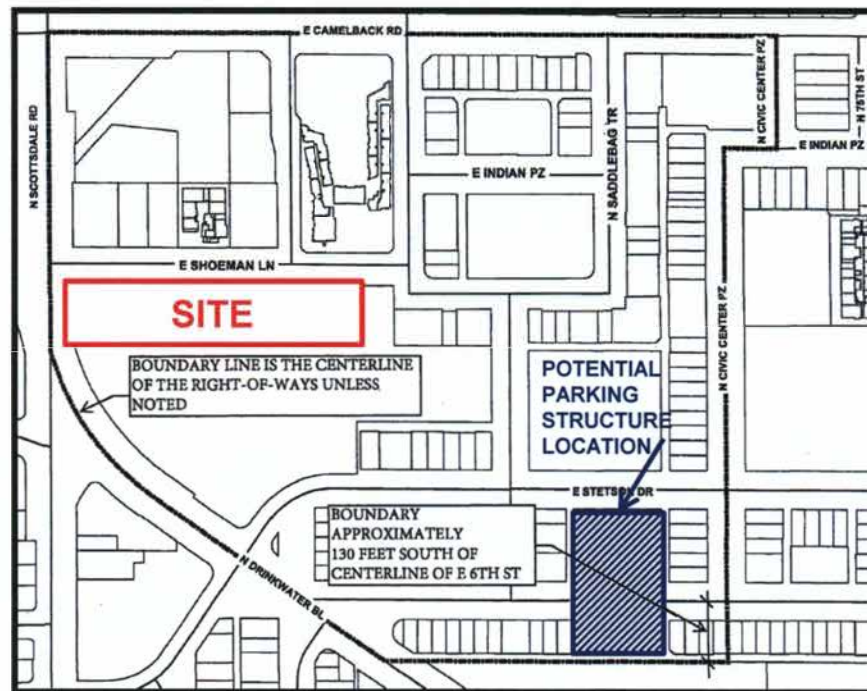


Proposed East Shoeman Lane

7-ZN-2015

Shoeman Office Building

- Eighteen street public parking spaces to be removed
- The current estimated total is \$233,246.34 to be used for the development of a parking structure in part of the northeast quadrant of the Downtown.



Shoeman Office Building



7-ZN-2015

Shoeman Office Building

Policies and Guidelines, Key Items for Consideration:

- Encourage urban and architectural design that addresses human scale,
- Architectural form to reduce the apparent size and bulk of larger buildings.
- Building height and bulk of building is to be reduced by dividing the building mass into smaller-scale components.
- Upper levels should reduce floor area and building mass, appearing less bulky
- Top story of building should be reduced in size, to provide the feel and appearance of reduced/recessed building mass.
- Buildings over 3 stories tall, especially those built at or near the 72 foot maximum should reduce the visual impact of taller elements as viewed from the street



7-ZN-2015

Shoeman Office Building

- Development Review Board (DRB) recommend approval without modifications
- Suggested consideration:
 - Setback portions of the upper sections of the building to provide a building stepback to on the north elevation in conformance with the Downtown Plan and the Downtown Urban Design and Architectural Guidelines.



7-ZN-2015

Shoeman Office Building

Process for Planned Block Development Applications:

- 1. DRB recommendation to Planning Commission and City Council on the proposed Development Plan, Vote of 5 – 0.**
- 2. Planning Commission recommendation to City Council on the Zoning District Map Amendment & Development Plan, Vote of 7 – 0.**
- 3. City Council final action on zoning request & Development Plan**
- 4. DRB final action on site & landscape plan, elevations, colors, materials, finishes, etc.**

7-ZN-2015

PROCESS