

# CITY COUNCIL REPORT



Meeting Date: March 18, 2014  
General Plan Element: *Land Use*  
General Plan Goal: *Create context- appropriate development*

## ACTION

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### Whisper Ridge 2-PP-2013

#### Request to consider the following:

1. Approval of a 66-lot final plat, with amended development standards, on an 80 acre site that is located at the northeast corner of N. 136<sup>th</sup> Street and E. Shea Boulevard.

#### Key Items for Consideration

- The proposed subdivision plat has been approved by the Development Review Board previously on March 20, 2006 and March 19, 2009.
- Minor changes to lot-line configuration and building envelope.
- The project will be developed in three phases to minimize premature disturbances to the natural environment.
- Hardship Exemption, 1-HE-2005, approved on June 28, 2005, to allow site walls to be located on side property lines.

#### Related Policies, References:

31-ZN-1975, 21-PP-2003, 21-PP-2003#2, and 1-HE-2005

## OWNER

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Findlay Manangement Scottsdale Rd LLC.

## APPLICANT CONTACT

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ALEX STEDMAN  
LVA URBAN DESIGN STUDIO  
480-994-0994

## LOCATION

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Northeast Corner of E. Shea Boulevard and N. 136<sup>th</sup> Street



## **BACKGROUND**

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### **Zoning**

The 80-acre site is zoned Single-Family Residential District, Environmentally Sensitive Lands (R1-43/ESL), which allows single-family residential uses. Parcel 217-30-003 was annexed into the City of Scottsdale in 1975, through Ordinance No. 891. The annexed parcel was rezoned from the county designation to Single-Family Residential (R1-43) through Case 31-Z-1975.

In 1991, the Environmentally Sensitive Lands (ESL) ordinance was added as an amendment to the Hillside District overlay. The current ESL overlay took effect in 2004. The ESL ordinance categorized this site within its most current zoning: Residential Single-Family, Environmentally Sensitive Lands, (R1-43/ESL).

On June 28, 2005, the City Council approved an ESLO Hardship Exemption to allow side yard walls to occur on the property lines.

### **General Plan**

Four Land Use Elements that have been designated to this site by the 2001 General Plan. These include the Office and Suburban Neighborhoods Land Use Elements; with the addition of the Shea Corridor and Mayo Support District Land Use Elements, which give the vision for this site both flexibility and direction. A majority of the site is also located with the boundary of the McDowell Sonoran Preserve Study Boundary; although no portions of this subject site have been purchased for inclusion in the Preserve.

The General Plan Land Use Element designates the western one-third portion of the property as Office Element, and the remaining two-thirds of the site as Suburban Neighborhoods Element. The Office Element category designation includes a variety of office uses. The General Plan states that there should be strict development and landscape requirements to protect neighboring residential uses. The Suburban Neighborhoods Element Designation calls for medium to small-lot single-family neighborhoods or subdivisions. The General Plans speaks to more than one house per acre, but less more than eight houses per acre.

The southern half of the site boundary abuts E. Shea Boulevard. This portion of E. Shea Boulevard has been designated as part of the Shea Corridor, in which there are adopted umbrella goals and guidelines

### **Character Area Plan**

The site is located within the boundary of the Shea Area Plan which was adopted by the City Council on June 15, 1993. The Shea Area Plan contains policies and guidelines that establish the initial minimum threshold for a project to be considered by the city. The Shea Area Plan was created to enhance and protect existing neighborhoods, and to ensure that new development should be compatible to existing development through appropriate transitions.

### **Context**

Located at the northeast corner of East Shea Boulevard and North 136<sup>th</sup> Street, the site is currently undeveloped desert with numerous washes traversing the site in a southwesterly direction. Two



significant washes cross this site with depths ranging from six to twenty feet as measured from the bottom of the wash to the top of the bank. The natural terrain adjacent to these two major washes is hilly with transitional slopes as steep as 19% above the top of banks.

### **Adjacent Uses and Zoning**

- North Single-Family Residential, Environmentally Sensitive Lands, zoned R1-10/ESL; Sierra Hills and Paloma Paseo subdivisions.
- South Single-Family Residential, Environmentally Sensitive Lands, zoned R1-43/ESL; McDowell Sonoran Preserve.
- East Single-Family Residential, Environmentally Sensitive Lands, zoned R1-10/ESL; Paloma Paseo subdivisions
- West Commercial Office, Special Campus District, Hillside District, zoned C-O/ SC/ESL; Mayo Clinic Campus

## **APPLICANTS PROPOSAL**

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### **Goal/Purpose of Request**

The applicant is requesting approval for a sixty-six lot subdivision on eighty acres. The primary and only access for the site will be provided from E. Desert Cove Avenue. Site and landscape improvements within the subdivision include subdivision entry walls and improvements to the existing bridge.

### **Development Information**

- Existing Use: Vacant Land
- Proposed Use: 66-Lot Subdivision
- Parcel Size: 80 acres
- Building Height Allowed: 24 feet
- Building Height Proposed: 24 feet
- NAOS Required: 26.4 acres
- NAOS Provided: 29.0 acres
- Density Allowed: 0.83 dwelling units per acre
- Density Proposed: 0.83 dwelling units per acre

## **IMPACT ANALYSIS**

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### **Land Use**

Homes within the proposed subdivision are limited to twenty-four feet in height. The applicant is requesting a twenty-five percent amendment to the R1-43 development standards. In turn, the applicant will provide approximately 2.6 acres of additional Natural Area Open Space. The two major washes located on the property naturally divide the site into three parts. Only one of the



washes will be crossed, connecting the two eastern most “phases” of the sites. This wash is being crossed at the narrowest point and the crossing will be constructed with a bridge.

This gated subdivision will have access from two entrances along E. Desert Cove Avenue. The entrances consist of concrete block walls with a painted smooth stucco finish and stone molded veneer gate pillars. The gate will be made of steel with a flat black finish and access to E. Shea Boulevard will be prohibited.

This request for plat approval is conditioned upon and in conjunction with the approved ESL Hardship Exception case number 1-HE-2005; which allows the construction of walls and retaining walls to be built on side property lines. Lots 57 and 58 have extreme terrain features and will require Development Review Board approval prior to development.

### **Traffic**

The Transportation Department will require a 15-foot-wide right-of-way dedication along the N. 140<sup>th</sup> Street alignment to provide access to the City-owned parcel that is located to the south of the site. The owner shall also improve the existing bridge along E. Desert Cove Avenue.

Design of the internal streets will conform to ESL local residential, 40-foot-wide tract. Additionally, a minimum 40-foot-wide Emergency and Service Access Vehicle Easement will be provided over all internal streets.

### **Water/Sewer**

The applicant is responsible for new water and sewer infrastructure to service the site, and staff has reviewed and approved water and sewer basis of design studies.

### **Public Safety**

Scottsdale Fire Department has reviewed this Preliminary Plat and finds that it conforms to the minimum requirements for fire apparatus access. There is no service impacts anticipated.

### **School District Comments/Review**

Scottsdale Unified School District has been notified of this application

### **Open Space**

Open space will be provided within the washes and around the building envelopes. The Scenic Corridor will be dedicated along the southern property boundary adjacent to Shea Boulevard. The scenic corridor will meet the required 100-foot-wide average, and vary from 65-feet-wide to 200-feet-wide. There will also be a Vista Corridor easement dedicated over the large washes that dissect the site; as well as non-motorized public access easements to allow the regional trail connection that is designated by the Transportation Master Plan Trails Plan.

According to the ESL ordinance the site is required to dedicate 26.4 acres of NAOS; the applicant has proposed dedicating 29.0 acre of NAOS. The additional 2.6 acres of NAOS being dedicated with this plat is in conjunction with the request for amended development standards.

### **Policy Implications**

This final plat is consistent in density, street alignment, and open space previously approved in



the preliminary plat. All stipulations and ordinance requirements have been addressed. Approval of this request will enable the final plat to be recorded, establishing lots, streets, easements and common tracts.

**Community Involvement**

The applicant distributed a mailing to all property owners within 750 feet of the proposed subdivision site. City staff received some inquiries on the proposed project, but has not received any written comments on this case.

**Community Impact**

There is a Development Agreement between the property owner of this site and the Paloma Paseo Subdivision HOA community. The Agreement addressed the concerns that the neighbors had the previous two times the project was reviewed. From that Agreement, lots 17, 28, 50, 51, 54 thru 58 shall be limited to a maximum building height of twenty-two feet above natural grade; and the agreement also includes providing a minimum open space setback along the north and east boundaries of the property shall be increased from thirty to forty feet.

**STAFF RECOMMENDATION**

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**Recommended Approach:**

Staff recommends that the Development Review Board approve the proposed Final Plat finding that the provisions of the Development Review Criteria have been met.

**RESPONSIBLE DEPARTMENT(S)**

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**Planning, Neighborhood and Transportation**

Current Planning Services

**STAFF CONTACTS**

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Jesus Murillo

Senior Senior Planner

480-312-7849

E-mail: [jmurillo@scottsdaleAZ.gov](mailto:jmurillo@scottsdaleAZ.gov)



**APPROVED BY**

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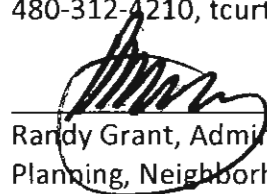
Jesus Murillo, Report Author

2/21/2014  
Date



Tim Curtis, AICP, Current Planning Director  
480-312-4210, tcurtis@scottsdaleaz.gov

3/3/2014  
Date



Randy Grant, Administrator  
Planning, Neighborhood and Transportation  
480-312-2664, rgrant@scottsdaleaz.gov

2/3/14  
Date

**ATTACHMENTS**

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1. Final Plat
2. Improvement Plans
3. Subdivision Plat
4. Bridge Improvements
5. Phasing Plan
6. Applicant's Narrative
7. Amended Development Standards
8. Context Aerial
- 8A. Aerial Close-Up
9. General Plan Map
10. Zoning Map
11. Proposed Building Envelope Plan
12. Proposed NAOS Plan
13. Scenic Corridor Spatial Plan
14. Citizen Involvement
15. City Notification Map
16. June 6, 2013 Development Review Board Minutes



# FINAL PLAT WHISPER RIDGE

SITUATED IN A PORTION OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 3 NORTH, RANGE 6 EAST OF  
THE GILA AND SALT RIVER BASE AND MERIDIAN, CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA

OWNER: STANDARD PACIFIC OF ARIZONA, INC.,  
A DELAWARE CORPORATION

## DEDICATION

STATE OF ARIZONA } 30  
COUNTY OF MARICOPA }

KNOW ALL MEN BY THESE PRESENTS, STANDARD PACIFIC OF ARIZONA, INC., A DELAWARE CORPORATION, AS OWNER, HAS SUBDIVIDED A PORTION OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 3 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, AS SHOWN AND PLATTED HEREON, AND HEREBY PURSUES THIS FINAL PLAT AS "WHISPER RIDGE", A SUBDIVISION IN THE CITY OF SCOTTSDALE, ARIZONA, AND DECLARES THAT SAID PLAT SETS FORTH AND OWNS THE DIMENSIONS OF THE LOTS, TRACTS, STREETS AND EASEMENTS CONSTITUTING THE SAME, AND THAT THE LOTS, TRACTS AND STREETS SHALL BE KNOWN BY THE NAMES, LETTERS AND NUMBERS GIVEN ON SAID PLAT OF THE ABOVE DESCRIBED PREMISES AND EASEMENTS ARE DEDICATED FOR THE PURPOSES STATED HEREIN.

STANDARD PACIFIC OF ARIZONA, INC., A DELAWARE CORPORATION, AS OWNER, DOES HEREBY DEDICATE TO THE WHISPER RIDGE COMMUNITY ASSOCIATION:

1. TRACTS A, B, C, D, E AND F SHALL BE OWNED AND MAINTAINED BY THE WHISPER RIDGE COMMUNITY ASSOCIATION.
2. THE PRIVATE STREETS SHOWN HEREON AS TRACT "B" ARE DECLARED AS PRIVATE ACCESS WAY FOR THE EXCLUSIVE USE OF THE MEMBERS OF THE WHISPER RIDGE COMMUNITY ASSOCIATION AND THEIR ASSIGNS, AND ARE NOT DEDICATED TO THE PUBLIC FOR ITS USE EXCEPT AS EXPRESSLY STATED HEREON.
3. A PERPETUAL, NON-EXCLUSIVE EROSION EASEMENT UPON, OVER, AND ACROSS THE PARCEL OF LAND SHOWN HEREON, THE PURPOSE OF THE EASEMENT IS TO DELINEATE AREAS OF POTENTIAL LATERAL MIGRATION AND EROSION OF THE WASH. NOTHING SHALL BE CONSTRUCTED WITHIN THIS AREA THAT MAY CAUSE THE BANKS OF THE WASH TO FAIL, NO HABITABLE STRUCTURE SHALL BE BUILT WITHIN THE EASEMENT AREA.
4. A PERPETUAL, NON-EXCLUSIVE ROADWAY SLOPE EASEMENT (R.S.E.) UPON, OVER, AND ACROSS THE PARCEL OF LAND SHOWN HEREON, THE PURPOSE OF THE EASEMENT IS TO PROTECT THE SLOPE STRUCTURE OF THE ROADWAYS. THESE EASEMENTS MAY BE MODIFIED OR EXTINGUISHED AS NOTED, WITH APPROVED LOT GRADING PLANS.

STANDARD PACIFIC OF ARIZONA, INC., A DELAWARE CORPORATION, AS OWNER (GRANTOR), DOES HEREBY DEDICATE TO THE CITY OF SCOTTSDALE, AN ARIZONA MUNICIPAL CORPORATION (GRANTEE):

5. THE PUBLIC STREETS IN FEE AS SHOWN HEREON, MAINTENANCE OF THE PUBLIC STREETS SHALL BE THE ADDITIONAL PROPERTY OWNER'S RESPONSIBILITY UNLESS SUCH AS THE STREETS ARE SURRENDERED TO THE CITY OF SCOTTSDALE STANDARDS AND ACCEPTED BY THE CITY OF SCOTTSDALE.
6. A PERPETUAL, NON-EXCLUSIVE SCENIC CORRIDOR EASEMENT (S.C.E.) UPON, OVER, AND ACROSS THE PARCEL OF LAND SHOWN HEREON, THE PURPOSE IS TO PRESERVE THE PROPERTY AS A SCENIC CORRIDOR FREE OF ANY OBSTRUCTIONS TO THE VIEW OF PERSONS LOOKING ACROSS THE PROPERTY, WITHOUT LIMITATION, GRANTOR SHALL NOT ALLOW OR SUFFER TO EXIST UPON THE PROPERTY ANY BUILDINGS, WALLS, TREES, OBSTRUCTIONS, SCREENS, OR OTHER STRUCTURES OR HEIGHTS EXCEEDING A HEIGHT DETERMINED BY THE GRANTEE ABOVE ORIGINAL GRADE.
7. A PERPETUAL, NON-EXCLUSIVE DRAINAGE EASEMENT (D.E.) FOR THE PURPOSES OF CONSTRUCTION, OPERATION, REPLACEMENT, AND REPAIR OF LEVEES, DICES, CHANNELS, AND OTHER WORKS OF DRAINAGE OR FLOOD CONTROL, IN AND OVER A PORTION OF THE AREAS DESIGNATED AS SUCH HEREON AN EASEMENT UPON, OVER, AND ACROSS REAL PROPERTY DESCRIBED HEREON, MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE GRANTEE, OWNER OF THE LOT OR TRACT WHERE THE EASEMENT IS LOCATED HEREON.
8. A PERPETUAL, NON-EXCLUSIVE SIGHT DISTANCE EASEMENT (S.D.E.) UPON, OVER, AND ACROSS THE PARCEL OF LAND SHOWN HEREON, THE PURPOSE IS TO PRESERVE THE PROPERTY AS A TRAFFIC SAFETY VISION AREA FREE OF ANY OBSTRUCTIONS TO THE VIEW OF PERSONS LOOKING ACROSS THE PROPERTY, WITHOUT LIMITATION, GRANTOR SHALL NOT ALLOW OR SUFFER TO EXIST UPON THE PROPERTY ANY BUILDINGS, WALLS, TREES, OBSTRUCTIONS, SCREENS, OR OTHER STRUCTURES EXCEEDING A HEIGHT DETERMINED BY THE GRANTEE ABOVE ORIGINAL GRADE.
9. A PERPETUAL, NON-EXCLUSIVE PUBLIC UTILITY EASEMENT (P.U.E.) UPON, OVER, AND ACROSS TRACT "B" AND THE PARCELS OF LAND SHOWN HEREON, THE PURPOSE OF THE EASEMENT IS FOR ELECTRICITY, SEWER, WATER, FIBER, TELECOMMUNICATIONS, AND ALL OTHER KINDS OF UTILITIES, AND FOR CONSTRUCTION, OPERATION, USE, MAINTENANCE, REPAIR, MODIFICATION, AND REPLACEMENT FROM TIME TO TIME OF IMPROVEMENTS RELATED THEREIN.
10. A PERPETUAL, NON-EXCLUSIVE EMERGENCY AND SERVICE-TYPE VEHICLE ACCESS EASEMENT (E.S.V.A.E.) UPON, OVER, AND ACROSS THE PARCEL OF LAND SHOWN AS TRACT "F" HEREON, THE PURPOSE OF THE EASEMENT IS FOR PROVIDING ACCESS FOR EMERGENCY AND SERVICE-TYPE VEHICLES, INCLUDING REFUSE COLLECTION.
11. A PERPETUAL, NON-EXCLUSIVE VEHICLE HIGH ACCESS EASEMENT (V.H.A.E.) UPON, OVER, AND ACROSS THE PARCEL OF LAND SHOWN HEREON, THE PURPOSE OF THE EASEMENT IS TO PROHIBIT VEHICULAR ACCESS.
12. NATURAL AREA OPEN SPACE (N.A.O.S.) EASEMENTS ARE HEREBY DEDICATED TO THE CITY OF SCOTTSDALE UPON, OVER, AND ACROSS THE AREAS FOR THE PURPOSE OF THE EASEMENT IS FOR UNDERGROUND WATER PIPES, ABOVE GROUND APPURTENANCES AND FOR THE CONSTRUCTION OF ANY STRUCTURE OR DEVELOPMENT OF ANY KIND SHALL BE PERMITTED ON OR WITHIN SAID EASEMENT EXCEPT AS ALLOWED UNDER CITY OF SCOTTSDALE ORDINANCES.
13. A PERPETUAL, NON-EXCLUSIVE PUBLIC ACCESS EASEMENT (N.A.P.A.E.) UPON, OVER, AND ACROSS THE PARCEL OF LAND SHOWN HEREON, THE PURPOSE OF THE EASEMENT IS FOR PROHIBITING VEHICULAR ACCESS AND PROVIDING PEDESTRIAN ACCESS.
14. A PERPETUAL, NON-EXCLUSIVE WATER LINE EASEMENT (W.L.E.) UPON, OVER, AND ACROSS THE PARCEL OF LAND SHOWN AS TRACT "B" AND TRACT "C" HEREON, THE PURPOSE OF THE EASEMENT IS FOR UNDERGROUND WATER PIPES, ABOVE GROUND APPURTENANCES AND FOR THE CONSTRUCTION, OPERATION, USE, MAINTENANCE, REPAIR, MODIFICATION AND REPLACEMENT FROM TIME TO TIME OF PIPES, MANHOLES, ACCESS VAULTS AND FACILITIES RELATED THEREIN.
15. A PERPETUAL, NON-EXCLUSIVE SEWER LINE EASEMENT (S.L.E.) UPON, OVER, AND ACROSS THE PARCELS OF LAND SHOWN AS TRACTS "A", "B" AND "C" HEREON, THE PURPOSE OF THE EASEMENT IS FOR UNDERGROUND SEWER PIPES, ABOVE GROUND APPURTENANCES AND FOR THE CONSTRUCTION, OPERATION, USE, MAINTENANCE, REPAIR, MODIFICATION AND REPLACEMENT FROM TIME TO TIME OF PIPES, MANHOLES, ACCESS VAULTS AND FACILITIES RELATED THEREIN.
16. A PERPETUAL, NON-EXCLUSIVE SLOPE EASEMENT (S.L.E.) UPON, OVER, AND ACROSS THE PARCEL OF LAND SHOWN HEREON, THE PURPOSE OF THE EASEMENT IS TO DELINEATE AREAS OF POTENTIAL UNSTABLE SLOPES, NOTHING SHALL BE CONSTRUCTED WITHIN THIS AREA THAT MAY CAUSE THE BANKS OF THE SLOPE TO FAIL, NO HABITABLE STRUCTURE SHALL BE BUILT WITHIN THE EASEMENT AREA.

THE OWNER WARRANTS THAT THIS MAP IS IN COMPLIANCE WITH CITY OF SCOTTSDALE'S LAND DIMENSIONS ORDINANCE, AND THE DESIGN STANDARDS AND POLICIES MANUAL SPECIFICATIONS.

OWNER WARRANTS AND REPRESENTS TO THE CITY OF SCOTTSDALE THAT IT IS THE SOLE OWNER OF THE PROPERTY COVERED HEREIN AND THAT EVERY LOT, TRACT, EASEMENT, OR OTHER PERSON, OR ENTITY, HAVING AN INTEREST IN THE LAND ADVERSE TO OR INCONSISTENT WITH THE DECLARATIONS, COVENANTS, OR OTHER REAL PROPERTY INTERESTS CREATED OR TRANSFERRED BY THIS MAP HAS CONSENTED TO, OR JOINED IN THIS MAP, AS EVIDENCED BY INSTRUMENTS WHICH ARE RECORDED IN THE MARICOPA COUNTY RECORDER'S OFFICE, OR WHICH OWNER WILL RECORD NOT LATER THAN THE DATE ON WHICH THIS PLAT IS RECORDED.

THE PERSON EXECUTING THIS DOCUMENT ON BEHALF OF A CORPORATION, TRUST OR OTHER ORGANIZATION WARRANTS HIS OR HER AUTHORITY TO DO SO AND THAT ALL REQUIRED NECESSARY TO SIGN GRANTOR HAVE JOINED IN THIS DOCUMENT. THIS DOCUMENT RUNS IN FAVOR OF THE GRANTEE'S SUCCESSORS AND ASSIGNS.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2014.

OTHER: STANDARD PACIFIC OF ARIZONA, INC., A DELAWARE CORPORATION

BY: \_\_\_\_\_

TITLE: \_\_\_\_\_

BY: \_\_\_\_\_

TITLE: \_\_\_\_\_

## ACKNOWLEDGMENT

STATE OF ARIZONA } 30  
COUNTY OF MARICOPA }

THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2014.

BY \_\_\_\_\_ THE \_\_\_\_\_ AND \_\_\_\_\_

BY \_\_\_\_\_ THE \_\_\_\_\_ OF STANDARD PACIFIC OF ARIZONA, INC., A DELAWARE CORPORATION, FOR AND ON BEHALF OF SAID CORPORATION.

NOTARY PUBLIC \_\_\_\_\_ MY COMMISSION EXPIRES: \_\_\_\_\_

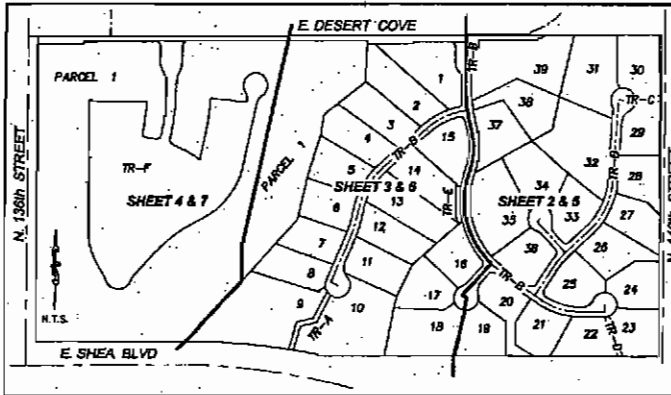
## LEGAL DESCRIPTION

THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION NINETEEN (19), TOWNSHIP THREE (3) NORTH, RANGE SIX (6) EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, EXCEPT THE EAST 15 FEET THEREOF; AND EXCEPT THAT PART OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION NINETEEN (19), TOWNSHIP THREE (3) NORTH, RANGE SIX (6) EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS: THE EAST 7.00 FEET OF THE WEST 40.00 FEET OF THE SOUTH HALF OF SAID SOUTHWEST QUARTER, EXCEPT THE SOUTH 100 FEET THEREOF.

AND EXCEPT THAT PORTION THEREOF SITUATED IN PUBLIC RIGHT-OF-WAY.

EXCEPT ALL OIL AND OTHER MINERALS AS RESERVED UNDER THE UNITED STATES OF AMERICA'S IN THE RECORDED PATENT TO SAID LAND.

## SHEET INDEX



## NOTES

1. THIS PROPERTY DIVISION IS LOCATED WITHIN THE CITY OF SCOTTSDALE WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
2. CONSTRUCTION WITHIN PUBLIC EASEMENTS, EXCEPT BY PUBLIC AGENCIES AND UTILITY COMPANIES, SHALL BE LIMITED TO WOOD, WIRE, OR REMOVAL SECTION TYPE FENDING AND MUST BE IN CONFORMANCE WITH THE APPLICABLE COAR'S AND DESIGN GUIDELINES.
3. ELECTRIC LINES ARE TO BE CONSTRUCTED UNDERGROUND AS REQUIRED BY ARIZONA CORPORATION COMMISSION GENERAL ORDER U-48.
4. LOTS 10 & 17 WILL MAINTAIN A PRIVATE SENIOR FORCE MAIN EASEMENT BENEFITING LOT 18.
5. LOT 20 WILL MAINTAIN A PRIVATE SENIOR FORCE MAIN EASEMENT BENEFITING LOT 18.
6. THAT AREA DESIGNATED AS TRACT "F" IS FOR USE AS PRIVATE ACCESS AND LANDSCAPING.
7. THE ROADWAY SLOPE EASEMENTS ARE TO BENEFIT TRACT "F" AND THE WHISPER RIDGE COMMUNITY ASSOCIATION, GRADING WITHIN THIS EASEMENT SHALL BE SUBJECT TO AN APPROVED LOT GRADING PLAN AND THE EASEMENT MAY BE MODIFIED OR EXTINGUISHED AS NOTED.
8. ALL MONUMENTS SET SHALL BE UNDER THE DIRECT SUPERVISION OF THE REGISTRANT OF RECORD, IF FOR ANY REASON THE REGISTRANT OF RECORD IS NOT AVAILABLE TO SUPERVISE THE SETTING OF THE BINDER CORNER MONUMENTS, SUBSEQUENT TO THE RECORDING OF THE FINAL PLAT, THE REPLACEMENT REGISTRANT SHALL SET MONUMENTS WITH HIS/HER IDENTIFYING NUMBER AND A RECORD OF SURVEY PLAT SHALL BE RECORDED IN ACCORDANCE WITH THE STATE STATUTES.

## RATIFICATION

WHISPER RIDGE COMMUNITY ASSOCIATION, AS BENEFICIARY, THE UNDERSIGNED HEREBY RATIFIES, APPROVES AND CONFIRMATION IS GIVEN TO SAID DEDICATIONS AS STATED IN THIS PLAT AS TO THE INTEREST OF THE UNDERSIGNED, THE PERSON SIGNING FOR BENEFICIARY WARRANTS AND REPRESENTS THEY HAVE POWER AND AUTHORITY TO DO SO.

BY: CHRIS CLONTS, PRESIDENT OF WHISPER RIDGE COMMUNITY ASSOCIATION, AS BENEFICIARY

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

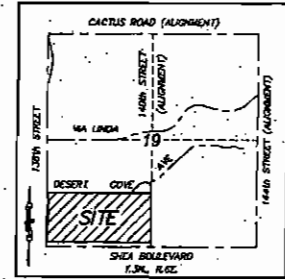
## ACKNOWLEDGMENT

STATE OF ARIZONA } 30  
COUNTY OF MARICOPA }

THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2014.

BY CHRIS CLONTS, FOR AND ON BEHALF OF WHISPER RIDGE COMMUNITY ASSOCIATION

MY COMMISSION EXPIRES: \_\_\_\_\_



VICINITY MAP  
N.T.S.

## SHEET CONTENTS

SHEET 1	CONVEYANCE
SHEET 2	GEOMETRY
SHEET 3	GEOMETRY
SHEET 4	GEOMETRY
SHEET 5	GEOMETRY
SHEET 6	GEOMETRY
SHEET 7	GEOMETRY
SHEET 8	LINE TABLE, LEGEND

## AREAS

SQUARE FT.	ACRES
GROSS AREA:	3,233,581
NET AREA:	3,185,834
TRACT A:	5,596
TRACT B:	186,527
TRACT C:	2,080
TRACT D:	3,363
TRACT E:	2,888
TRACT F:	351,410

## ZONING

R1-13, ECL

## BASIS OF BEARING

BASIS OF BEARING: IS THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 3 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN.

## REFERENCE DOCUMENTS

- (1) BOOK 304, PAGE 35 M.C.R.
- (2) BOOK 305, PAGE 08 M.C.R.
- (3) BOOK 400, PAGE 05 M.C.R.
- (4) DOCKET 4860, PAGES 60-61
- (5) BOOK 303, PAGE 18 M.C.R.
- (6) SHEET 148, PAGES 488
- (7) DOCUMENT 1983-48337
- (8) BOOK 781, PAGE 34 M.C.R.
- (9) BOOK 734, PAGE 33 M.C.R.

SCOTTSDALE MOUNTAIN ESTATES UNIT ONE  
PALOMA PASSED - PLAT  
SERRA HILLS - PLAT  
SHEA BOULEVARD - RIGHT OF WAY EASEMENT  
MOON HILLS, PARCEL A-1 - PLAT  
138TH STREET - RIGHT OF WAY  
138TH STREET - RIGHT OF WAY  
ROAD PLESS SUBDIVISION - RECORD OF SURVEY  
ROAD PLESS SUBDIVISION - RECORD OF SURVEY

## APPROVALS

APPROVED BY THE COUNCIL OF THE CITY OF SCOTTSDALE, ARIZONA, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2014.

BY: MAYOR \_\_\_\_\_

ATTEST BY: CITY CLERK \_\_\_\_\_

THIS PLAT HAS BEEN REVIEWED FOR COMPLIANCE WITH THE CITY OF SCOTTSDALE'S DESIGN STANDARDS AND POLICY MANUAL SPECIFICATIONS.

BY: DEPT. DEVELOPMENT OFFICER \_\_\_\_\_ DATE \_\_\_\_\_

THIS SUBDIVISION HAS BEEN REVIEWED FOR COMPLIANCE WITH THE DEVELOPMENT STANDARDS OF THE CITY OF SCOTTSDALE'S DEVELOPMENT REVIEW BOARD (DRB) CASE NO. 2-PP-2013, AND ALL CASE RELATED STIPULATIONS.

BY: PLAT COORDINATOR \_\_\_\_\_ DATE \_\_\_\_\_

## CERTIFICATION

1. I AM A LAND SURVEYOR REGISTERED TO PRACTICE IN ARIZONA;
2. THIS PLAT WAS MADE UNDER MY DIRECTION;
3. THIS PLAT MEETS THE "MINIMUM STANDARDS FOR ARIZONA LAND BOUNDARY SURVEYS";
4. THE SURVEY AND DIVISION OF THE SUBJECT PROPERTY DESCRIBED AND PLATTED HEREON WERE MADE DURING THE MONTH OF JUNE, 2013;
5. THE SURVEY IS TRUE AND COMPLETE AS SHOWN;
6. MONUMENTS SHOWN ACTUALLY EXIST;
7. THEIR POSITIONS ARE CORRECTLY SHOWN AND
8. SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

2/12/2014

ERIC L. SOSTROM  
REGISTERED LAND SURVEYOR # 41804

3801 EAST EVANS ROAD  
SCOTTSDALE, ARIZONA 85250  
PHONE (480) 922-0789  
SIC  
SURVEY INNOVATION

FINAL PLAT  
WHISPER RIDGE



DRAWING NAME  
12171.FP.dwg  
JOB NO. 2012  
DRAWN: ELS  
CHECKED: RMH  
DATE: 2/12/2014  
SCALE: N.1  
SHEET: 1 OF





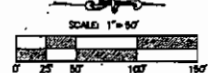










**SHEET 6**

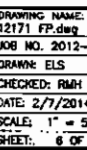
DRAWING NAME:	12171 FP.dwg
JOB NO.	2012-1
DRAWN:	ELS
CHECKED:	RMH
DATE:	2/7/2014
SCALE:	1" = 50'
SHEET:	3 OF 8



**MATCH LINE SHEET 7**

**MATCH LINE SHEET 7**

**FINAL PLAT**  
**WHISPER RIDGE**



DRAWING NAME: 2171 FP.dwg  
JOB NO. 2012-  
DRAWN: ELS  
CHECKED: RMH  
DATE: 2/7/2014  
SCALE: 1" = 5'  
SHEET: 6 OF







LINE	BEARING	LENGTH
E1	S00°18'30"W	50.53
E2	S00°00'17"W	108.74
E3	S00°00'22"W	17.29
E4	S00°21'38"W	31.29
E5	S00°07'27"W	57.03
E6	S44°30'24"W	16.79
E7	S44°30'25"W	74.50
E8	S44°30'25"W	41.79
E9	S04°27'17"W	23.85
E10	S02°02'46"W	60.78
E11	S13°00'24"W	25.13
E12	S02°00'00"W	35.19
E13	S02°00'00"W	20.71
E14	S41°18'24"W	18.70
E15	S02°00'17"W	60.76
E16	S13°00'24"W	10.43
E17	S13°00'24"W	101.90
E18	S43°31'15"W	54.66
E19	S13°00'24"W	63.50
E20	S13°00'24"W	101.90
E21	S13°00'24"W	63.50
E22	S27°18'31"W	133.89
E23	S02°00'17"W	47.10
E24	S13°00'24"W	47.52
E25	S44°30'25"W	31.17
E26	S44°30'25"W	33.14
E27	S13°00'24"W	106.44
E28	S44°30'25"W	47.58
E29	S02°00'17"W	37.18
E30	S13°00'24"W	20.53
E31	S02°00'17"W	27.79
E32	S02°00'17"W	73.89
E33	S02°00'17"W	51.40
E34	S02°00'17"W	60.87
E35	S13°00'24"W	109.09
E36	S13°00'24"W	28.80
E37	S13°00'24"W	25.15
E38	S13°00'24"W	28.81
E39	S44°30'25"W	35.91
E40	S44°30'25"W	38.79
E41	S13°00'24"W	92.13
E42	S44°30'25"W	38.79
E43	S44°30'25"W	38.79
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# UNANTITIES

ITEM DESCRIPTION	QUANTITY	UNIT
8" DIP WATER MAIN	3,817	LF
8" WATER VALVE	10	EA
8" FIRE HYDRANT ASSEMBLY COMPLETE	8	EA
1" WATER METER AND BOX	38	EA
1" LANDSCAPE SERVICE	1	EA
1-1/2" LANDSCAPE SERVICE	2	EA
8" BEND (80)	1	EA
8" BEND (45)	8	EA
8" BEND (22.5)	8	EA
8" BEND (11.25)	4	EA
8"X8" TEE	8	EA
8"X8" TEE	3	EA
2" AIR RELEASE VALVE PER COS STD DET 2348	2	EA
PRESSURE REDUCING VALVE	1	EA
8"X8" DIP REDUCER	3	EA
4" PVC PROTECTION SLEEVE	275	LF

ITEM DESCRIPTION	QUANTITY	UNIT
8" SDR 35 PVC SEWER PIPE	4,158	LF
48" SEWER MANHOLE, COS STD DET 2429 & 2421	25	EA
4" SEWER SERVICE	36	EA

ITEM DESCRIPTION	QUANTITY	UNIT
CUT (RAW)	56,278	CY
FILL (RAW)	10,351	CY

ITEM DESCRIPTION	QUANTITY	UNIT
ROLL CURB PER MAG STD DET 220 TYPE "C"	10,308	LF
8" VALLEY CUTTER AND AFFRON	100	LF
2.5" AC ON 7" ABC	10,565	SY
RP RAP PER DETAIL	856	SY
SURVEY MONUMENT PER COS STD DET 2120 TYPE "U"	30	EA
8"X8" CONCRETE BOX CULVERT	60	LF
1" TYPE HEADWALL PER MAG STD DET 501	9	EA
24" HOPE STORM DRAIN	78	LF
18" HOPE STORM DRAIN	572	LF
4" DRENCH PLATE	2	EA
CUT OFF WALL	508	LF
GROUTED RP-RAP	28	SY

ITEM DESCRIPTION	QUANTITY	UNIT
GRINDER PUMPS (PER BUILDING PLANS)	6	EA
1-1/4" FORCE MAIN SDR 40 PVC SEWER PIPE	544	LF

ITEM DESCRIPTION	QUANTITY	UNIT
2.5" AC ON 7" ABC	741	SY
ROLL CURB PER MAG STD DET 220 TYPE "C"	1,453	LF
8" VERTICAL CURB PER MAG STD DET 222	274	LF
18"-24" 1/2" GAUGE STRUCTURAL PLATE PIPE ARCH	31	LF
GROUTED RP-RAP	823	SY
CURB RAP PER COS STD DET 2234	2	EA
4" SIDEWALK	5,520	SF
DIAMOND PLATE SCUPPER PER MAG STD DET 203	1	EA

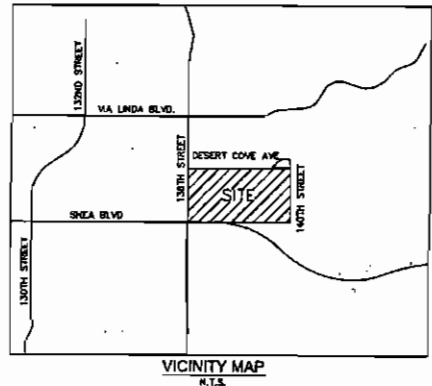
ITEM DESCRIPTION	QUANTITY	UNIT
RETAINING WALL (TYPE 1, 4)	428	LF
SCREEN WALL (TYPE SPH)	188	LF

THE CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF THE QUANTITIES NOTED AND BASE HIS BID ON HIS OWN ESTIMATE.

SHEET	SHEET TITLE
01	COVER SHEET
02	NOTES, LEGEND, AND ABBREVIATIONS
03	SHEET KEY MAP
04-13	GRADING AND DRAINAGE PLAN
14-22	PAVING PLAN & PROFILE
23-26	SANITARY SEWER PROFILES
27	CULVERT PROFILES
28	DESERT COVE CULVERT EXTENSION
29	TYPICAL CROSS SECTIONS
30	DETAIL SHEET
31-34	OFFSITE PLANS
35-37	RETAINING WALL PLANS
38-39	USE WALL LAYOUT AND DETAILS
40	GENERAL STRUCTURAL NOTES
41-42	RETAINING WALL DETAILS
43	LANDSCAPE ENTRY WALL

# IMPROVEMENT PLANSFORWHISPER RIDGE PHASE IN.E.C. 136TH STREET AND SHEA BOULEVARDSCOTTSDALE, ARIZONA

A PORTION OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 3 NORTH, RANGE 6, EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA.



## NAOS DATA

AREA	AREA (SF)	AREA (AC)	% OF TOTAL
UNDISTURBED	833,632	14.8	77%
REVEGETATED	183,791	4.4	23%
TOTAL	827,723	18.0	

**CITY OF SCOTTSDALE CIVIL APPROVAL**

REVIEW AND RECOMMEND APPROVAL BY:

PAVING	TRAFFIC
G & D	PLANNING
H & S	FIN
RET. WALLS	

ENGINEERING COORDINATION FOR THE PROJECT: \_\_\_\_\_ DATE: \_\_\_\_\_

## AS BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "AS-BUILT" INFORMATION SHOWN HEREON WAS OBTAINED UNDER MY DIRECT SUPERVISION AND IS CORRECT AND COMPLETE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

NAME: \_\_\_\_\_ DATE: \_\_\_\_\_

REGISTRATION NO.: \_\_\_\_\_ DATE: \_\_\_\_\_

REV'D BY: CONSTRUCTION ENGINEER (GRADING & DRAINAGE)

REV'D BY: CONSTRUCTION ENGINEER

## LEGAL DESCRIPTION

THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION NINETEEN (19), TOWNSHIP THREE (3) NORTH, RANGE SIX (6) EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, EXCEPT THE EAST 15 FEET THEREOF; AND

EXCEPT THAT PART OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION NINETEEN (19), TOWNSHIP THREE (3) NORTH, RANGE SIX (6) EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

THE EAST 7.00 FEET OF THE WEST 40.00 FEET OF THE SOUTH HALF OF SAID SOUTHWEST QUARTER, EXCEPT THE SOUTH 100 FEET THEREOF.

AND EXCEPT THAT PORTION THEREOF SITUATED IN PUBLIC RIGHT-OF-WAYS.

EXCEPT ALL COAL AND OTHER MINERALS AS RESERVED UNTO THE UNITED STATES OF AMERICA IN THE RECORDED PATENT TO SAID LAND.

## SITE DATA

ASSessor'S PARCEL NUMBER: 217-30-003  
NET AREA: 79.44 ACRES  
PROJECT AREA: 44.43 ACRES  
ZONING: RT-43 CD  
NATIVE PLANT CASE#: 94-HP-2004

## CASE STIPULATIONS

THE ENGINEER OF RECORD ON THESE PLANS HAS RECEIVED A COPY OF THE APPROVED STIPULATIONS FOR THIS PROJECT AND HAS DESIGNED THESE PLANS IN CONFORMANCE WITH THE APPROVED STIPULATIONS TO THE BEST OF HIS KNOWLEDGE.

ENGINEER'S SIGNATURE: \_\_\_\_\_ DATE: 01/13/2014

**NO CONFLICT SIGNATURE BLOCK**

UTILITY	UTILITY COMPANY	UTILITY COMPANY REPRESENTATIVE	TELEPHONE NUMBER	DATE SIGNED
ELECTRIC	SRP	MATT VALONZUELA	602-236-8307	7/22/13
NATURAL GAS	SOUTHWEST GAS	MARCUS WATAMANE	480-230-3835	7/11/13
CABLE/TELE	COX COMM.	TRES CLEMONS	623-280-3444	7/24/13
WATER	SRP	SUSANA ORTEGA	602-236-5799	7/30/13
OTHER				

ENGINEER'S CERTIFICATION: I, JIMMY M. JONES, AS THE ENGINEER OF RECORD FOR THIS DEVELOPMENT, HEREBY CERTIFY THAT ALL UTILITY COMPANIES LISTED ABOVE HAVE BEEN PROVIDED FINAL IMPROVEMENT PLANS FOR REVIEW, AND THAT ALL CONFLICTS IDENTIFIED BY THE UTILITIES HAVE BEEN RESOLVED. IN ADDITION, NO CONFLICTS HAVE BEEN IDENTIFIED FROM EACH UTILITY COMPANY AND ARE INCLUDED IN THIS SUBMITTAL.

SIGNATURE: *Jimmy M. Jones* DATE: 01/13/14

## CITY OF SCOTTSDALE GENERAL NOTES

- ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION AS ADOPTED BY THE LATEST VERSION OF THE CITY OF SCOTTSDALE SUPPLEMENTAL STANDARD SPECIFICATIONS AND SUPPLEMENTAL STANDARDS. IF THERE IS A CONFLICT, THE CITY'S SUPPLEMENTAL STANDARD DETAILS WILL GOVERN.
- THE CITY ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DECISIONS. THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE CITY.
- THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF AN ENCROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS, THE PLANS MUST BE RESUBMITTED TO THE CITY FOR REAPPROVAL.
- A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE CITY OF SCOTTSDALE RIGHTS-OF-WAY AND IN EASEMENTS. NOTIFY INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480-312-5750.
- WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER 602-263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES IS IDENTIFIED FOR THE PROJECT. CALL "COLLECT" IF NECESSARY.
- ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE CITY ONLY AFTER THE REQUESTANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
- ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 10, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE UNIFORM BUILDING CODE PREPARED BY THE INTERNATIONAL BUILDING OFFICIALS. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE CITY FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.

## DEVELOPER/OWNER

STANDARD PACIFIC HOMES  
8710 N. SCOTTSDALE RD  
SCOTTSDALE, ARIZONA 85240  
TEL. NO. (480) 577-7554  
FAX: (480) 589-1656  
CONTACT: CHRIS CLINT

## LAND SURVEYOR

SURVEY INNOVATION GROUP, INC.  
7301 EAST EVANS ROAD  
SCOTTSDALE, ARIZONA 85240  
TEL. NO. (480) 823-5780  
CONTACT: CHRIS CLINT

## CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.  
7740 N. 18TH STREET  
SUITE 300  
PHOENIX, ARIZONA 85009  
TEL. NO. (602) 944-5000  
FAX NO. (602) 944-7423  
CONTACT: ANDREW JAPP, PE

## CITY OF SCOTTSDALE

### BENCHMARK DATA

FOR SURVEY INNOVATION GROUP, THE BENCHMARK IS MARICOPA COUNTY BRASS CAP IN HAND HOLE AT THE INTERSECTION OF STAGE COACH PASS AND PIMA ROAD, MC SC 154, DOWN D.S.W. ELEVATION = 2281.11 (D.A.M.D. 18)

### BASIS OF BEARINGS

FOR SURVEY INNOVATION GROUP, THE BASIS OF BEARING IS THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 3 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN.

KIMLEY-HORN AND ASSOCIATES INC. HAS NOT BEEN RETAINED BY THE OWNER/DEVELOPER TO PROVIDE AS-BUILT OR CERTIFICATION SERVICES. THE CONTRACTOR SHALL PROVIDE APPROPRIATE PROFESSIONALS, INCLUDING AN ARIZONA REGISTERED PROFESSIONAL ENGINEER, TO PROVIDE ALL NECESSARY OBSERVATIONS AND AS-BUILT INFORMATION TO ENABLE ALL FINAL PERMITS, INSPECTIONS, SIGN-OFFS AND CERTIFICATES TO BE ISSUED BY ALL NECESSARY JURISDICTIONS.

I HEREBY CERTIFY THAT ALL ELEVATIONS REPRESENTED ON THIS PLAN ARE BASED ON THE ELEVATION DATUM FOR THE CITY OF SCOTTSDALE BENCHMARK PROVIDED ABOVE.

SIGNATURE: *Jimmy M. Jones* DATE: 01/13/2014

## UTILITY AND GOVERNING AGENCIES CONTACT LIST:

DEPARTMENT OF	WATER / SEWER	TELEPHONE COMPANY
CITY OF SCOTTSDALE	CITY OF SCOTTSDALE	CENTURION
MARICOPA COUNTY	8101 E. SAN SALVADOR DR	333 NORTH 44TH STREET
USDI NORTH CENTRAL AVIZOR	SCOTTSDALE, ARIZONA 85208	PHOENIX, ARIZONA 85008
PHOENIX, ARIZONA 85004	TEL. NO. (480) 312-2778	TEL. NO. (602) 630-0508
TEL. NO. (602) 506-8423		
POWER COMPANY	DAE COMPANY	CABLE TV
SRP ELECTRIC	SOUTHWEST GAS COMPANY	COX COMMUNICATIONS
1521 N. PROJECT DRIVE	10851 NORTH BLACK CANYON	1550 W. DEER VALLEY ROAD
TEMPE, AZ 85281	PHOENIX, ARIZONA 85029	PHOENIX, AZ 85027
TEL. NO. (602) 338-0777	TEL. NO. (480) 312-4159	TEL. NO. (602) 328-3389

## FLOOD INFORMATION

ACCORDING TO THE FLOOD INSURANCE RATE MAP (#041301785), DATED OCTOBER 18, 2013, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X". AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

COMMUNITY NUMBER	COMMUNITY MAP	PANEL #	PANEL DATE	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEVATION (ON AD ZONE USE DEPTH)
045012	0401SC	1765		L	OCTOBER 16, 2013	X	N/A

## ATTACHMENT #2

## WHISPER RIDGE IMPROVEMENT PLANS

## COVER SHEET

136TH ST./SHEA BLVD. SCOTTSDALE, AZ

Kimley-Horn and Associates, Inc.

2501 N. 10TH STREET, SUITE 300  
PHOENIX, ARIZONA 85016  
TEL. (602) 944-5000

DESIGNED: \_\_\_\_\_ DRAWN: \_\_\_\_\_ CHECKED: \_\_\_\_\_

SCALE: 1"=40'-0"





DATE: FEB 14, 2014

PROJECT NO.: \_\_\_\_\_

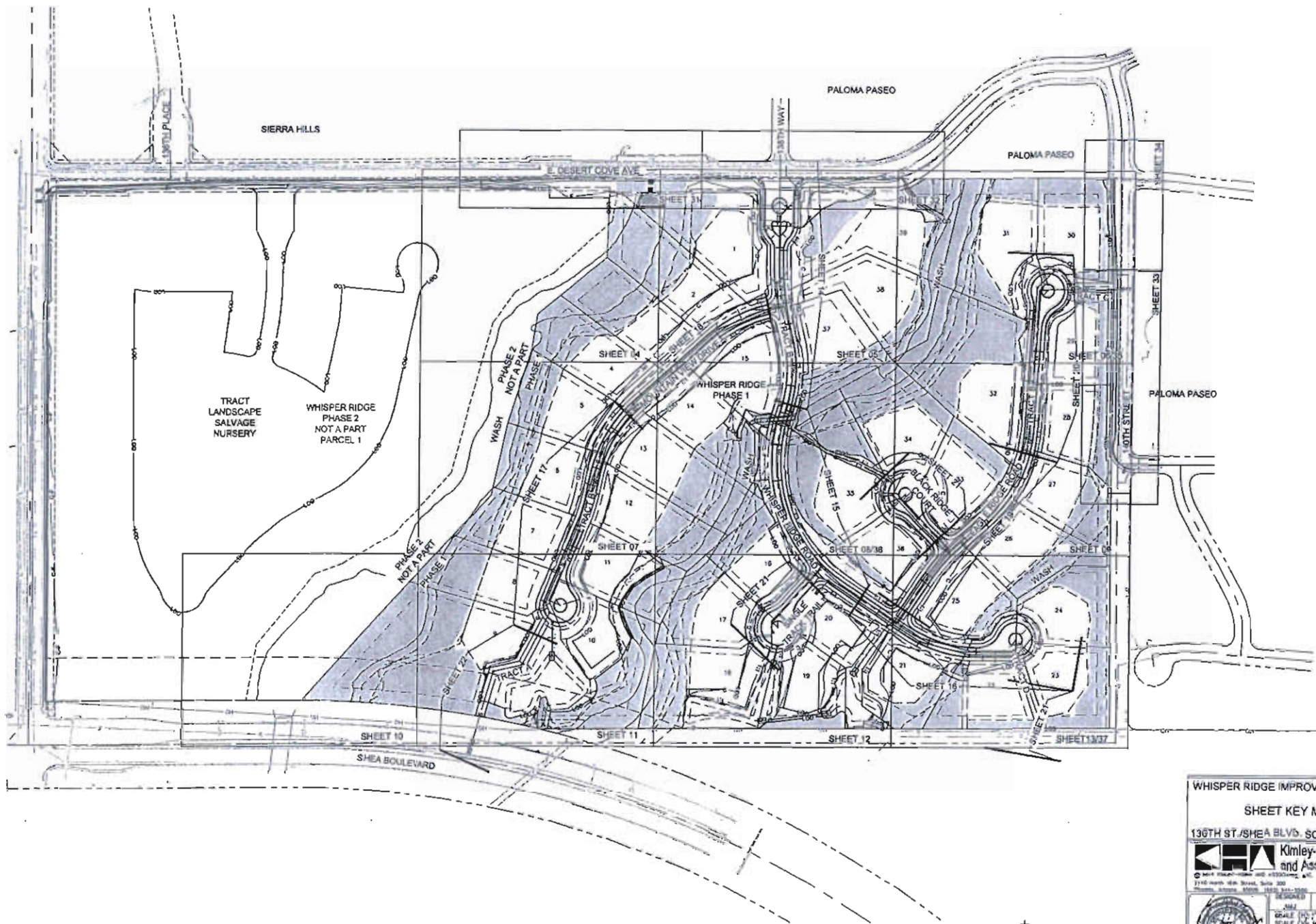
DWG. NAME: 800PCV-R

SHEET NO.: 01



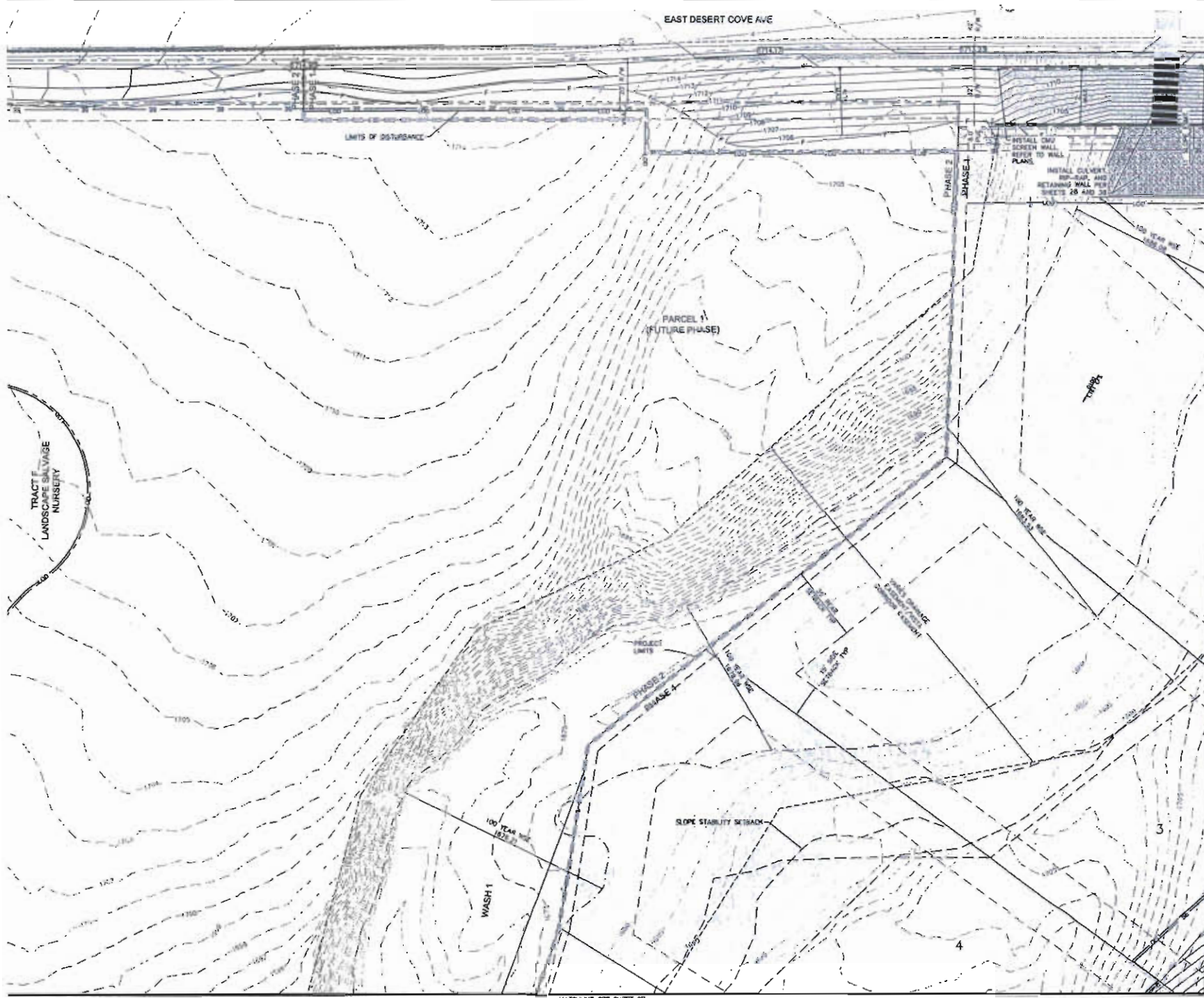
WHISPER RIDGE IMPROVEMENT PLANS			
NOTES, LEGEND, AND ABBREVIATIONS			
136TH ST./SHEA BLVD. SCOTTSDALE, AZ			
		Kinley-Horn and Associates, Inc.	
© 2014 KINLEY-HORN AND ASSOCIATES, INC.			
7740 North 16th Street, Suite 500 Phoenix, AZ 85020 (602) 944-5549			
	CHECKED		CHECKED
	AMJ	DNW	WLD
	DATE: 1/17/2016		SHEET NO. 02
	DES. DATE: 02/10/14		
	PROJECT NO. 10073009		
DWG. NAME: BOONETT-R			





WHISPER RIDGE IMPROVEMENT PLANS			
SHEET KEY MAP			
139TH ST./SHEA BLVD. SCOTTSDALE, AZ			
		<b>Kimley-Horn and Associates, Inc.</b> <small>1740 North 48th Street, Suite 200 Phoenix, Arizona 85018-1000</small>	
	DESIGNED SCALE 1/2" = 100' DATE:	DRAWN LTA SCALE 1/2" = 100' DATE:	CHECKED JLD
PROJECT NO. 081300000	DATE: 2014	SHEET NO. 03	TOTAL SHEETS 37

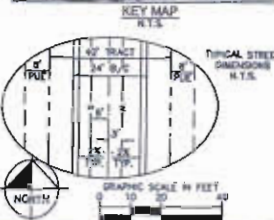




# **GRADING AND DRAINAGE NOTES**

1. INSTALL HOPE STORM DRAIN PIP. LENGTH, SIZE, & SLOPE PER PLAN.
2. INSTALL TYPE "A" HEADWALL PER MAG STD DET 301.
3. INSTALL RIP-RAP SPILLWAY PER DETAIL ON SHEET 30.
4. INSTALL TYPE "B" CATCH BASIN PER MAG 31A.
5. INSTALL 6"x6" BOX CULVERT PER ADOPT STD DET 301 & DET. SEE SHEET 27 FOR DETAILS. HEADWALLS TO BE INSTALLED PER ADOPT STD DET 301 & DET 301 "TYPE B".
6. REFER TO WALL PLANS.
7. INSTALL GRADED RIP-RAP PER DETAIL SHEET 30.
8. INSTALL 12"x12" 6'-18" RIP RAP ON CLASS B FILTER FABRIC.
9. NOT USED.
10. INSTALL EROSION DEGRADATION RIP-RAP BASIN PER DETAIL ON SHEET 30.
11. CONCEPTUAL DRIVEWAY LOCATION REFER TO BUILDING PLANS FOR DRIVEWAY CONSTRUCTION.
12. CONSTRUCT CUT OFF WALL PER DETAIL ON SHEET 30 & ELEVATIONS PER PLAN.
13. RIP RAP PER DETAIL ON SHEET 30.
14. CONSTRUCT EMERGENCY SPILLWAY PER DETAIL ON SHEET 30.
15. INSTALL TRASH RACK PER MAG STD DET 302-2.

NOTE: FUTURE BUILDING PAD (NOT A PART OF THIS PERMIT SET) SHALL BE GRADED TO CONFORM TO FUTURE 4 IN THE APPROVED DRAINAGE REPORT.



## **WHISPER RIDGE IMPROVEMENT PLANS**

### **GRADING AND DRAINAGE PLAN**

138TH ST / SHEA BLVD. SCOTTSDALE, AZ

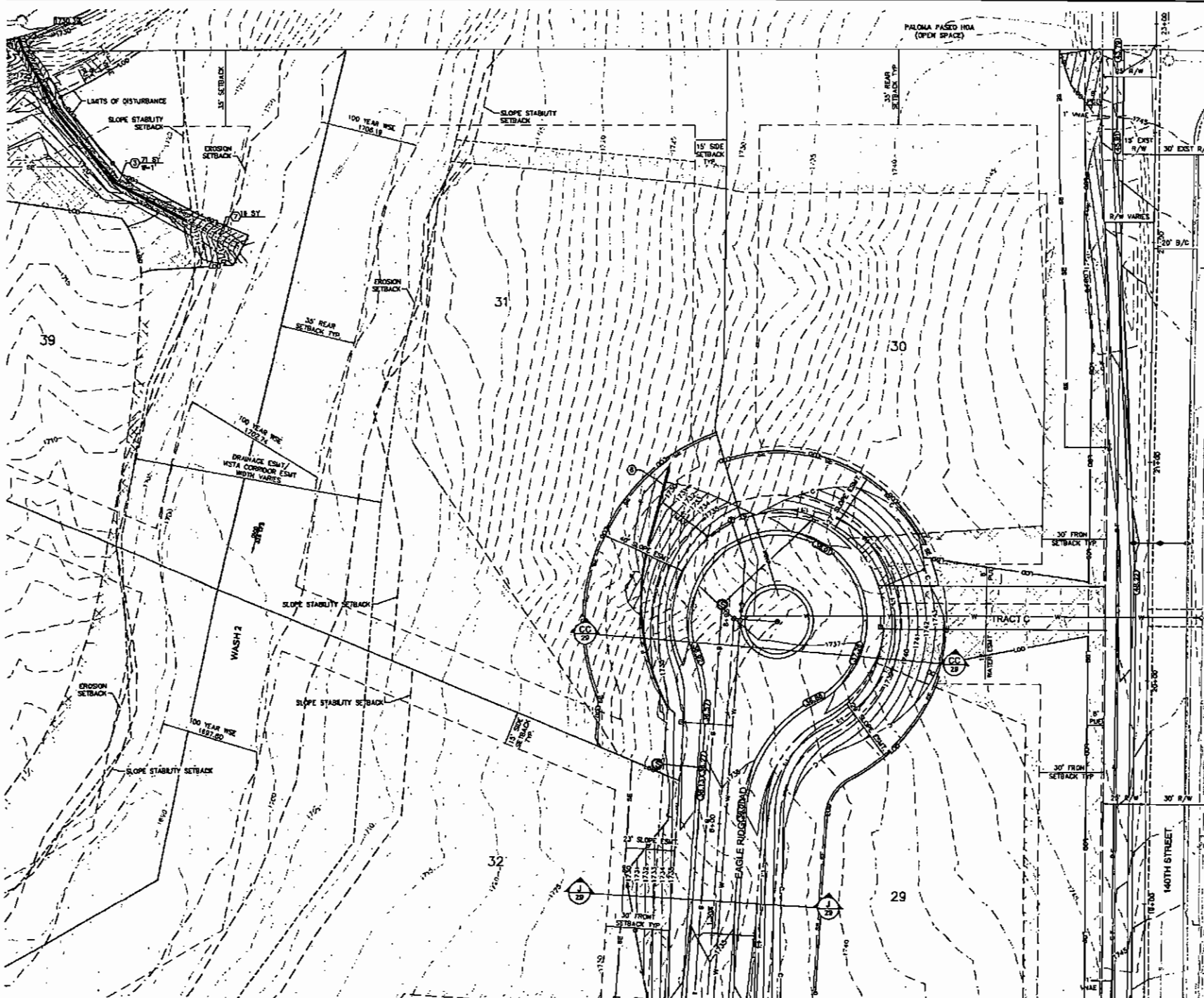
**Kimley-Horn and Associates, Inc.**

DESIGNED	DRAWN	CHECKED
SCALE (H & V) 1"=50'	SCALE (H & V) 1"=50'	SCALE (H & V) 1"=50'
DATE: JUL 2024	PROJECT NO. 138TH ST	SHEET NO. 04
DR. NAME: [blank]	DR. NAME: [blank]	DR. NAME: [blank]





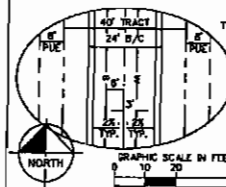
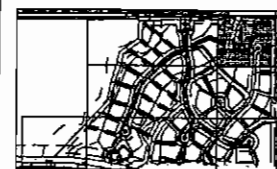




# **GRADING AND DRAINAGE NOTES**

1. INSTALL HOPE STORM DRAIN PIPE, LENGTH, SIZE, A SLOPE PER PLAN.
2. INSTALL TYPE 'V' HEADWALL PER MAG STD DET 30.
3. INSTALL R/W-RAIP SPILLWAY PER DETAIL ON SHEET 30.
4. INSTALL TYPE 'T' CATCH BASIN PER MAG STD.
5. INSTALL BOX 'B' CULVERT PER MAG STD DET SE. SEE SHEET 27 FOR DETAILS. MINIMUMS TO B. INSTALLED PER MAG STD DET 30 AND TYPE 'B'.
6. REFER TO WALL PLANS.
7. INSTALL GROUTED R/W-RAIP PER DETAIL, SHEET 30.
8. INSTALL DRAINAGE DRAINAGE R/W-RAIP ON CLASS II FILTER FABRIC.
9. NOT USED.
10. INSTALL ENERGY DISSIPATION R/W-RAIP BASIN PER DETAIL ON SHEET 30.
11. CONCEPTUAL DRIVEWAY LOCATION REFER TO BUILDING PLANS FOR DRIVEWAY CONSTRUCTION.
12. CONSTRUCT CUT OFF WALL PER DETAIL ON SHEET 3 ELEVATIONS PER PLAN.
13. R/W-RAIP R/W-RAIP PER DETAIL ON SHEET 30.
14. CONSTRUCT EMERGENCY SPILLWAY PER DETAIL ON SHEET 30.
15. INSTALL TRASH RACK PER MAG STD DET 302-2.

NOTE: FUTURE BUILDING PLANS (NOT A PART OF THIS PERMIT SET) SHALL BE GRADDED TO CONFORM TO FIGURE 4-B IN THE APPROVED DRAINAGE REPORT.



## **WHISPER RIDGE IMPROVEMENT PLANS**

### **GRADING AND DRAINAGE PLAN**

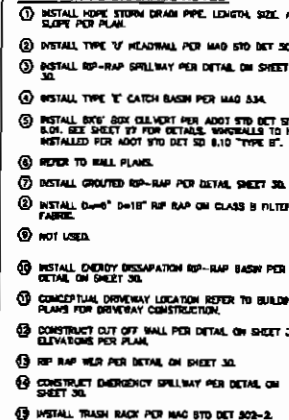
136TH ST./SHEA BLVD. SCOTTSDALE, AZ

**Kimley-Horn and Associates, Inc.**  
 2740 NORTH 16TH STREET, SUITE 200  
 SCOTTSDALE, ARIZONA 85257-8001 TEL: 480-344-1000

DESIGNED	DRAWN	CHECKED
AMJ	MTA	MLD
SCALE (H) 1"=20'	SCALE (V) 1"=2'	
DATE: JUL 2024		SHEET NO.
PROJECT NO. 001000009		06
DWG. NAME 000900-R		01-43-414

MATCHLINE SEE SHEET 08

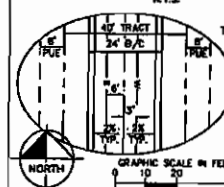




NOTE: FUTURE BUILDING PAD'S (NOT A PART OF THIS PERMIT SET) SHALL BE GRADED TO CONFORM TO FIGURE 4 IN THE APPROVED DRAINAGE REPORT.



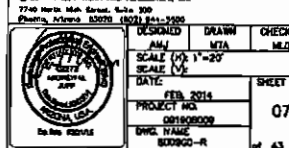
**KEY MAP**



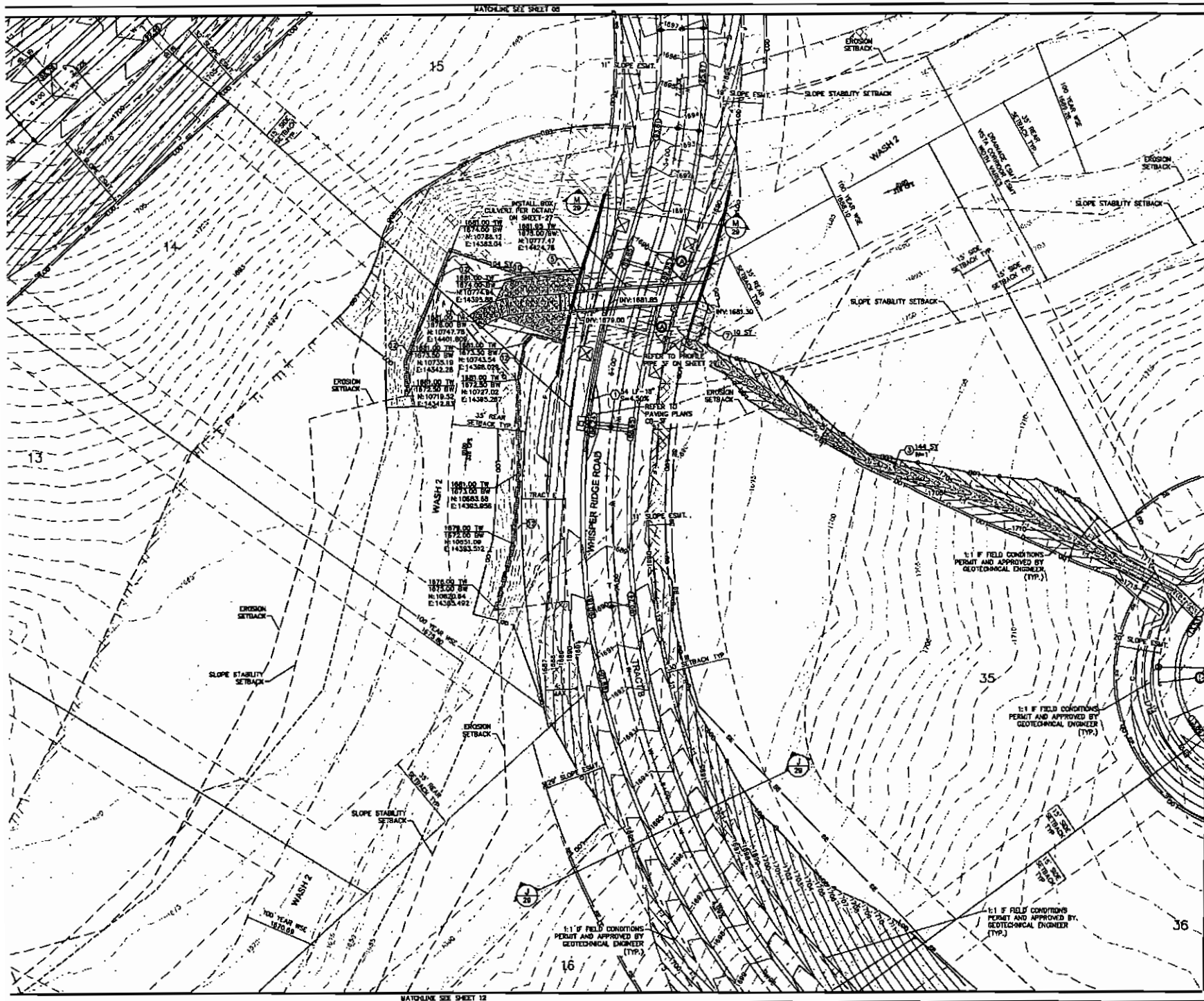
### WHISPER RIDGE IMPROVEMENT PLANS

## GRADING AND DRAINAGE PLAN

138TH ST./SHEA BLVD. SCOTTSDALE, AZ



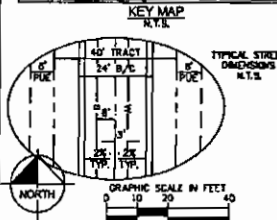
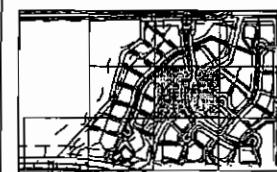




# GRADING AND DRAINAGE NOTES

- ① INSTALL HOPE STORM DRAIN PIPE LENGTH SIZE, / SLOPE PER PLAN
- ② INSTALL TYPE "V" HEADWALL PER MAG STD DET 50
- ③ INSTALL RIP-RAP SILLWAY PER DETAIL ON SHEET 30
- ④ INSTALL TYPE "E" CATCH BASIN PER MAG S.M.
- ⑤ INSTALL 8"x8" BOX CULVERT PER ADOT STD DET 51 SEE SHEET 27 FOR DETAILS. MINOR WALLS TO 1' INSTALLED PER ADOT STD DET 51 8"x10" TYPE "D".
- ⑥ REFER TO WALL PLANS.
- ⑦ INSTALL GROUTED RIP-RAP PER DETAIL SHEET 30.
- ⑧ INSTALL 24"x24" 18" DIA RIP-RAP ON CLASS 5 FILTER FABRIC.
- ⑨ NOT USED.
- ⑩ INSTALL ENERGY DISSIPATION RIP-RAP BASIN PER DETAIL ON SHEET 30.
- ⑪ CONCEPTUAL DRIVEWAY LOCATION REFER TO BUILDING PLANS FOR DRIVEWAY CONSTRUCTION.
- ⑫ CONSTRUCT CUT OFF WALL PER DETAIL ON SHEET 2 ELEVATIONS PER PLAN.
- ⑬ RIP-RAP REIN PER DETAIL ON SHEET 30.
- ⑭ CONSTRUCT EMERGENCY SPALLWAY PER DETAIL ON SHEET 30.
- ⑮ INSTALL TRASH RACK PER MAG STD DET 502-2.

NOTE: FUTURE BUILDING PADS (NOT A PART OF THIS PERMIT SET) SHALL BE GRADED TO CONFORM TO FIGURE 4 IN THE APPROVED DRAINAGE REPORT.



## WHISPER RIDGE IMPROVEMENT PLANS

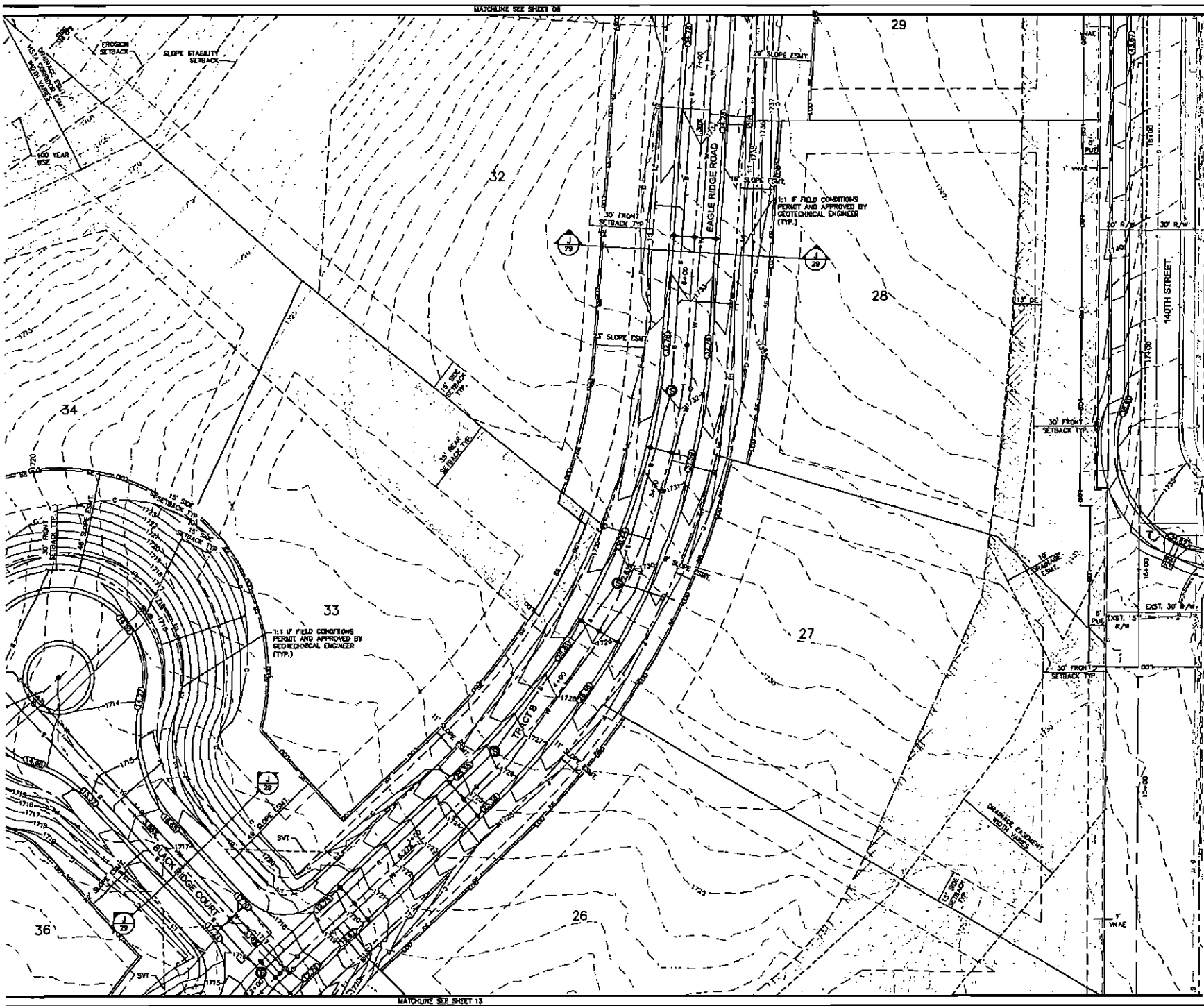
### GRADING AND DRAINAGE PLAN

136TH ST./SHEA BLVD. SCOTTSDALE, AZ

**Kimley-Horn and Associates, Inc.**  
 2014 KIMLEY-HORN AND ASSOCIATES, INC.  
 7740 NORTH 16TH STREET, SUITE 300  
 PHOENIX, ARIZONA 85020 (602) 944-2288

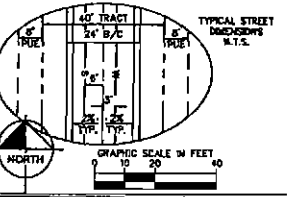
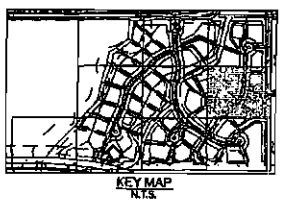
DESIGNED	AMJ	DATE	CHECKED	MD
SCALE (HORIZONTAL)	1"=20'	DATE		
SCALE (VERTICAL)	1"=4'	DATE		
PROJECT NO.	081908008	DATE		
DWG. NAME	800000-11	DATE		
SHEET NO.	08	DATE		





- GRADING AND DRAINAGE NOTES**
1. INSTALL HOPE STORM DRAIN PIPE, LENGTH, SIZE, & SLOPE PER PLAN.
  2. INSTALL TYPE "U" HEADWALL PER MAG STD DET 30.
  3. INSTALL RIP-RAP SPILLWAY PER DETAIL ON SHEET 30.
  4. INSTALL TYPE "E" CATCH BASIN PER MAG 534.
  5. INSTALL BOX BOX CULVERT PER ADOT STD DET 32 8.01. SEE SHEET 27 FOR DETAILS. WALLS TO BE INSTALLED PER ADOT STD DET 30 8.10 TYPE "B".
  6. REFER TO WALL PLANS.
  7. INSTALL GROUTED RIP-RAP PER DETAIL SHEET 30.
  8. INSTALL 12"x12" D=16" RIP-RAP ON CLASS 8 FILTER FABRIC.
  9. NOT USED.
  10. INSTALL ENERGY DISSIPATION RIP-RAP BASIN PER DETAIL ON SHEET 30.
  11. CONCEPTUAL DRAINAGE LOCATION REFER TO BUILDING PLANS FOR DRAINAGE CONSTRUCTION.
  12. CONSTRUCT CUT OFF WALL PER DETAIL ON SHEET 2 ELEVATIONS PER PLAN.
  13. RIP-RAP PER DETAIL ON SHEET 30.
  14. CONSTRUCT EMERGENCY SPILLWAY PER DETAIL ON SHEET 30.
  15. INSTALL TRASH RACK PER MAG STD DET 302-2.

NOTE: FUTURE BUILDING PADS (NOT A PART OF THIS PERMIT SET) SHALL BE GRADED TO CONFORM TO FIGURE 4 IN THE APPROVED DRAINAGE REPORT.



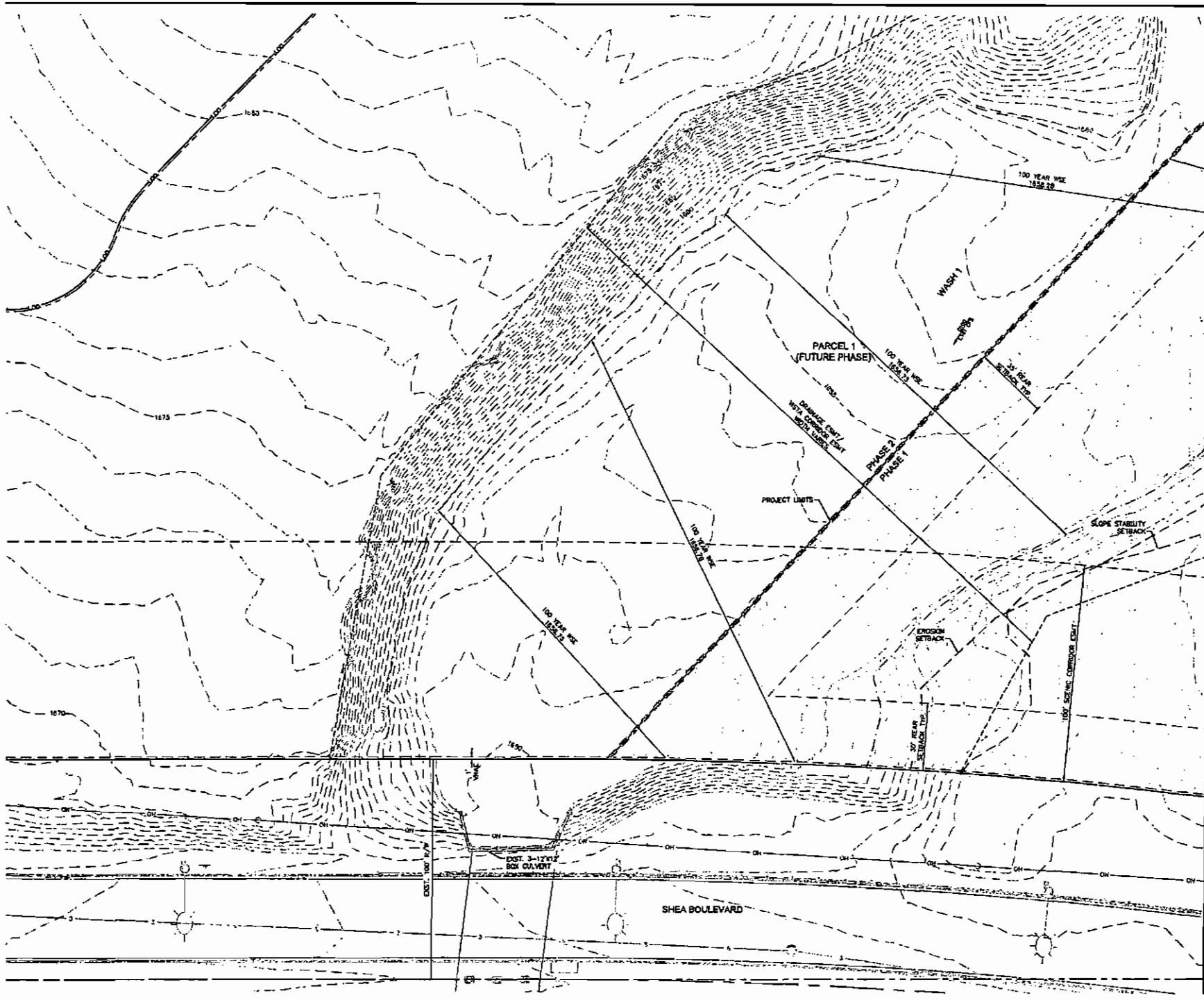
WHISPER RIDGE IMPROVEMENT PLANS  
GRADING AND DRAINAGE PLAN  
136TH ST./SHEA BLVD. SCOTTSDALE, AZ

**Kimley-Horn and Associates, Inc.**  
1740 North 16th Street, Suite 300  
Phoenix, Arizona 85020 (602) 944-1000

DESIGNED: AMJ  
SCALE: HORIZ. 1"=20'  
SCALE: VERT. 1"=2'  
DATE: FEB. 2014  
PROJECT NO.: 091000000  
CIVIL NAME: 091000-R

DRAWN: MTA  
CHECKED: MLD  
SHEET NO.: 09  
OF 43

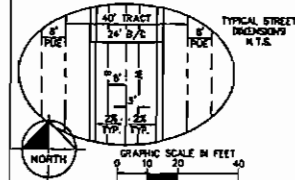
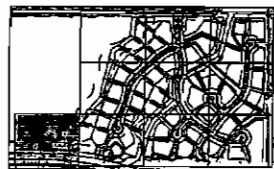




# GRADING AND DRAINAGE NOTES

1. INSTALL HDPE STORM DRAIN PIPE LENGTH, SIZE, & SLOPE PER PLAN.
2. INSTALL TYPE "U" HEADWALL PER MAG STD DET 50.
3. INSTALL RP-RAP SPILLWAY PER DETAIL ON SHEET 30.
4. INSTALL TYPE "C" CATCH BASIN PER MAG STD DET 53-1.
5. INSTALL 6"x6" BOX CULVERT PER ADOT STD DET 52 & 6.01 SEE SHEET 27 FOR DETAILS. WHEREAS TO E. INSTALLED PER ADOT STD DET 50 & 6.10 TYPE "B".
6. REFER TO WALL PLANS.
7. INSTALL GROUTED RP-RAP PER DETAIL SHEET 30.
8. INSTALL 6"x6" D=18" RP-RAP ON CLASS B FILTER FABRIC.
9. NOT USED.
10. INSTALL ENERGY DISSIPATION RP-RAP BASIN PER DETAIL ON SHEET 30.
11. CONCEPTUAL DRIVEWAY LOCATION REFER TO SURVEY PLANS FOR DRIVEWAY CONSTRUCTION.
12. CONSTRUCT CUT OFF WALL PER DETAIL ON SHEET 3 ELEVATIONS PER PLAN.
13. RP-RAP WEIR PER DETAIL ON SHEET 30.
14. CONSTRUCT EXCESSIVITY SPILLWAY PER DETAIL ON SHEET 30.
15. INSTALL TRASH RACK PER MAG STD DET 502-1.

NOTE: FUTURE BUILDING PADS (NOT A PART OF THIS PERMIT SET) SHALL BE GRADED TO CONFORM TO FIGURE 4 OF THE APPROVED DRAINAGE REPORT.



## WHISPER RIDGE IMPROVEMENT PLANS GRADING AND DRAINAGE PLAN

136TH ST./SHEA BLVD. SCOTTSDALE, AZ.

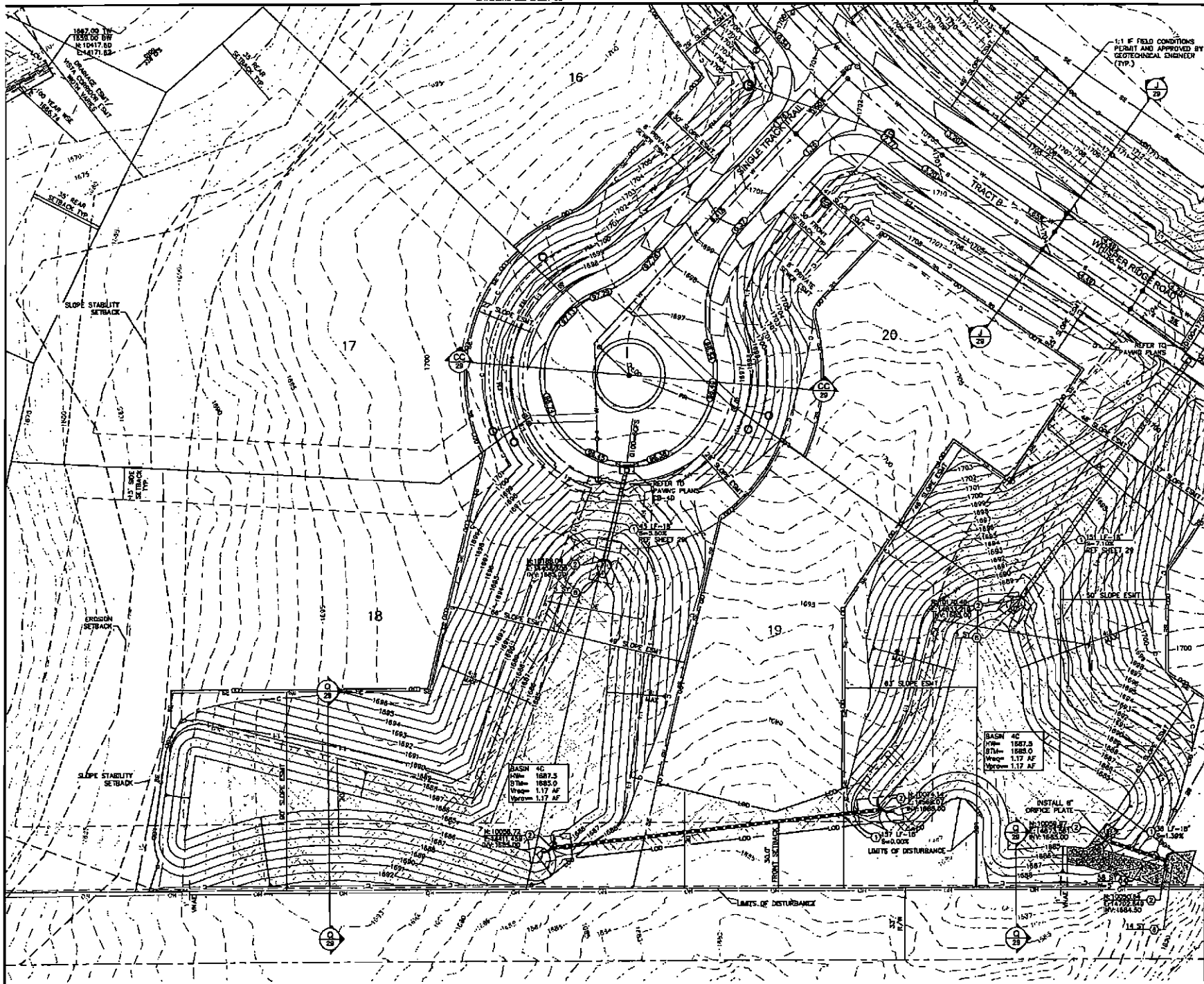
**Kimley-Horn and Associates, Inc.**  
7745 North 16th Street, Suite 200  
Phoenix, Arizona 85029 (602) 944-1500

DESIGNED	DRAWN	CHECKED
AMJ	MTA	MSD
SCALE (H/C) 1"=20'		
SCALE (V/S) 1"=5'		
DATE: FEB. 2014		
PROJECT NO. 001900009		
DRG. NAME: 000000-R		
SHEET NO. 10		
OF 43 SHEETS		





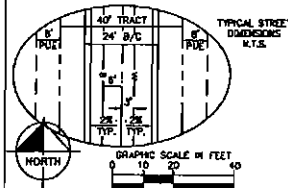
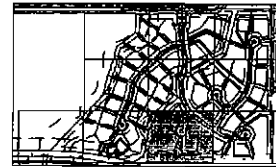




# GRADING AND DRAINAGE NOTES

1. INSTALL HOPE STORM DRAIN PIPE. LENGTH, SIZE, SLOPE PER PLAN.
2. INSTALL TYPE 'U' HEADWALL PER MAG STD DET 56.
3. INSTALL RP-RAP SPILLWAY PER DETAIL ON SHEET 30.
4. INSTALL TYPE 'E' CATCH BASIN PER MAG 33A.
5. INSTALL 8x8" BOX CULVERT PER ADOT STD DET 8.8.01. SEE SHEET 27 FOR DETAILS. WALLS TO BE INSTALLED PER ADOT STD DET 8.10 "TYPE U".
6. REFER TO WALL PLANS.
7. INSTALL GROUTED RP-RAP PER DETAIL SHEET 30.
8. INSTALL D=8" D=16" RP RAP ON CLASS B FILTER FABRIC.
9. NOT USED.
10. INSTALL EMERGENCY DISSAPATION RP-RAP BASIN PER DETAIL ON SHEET 30.
11. CONCEPTUAL DRIVEWAY LOCATION REFER TO BUILD PLANS FOR DRIVEWAY CONSTRUCTION.
12. CONSTRUCT CUT SET WALL PER DETAIL ON SHEET ELEVATIONS PER PLAN.
13. RP RAP WEIR PER DETAIL ON SHEET 30.
14. CONSTRUCT EMERGENCY SPILLWAY PER DETAIL ON SHEET 30.
15. INSTALL TRASH RACK PER MAG STD DET 502-2.

NOTE: FUTURE BUILDING PADS (NOT A PART OF THIS PERMIT SET) SHALL BE GRADED TO CONFORM TO FIGURE 4 IN THE APPROVED DRAINAGE REPORT.



## WHISPER RIDGE IMPROVEMENT PLANS

### GRADING AND DRAINAGE PLAN

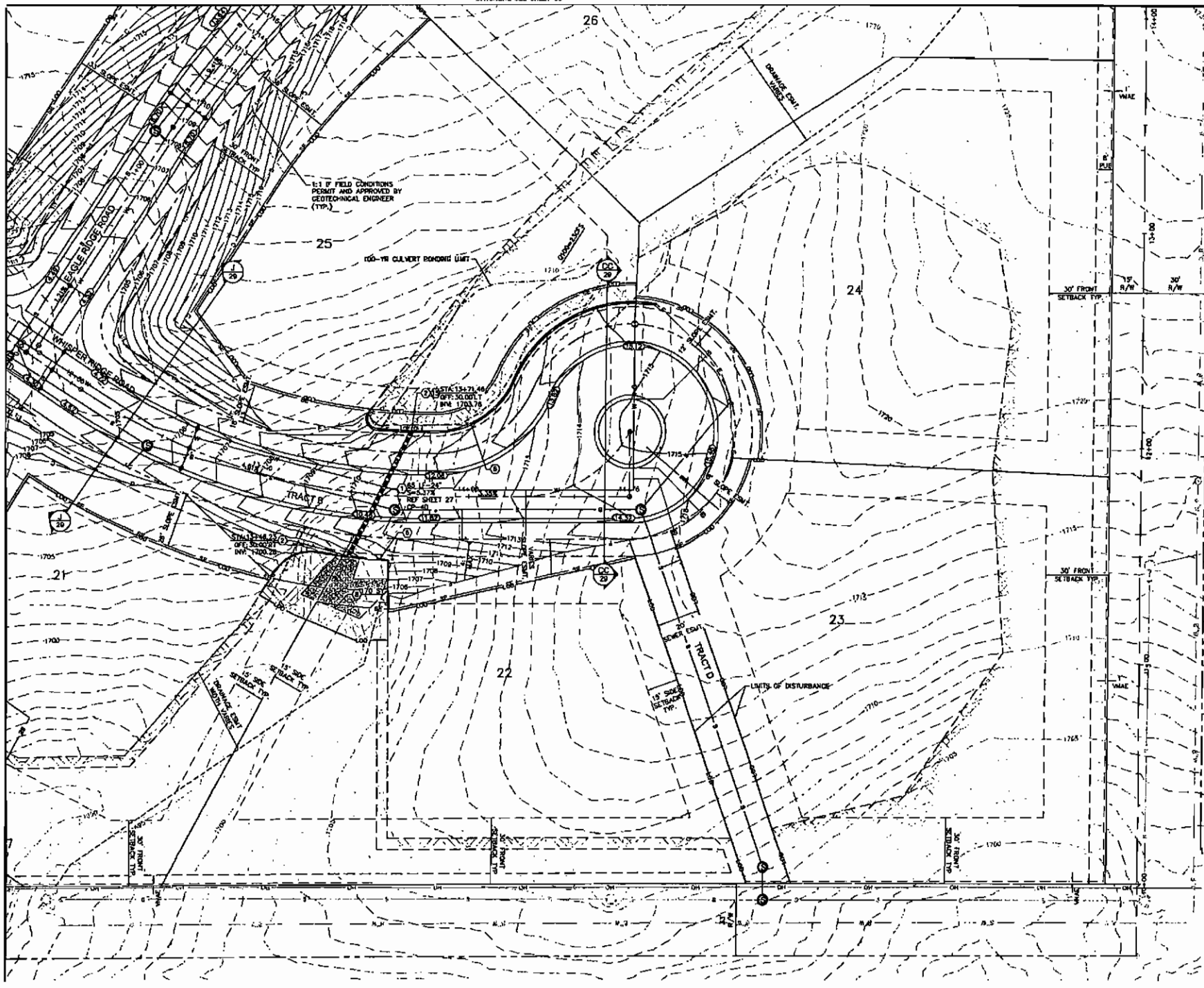
136TH ST./SHEA BLVD. SCOTTSDALE, AZ

**Kimley-Horn and Associates, Inc.**  
 3034 N. 10TH ST. SUITE 300  
 PHOENIX, ARIZONA 85028 (602) 944-2000

DESIGNED	DRAWN	CHECKED
AMJ	MTA	MJD
SCALE (H): 1"=20'	SCALE (V):	
DATE: FEB 2014		
PROJECT NO.: 081808009		
DRG. NAME: 800000-R		
		SHEET NO. 12
		OF 43



WATCHLINE SEE SHEET 00



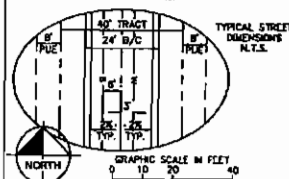
# **GRADING AND DRAINAGE NOTES**

1. INSTALL HDPE STORM DRAIN PIPE, LENGTH, SIZE, SLOPE PER PLAN.
2. INSTALL TYPE 'V' HEADWALL PER MAG STD DET 3.
3. INSTALL RP-RAP SPILLWAY PER DETAIL ON SHEET 30.
4. INSTALL TYPE 'E' CATCH BASIN PER MAG 534.
5. INSTALL 24" BOX CULVERT PER ADOOT STD DET 1 & 2. SEE SHEET 27 FOR DETAILS. HEADWALLS TO BE INSTALLED PER ADOOT STD DET 50 & 10 "TYPE B".
6. REFER TO WALL PLANS.
7. INSTALL GROUTED RP-RAP PER DETAIL SHEET 30.
8. INSTALL D=6" D=16" RP-RAP ON CLASS B /LITE FABRIC.
9. NOT USED.
10. INSTALL ENERGY DISSIPATION RP-RAP BASIN PER DETAIL ON SHEET 30.
11. CONCEPTUAL DRIVEWAY LOCATION REFER TO BUILD PLANS FOR DRIVEWAY CONSTRUCTION.
12. CONSTRUCT CUT OFF WALL PER DETAIL ON SHEET ELEVATIONS PER PLAN.
13. RP-RAP WEIR PER DETAIL ON SHEET 30.
14. CONSTRUCT EMERGENCY SPILLWAY PER DETAIL ON SHEET 30.
15. INSTALL TRASH RACK PER MAG STD DET 502-2.

NOTE: FUTURE BUILDING PAD (NOT A PART OF THIS PERMIT SET) SHALL BE GRADED TO CONFORM TO FIGURE 4 IN THE APPROVED DRAINAGE REPORT.



KEY MAP  
N.T.S.



TYPICAL STREET CROSS-SECTION  
N.T.S.

## **WHISPER RIDGE IMPROVEMENT PLANS**

### **GRADING AND DRAINAGE PLAN**

136TH ST / SHEA BLVD. SCOTTSDALE, AZ

**Kimley-Horn and Associates, Inc.**

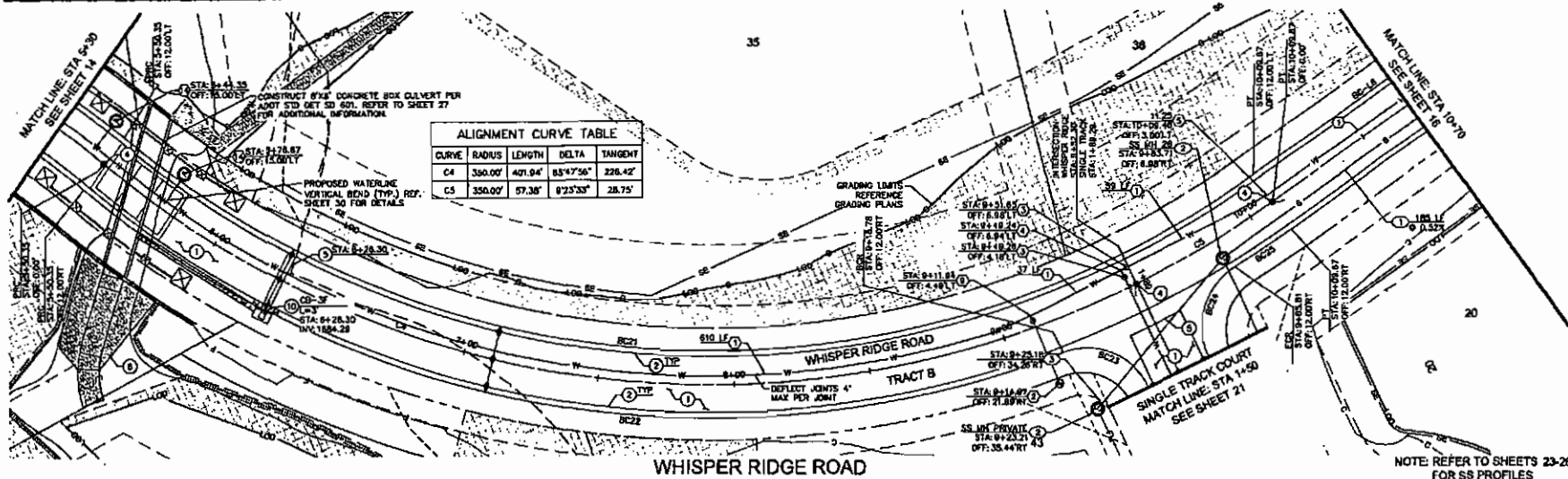
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7740 North 16th Street, Suite 300  
Phoenix, Arizona 85020 (602) 944-2300

DESIGNED	DRAWN	CHECKED
AM	REA	MSD
SCALE (H): 1"=20'	SCALE (V):	
DATE: FEB 2014	PROJECT NO: 091308020	SHEET NO: 13
DWG. NAME: 800PCD-R		OF 63 PLS









CURVE	RADIUS	LENGTH	DELTA	TANGENT
C4	350.00'	401.94'	85°47'56"	226.42'
C5	350.00'	57.38'	8°23'33"	28.75'

#### PAVING NOTES:

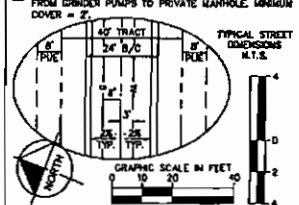
1. CONSTRUCT 2.5" AC IN 7" ABC
2. CONSTRUCT ROLL CURB PER MAG STD DET 220 TYPE
3. CONSTRUCT HEADWALL PER MAG STD DET 501 TYPE WITH HANDRAIL PER COS STD DET 2306 AND ACCESS BARRIER PER COS STD DET 2463. IN TERRAIN, COLO TO MATCH SURROUNDING DESERT. OWNER TO APPROVE COLOR.
4. INSTALL SURVEY MONUMENT PER COS STD DET 2130 TYPE 12"
5. CONSTRUCT VALLEY GUTTER PER COS STD DET 2240
6. PROPOSED RIP RAP PROTECTION KEYSTONE GRAVIM PLAN
7. INSTALL 4" PVC IRRIGATION SLEEVE LENGTH PER PLAN
8. INSTALL CURB CUT PER SHEET 30. LENGTH PER PLAN
9. CONSTRUCT CURB TRANSITION PER MAG STD DET 22
10. INSTALL CATCH BASIN PER MAG STD DET 333 TYPE CURB OPENING LENGTH AND INVERT PER PLAN
11. INSTALL CATCH BASIN PER MAG STD DET 332 TYPE UNLESS OTHERWISE NOTED

#### WATER NOTES:

1. INSTALL 8" DP CLASS 350 WATER LINE TRENCH BACKFILL PER COS STD DET 2309. LENGTH PER PLAN MIN COVER.
2. INSTALL 8" FIRE HYDRANT COMPLETE PER MAG STD DET 303 & 302. INSTALL PAVEMENT MARKERS PER COS STD DET 2303.
3. INSTALL 8" GATE VALVE WITH BROOMING PER MAG STD DET 303. GATE VALVE TO BE INSTALLED WITH VALVE OPERATING NUTS. INSTALL 6" VALVE BOX AND COVER MAG STD DET 301-1 TYPE 4".
4. INSTALL 8"X8" DP TEE WITH THRUST RESTRAINT PER MAG STD DET 303.
5. INSTALL 8" DP TEE WITH THRUST RESTRAINT PER MAG STD DET 303 (IF UNLESS OTHERWISE NOTED). ANGLE PER MAG STD DET 303.
6. INSTALL 8"X8" T&E. B&C COMPLETE PER MAG STD DET 303.
7. INSTALL AIR RELEASE VALVE PER COS STD DET 2348.
8. WATER/SEWER CROSSING. CONTRACTOR TO ENSURE 2' VERTICAL SEPARATION.
9. INSTALL 8"X8" DP TEE WITH THRUST RESTRAINT PER MAG STD DET 303.
10. INSTALL 1" WATER SERVICE LINE CONNECTION PER C.O. STD DET 2330.
11. INSTALL 1"X1" DP REDUCER PER MANUFACTURERS SPECIFICATIONS.
12. INSTALL LANDSCAPE SERVICE LINE CONNECTION PER C.O. STD DET 2330. SIZE PER PLAN.
13. INSTALL 6" PRESSURE REDUCING VALVE PER C.O. STD DET 2348.
14. INSTALL 2" AIR RELEASE VALVE PER COS STD DET 2344

#### SEWER NOTES:

1. INSTALL 8" SDN 35 SEWER PIPE. TRENCH BEDDING AND BACKFILL PER COS STD DET 2309. REFER TO SEWER PROFILE SHEETS 23-28 FOR DETAILS.
2. CONSTRUCT 6" DIAMETER MANHOLE PER COS STD DET 2420 AND 2421. ADJUST RM TO GRADE PER COS STD DET 2270.
3. INSTALL 4" SDN 35 SEWER SERVICE PER MAG STD DET 440-3. 18TH ST/OUTLET AND PLUG AT PROPERTY LINE PER MAG 427.
4. PROPOSED PRIVATE GRINDER PUMP. REFER TO BUILDING PLANS.
5. INSTALL 1-1/4" SDN 40 FORCE MAIN AND FITTINGS FROM GRINDER PUMP TO PRIVATE MANHOLE. JOINTMAN COVER = 2'.



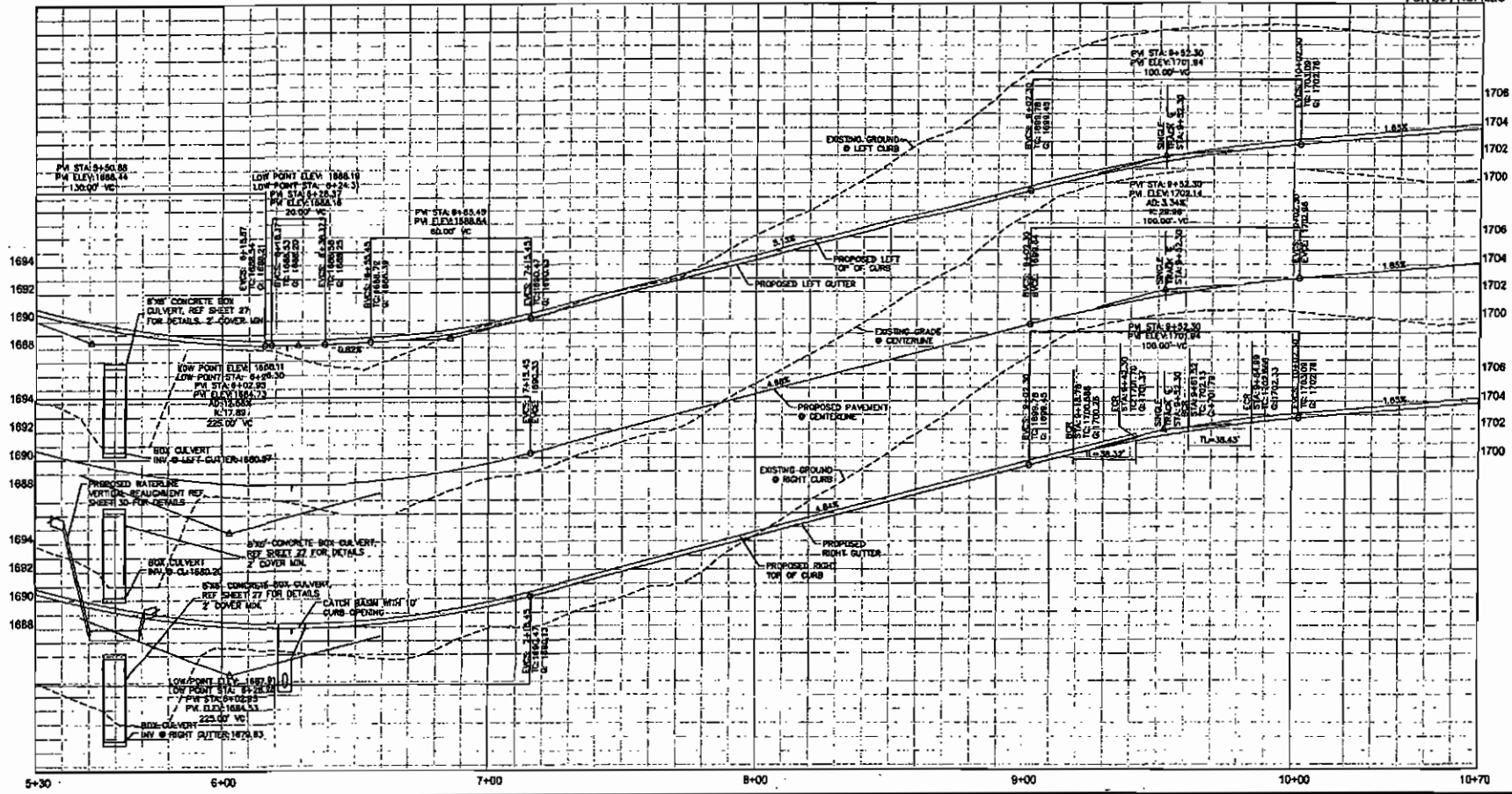
#### WHISPER RIDGE IMPROVEMENT PLANS

#### PAVING PLAN & PROFILE

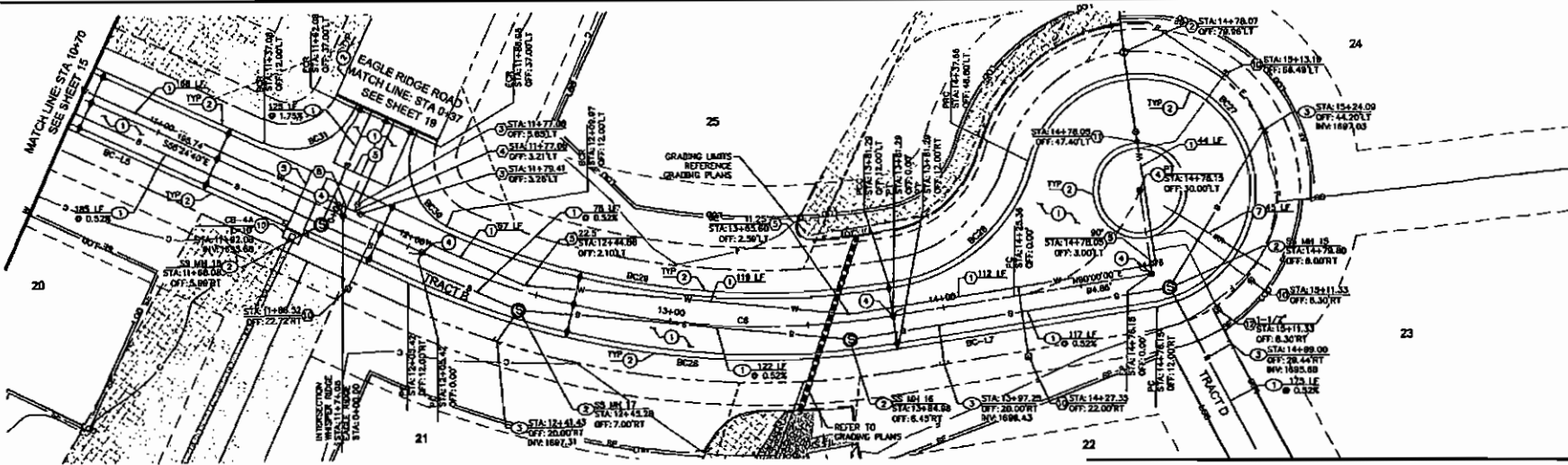
136TH ST/SHEA BLVD. SCOTTSDALE, AZ

**Kimley-Horn and Associates, Inc.**  
 2514 KIMLEY-HORN AND ASSOCIATES, INC.  
 7708 NORTH 190TH STREET, SUITE 200  
 FOUNTAIN HILLS, ARIZONA 85268-1901  
 PHONE: (480) 831-1200 FAX: (480) 831-1201

DESIGNED	DRWN	CHECKED
AMJ	MTA	WLD
SCALE (H): 1"=20'	SCALE (V): 1"=4'	
DATE	FEB 2014	
PROJECT NO.	081900009	
DWG. NAME	8000PAVT-R	
SHEET NO.	15	







ALIGNMENT CURVE TABLE				
CURVE	RADIUS	LENGTH	DELTA	TANGENT
C6	380.00'	175.00'	33°35'20"	90.54'

### WHISPER RIDGE ROAD

NOTE: REFER TO SHEETS 23-28 FOR SS PROFILES

### PAVING NOTES:

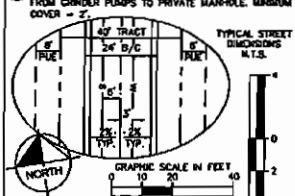
- CONSTRUCT 2.5" AC ON 7" ABC
- CONSTRUCT ROLL CURB PER MAG STD DET 220 TYP
- CONSTRUCT HEADWALL PER MAG STD DET 301 TYP WITH HANDRAIL PER COS STD DET 250R AND ACCESS BARBERS PER COS STD DET 250S. INTERIALLY COLD TO MATCH SURROUNDING DESERT. OWNER TO APPROVE
- INSTALL SURVEY MONUMENT PER COS STD DET 212C TYP IV
- CONSTRUCT VALLEY CUTTER PER COS STD DET 224A
- PROPOSED RIP RAP PROTECTION REFERENCE GRAVITY PLAN
- INSTALL 4" PVC IRRIGATION SLEEVE, LENGTH PER PLAN
- INSTALL CURB CUT PER SHEET 30. LENGTH PER PLAN
- CONSTRUCT CURB TRANSITION PER MAG STD DET 22
- INSTALL CATCH BASIN PER MAG STD DET 333 TYPE CURB OPENING LENGTH AND SPACING PER PLAN
- INSTALL CATCH BASIN PER MAG STD DET 333 TYPE UNLESS OTHERWISE NOTED

### WATER NOTES:

- INSTALL 8" DIP CLASS 350 WATER LINE, TRENCH BACKFILL PER COS STD DET 220A. LENGTH PER PLAN MIN COVER
- INSTALL 8" FIRE HYDRANT COMPLETE PER MAG STD DET 300 A. 2.5" INSTALL PAVEMENT MARKERS PER COS STD DET 236
- INSTALL 8" GATE VALVE WITH BLOWERS PER MAG STD DET 303. GATE VALVE TO BE INSTALLED WITH VALVE OPERATING HITS. INSTALL 6" VALVE BOX AND COVER MAG STD DET 309-1 TYPE "A"
- INSTALL 8" 78" DIP TEE WITH THRUST RESTRAINT PER MAG STD DET 303
- INSTALL DIP BOND WITH THRUST RESTRAINT PER MAG STD DET 303 (8" UNLESS OTHERWISE NOTED). ANGLE PER 340.
- INSTALL 8" 78" TSV, RAC COMPLETE PER MAG STD DET 340.
- INSTALL AIR RELEASE VALVE PER COS STD DET 234B.
- WATER/SEWER CROSSING CONTRACTOR TO ENSURE 2" VERTICAL SEPARATION
- INSTALL 8" 78" DIP TEE WITH THRUST RESTRAINT PER MAG STD DET 303
- INSTALL 1" WATER SERVICE LINE CONNECTION PER C.D. STD DET 233G.
- INSTALL 8" DIP REDUCER PER MANUFACTURERS SPECIFICATIONS
- INSTALL LANDSCAPE SERVICE LINE CONNECTION PER C.D. STD DET 233G. SIZE PER PLAN
- INSTALL 4" PRESSURE REDUCING VALVE PER C.D. STD DET 234C
- INSTALL 2" AIR RELEASE VALVE PER COS STD DET 234

### SEWER NOTES:

- INSTALL 8" SDR 35 SEWER PIPE, TRENCH BEDDING AS BACKFILL PER COS STD DET 220A. REFER TO SEWER PROFILE SHEETS 23-28 FOR DETAILS
- CONSTRUCT 4" DIAMETER MANHOLE PER COS STD DET 242B AND 242C. ADJUST RIM TO GRADE PER COS STD DET 227U
- INSTALL 4" SDR 35 SEWER SERVICE PER MAG STD DET 340-3, WITH STUBOUT AND PLUG AT PROPERTY LINE PER MAG 427.
- PROPOSED PRIVATE GRINDER PUMP, REFER TO BUILDING PLAN
- INSTALL 1-1/4" SDR 40 FORCE MAIN AND FITTINGS FROM GRINDER PUMP TO PRIVATE MANHOLE. MINIMUM COVER = 2'



### WHISPER RIDGE IMPROVEMENT PLANS

### PAVING PLAN & PROFILE

138TH ST./SHEA BLVD. SCOTTSDALE, AZ

**Kimley-Horn and Associates, Inc.**

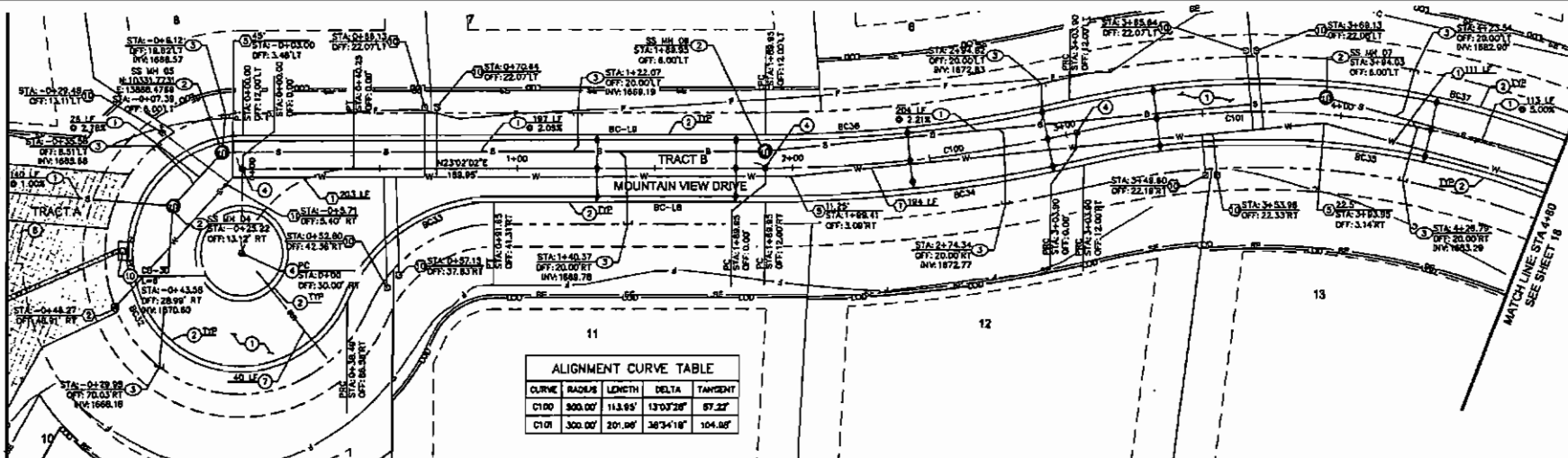
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7740 North 168th Street, Suite 200  
Phoenix, Arizona 85032 (602) 941-1000

DESIGNED	DRAWN	CHECKED
AMJ	MTA	MJD
SCALE: HORIZ. 1"=20'	SCALE: VERT. 1"=4'	
DATE: FEB. 2014	PROJECT NO. C011000009	SHEET NO. 16
CDC NAME: 8006PMUT-R		





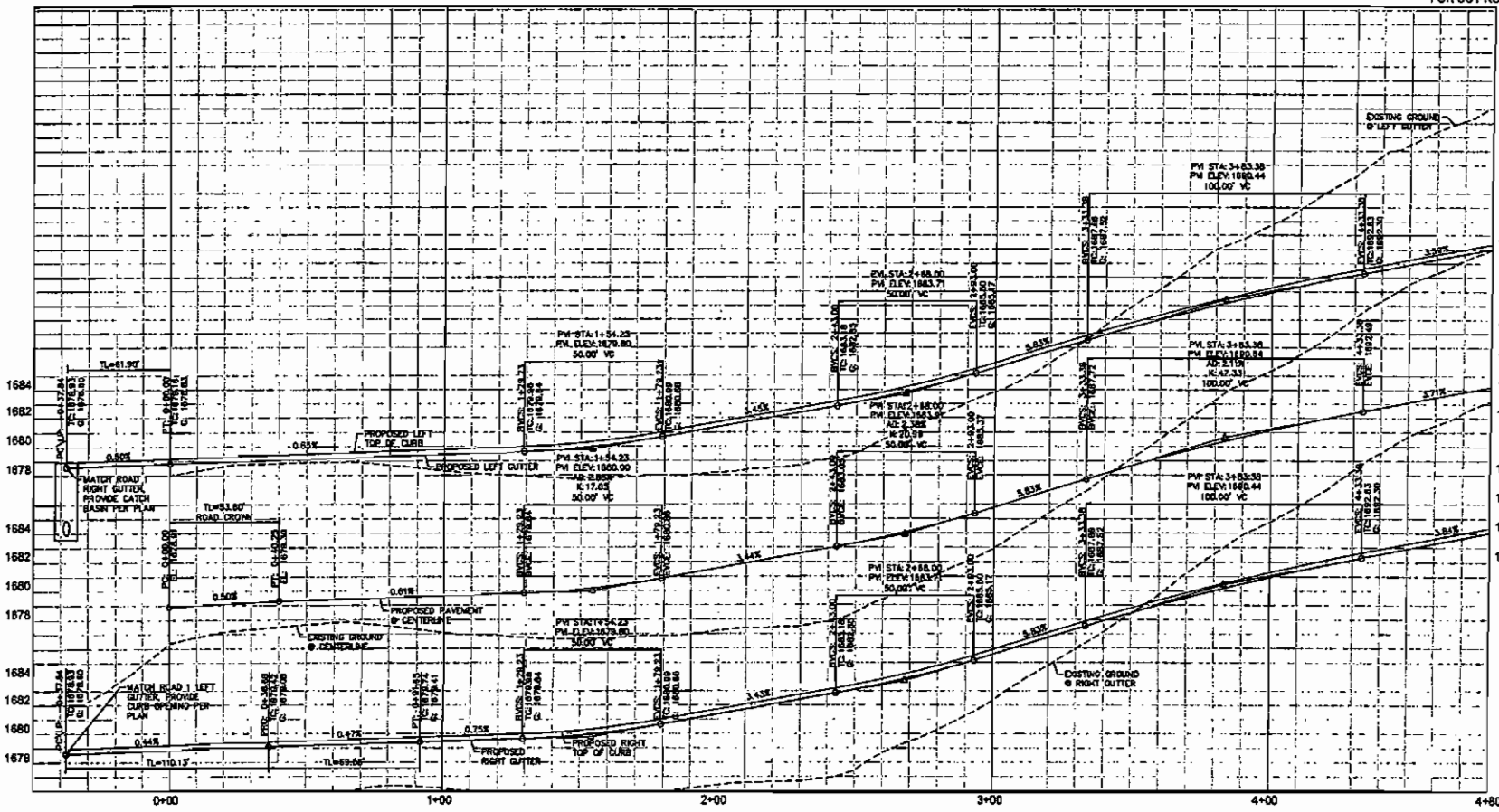
MATCH LINE DETAIL 1: SEE SHEET 22



ALIGNMENT CURVE TABLE				
CURVE	RADIUS	LENGTH	DELTA	TANGENT
C100	300.00'	113.95'	130°22'	87.22'
C101	300.00'	201.96'	38°34'18"	104.08'

MOUNTAIN VIEW DRIVE

NOTE: REFER TO SHEETS 23-28 FOR SS PROFILES



PAVING NOTES:

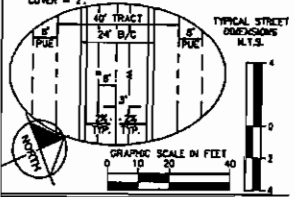
- CONSTRUCT 2.5" AC ON 1" ABC
- CONSTRUCT ROLL CURB PER MAG STD DET 220 TYP
- CONSTRUCT HEADWALL PER MAG STD DET 301 TYPE WITH MANHOLE PER COS STD DET 2308 AND ADJUST BANNER PER COS STD DET 1982. INTERLOCK CURB TO MATCH SURROUNDING DESERT. OWNER TO APPROVE COLOR.
- INSTALL SURVEY MONUMENT PER COS STD DET 2120 TYPE 10
- CONSTRUCT VALLEY CUTTER PER COS STD DET 2340
- PROPOSED PER RAP PROTECTION REFERENCE CHAIN
- INSTALL 4" PVC IRRIGATION SLEEVE, LENGTH PER PL
- INSTALL CURB CUT PER SHEET 30. LENGTH PER PL
- CONSTRUCT CURB TRANSITION PER MAG STD DET 22
- INSTALL CATCH BASIN PER MAG STD DET 533 TYPE CURB OPENING LENGTH AND INVERT PER PLAN
- INSTALL CATCH BASIN PER MAG STD DET 532 TYPE 8" UNLESS OTHERWISE NOTED

WATER NOTES:

- INSTALL 8" DP CLASS 350 WATER LINE, TRENCH BACKFILL PER COS STD DET 2201. LENGTH PER PLAN AND COVER
- INSTALL 1/2" FIRE HYDRANT COMPLETE PER MAG STD DET 2343
- INSTALL 8" GATE VALVE WITH BLOSOMES PER MAG STD DET 303. GATE VALVE TO BE INSTALLED WITH 1/2" OPERATING NUTS. INSTALL 8" VALVE BOX AND COVER MAG STD DET 391-1 TYPE 'A'
- INSTALL 8" 28" DP TEE WITH THRUST RESTRAINT PER MAG STD DET 303
- INSTALL DP 8" 28" WITH THRUST RESTRAINT PER MAG STD DET 303 (8" UNLESS OTHERWISE NOTED). ANGLE PER PLAN
- INSTALL 8" 28" T&V, B&C COMPLETE PER MAG STD DET 303
- INSTALL AIR RELEASE VALVE PER COS STD DET 2348
- WATER/SEWER CROSSING CONTRACTOR TO ENSURE 3" MINIMUM CLEARANCE
- INSTALL 1" WATER SERVICE LINE CONNECTION PER C.O. STD DET 2330
- INSTALL 8" 28" DP REDUCER PER MANUFACTURER'S SPECIFICATIONS
- INSTALL 8" 28" DP SERVICE LINE CONNECTION PER C.O. STD DET 2330, 303 PER PLAN
- INSTALL 4" PRESSURE REDUCING VALVE PER C.O.S. STD 2342
- INSTALL 2" AIR RELEASE VALVE PER COS STD DET 234

SEWER NOTES:

- INSTALL 8" SDR 35 SEWER PIPE, TRENCH BEDDING AS BACKFILL PER COS STD DET 2201. REFER TO SEWER PROFILE SHEETS 23-28 FOR DETAILS
- CONSTRUCT 4" DIAMETER MANHOLE PER COS STD DET 2120 AND 242. ADJUST RM TO GRAB PER COS STD DET 2270
- INSTALL 4" SDR 35 SEWER SERVICE PER MAG STD DET 440-3. WITH STUBOUT AND PLUG AT PROPERTY LINE PER MAG 427
- PROPOSED PRIVATE GRINDER PUMP. REFER TO BUILDING PLANS
- INSTALL 1-1/4" SDR 40 FORCE MAIN AND FITTINGS FROM GRINDER PUMPS TO PRIVATE MANHOLE. MANHOLE COVER -



WHISPER RIDGE IMPROVEMENT PLAN

PAVING PLAN & PROFILE

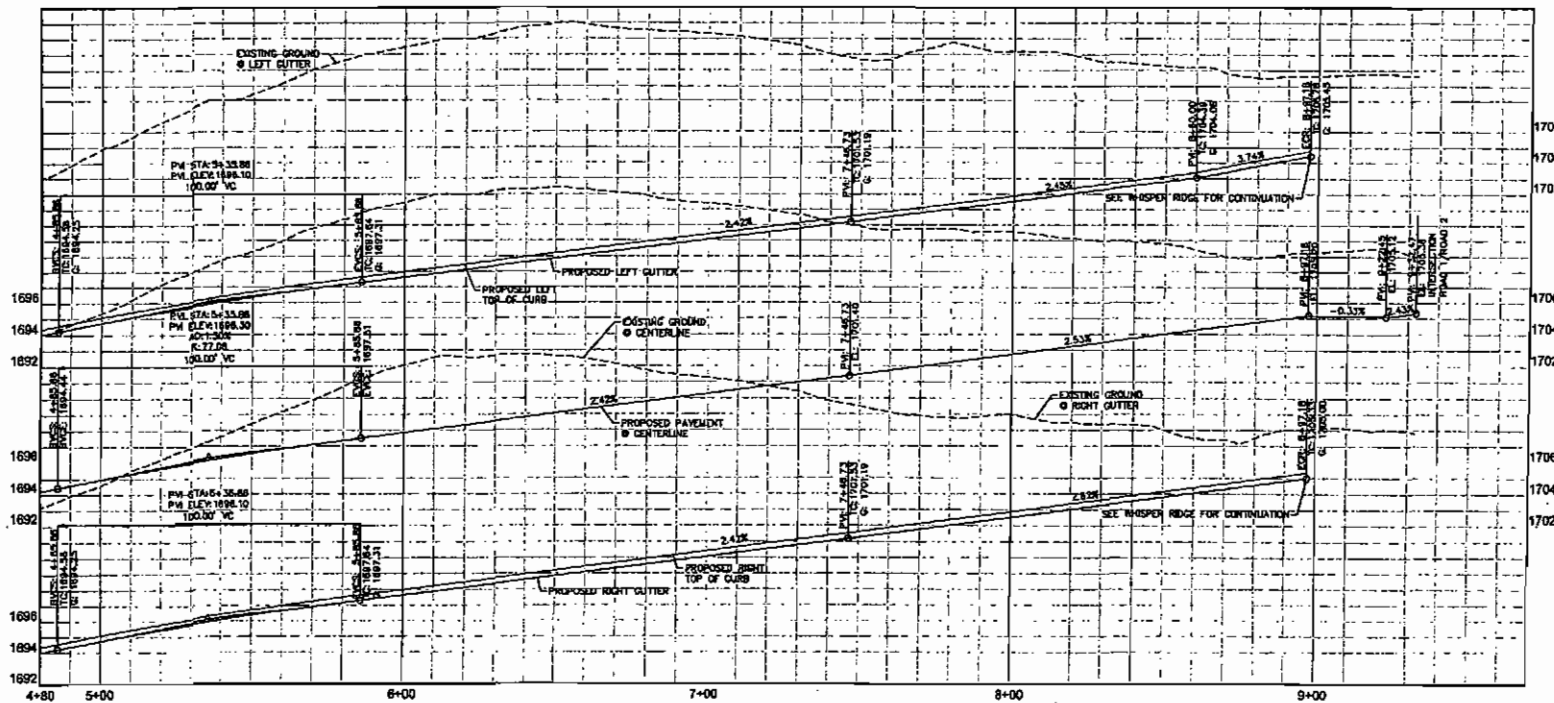
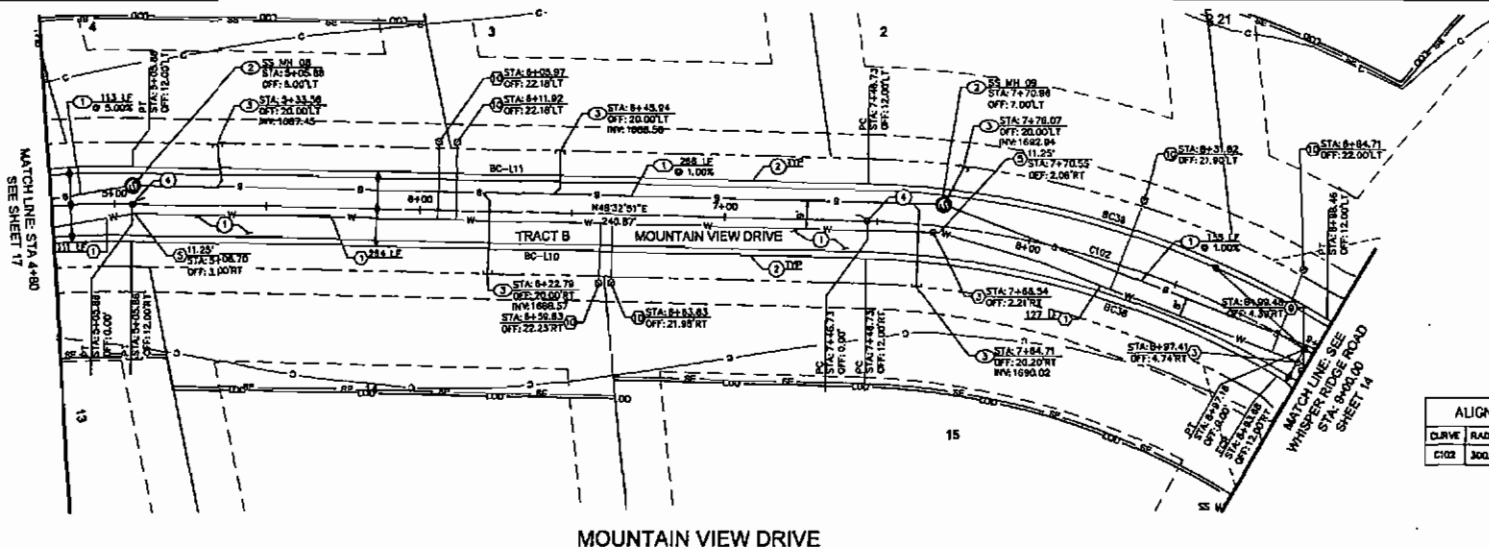
136TH ST./SHEA BLVD. SCOTTSDALE, AZ

Kimley-Horn and Associates, Inc.

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7740 North 160th Street, Suite 300  
Phoenix, Arizona 85024 (602) 944-3300

DESIGNED	DRAWN	CHECKED
DATE	DATE	DATE
PROJECT NO.	SCALE	SHEET NO.
DWG. NAME	SCALE 1/4"=1'-0"	17
800SPWUT-R	DATE 10/14	OF 45





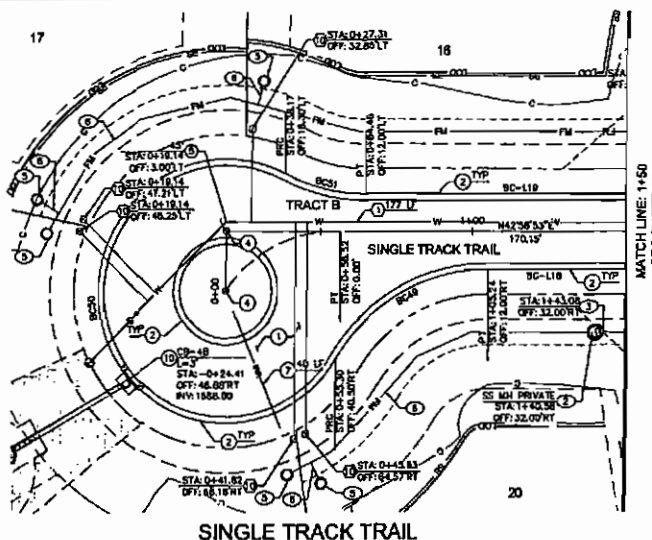




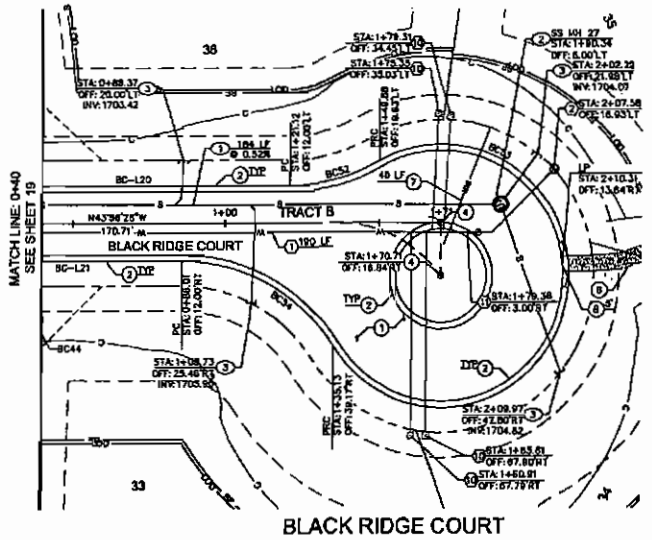






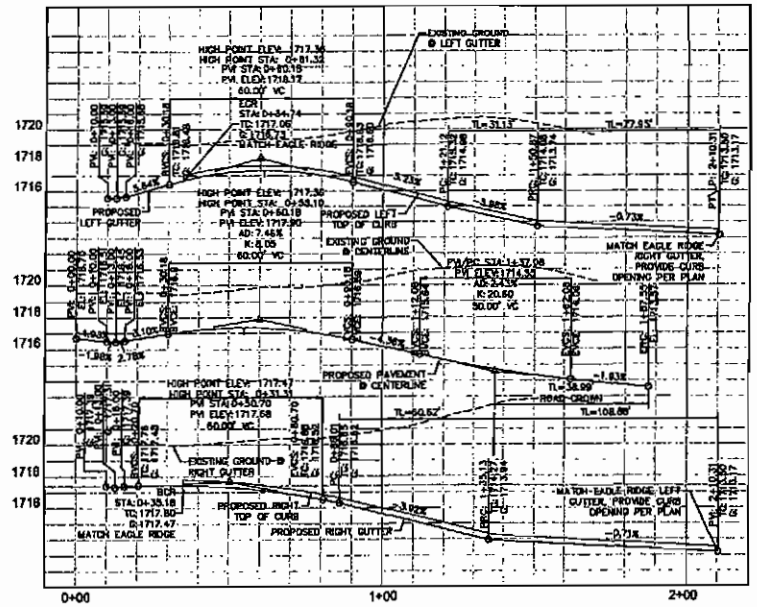
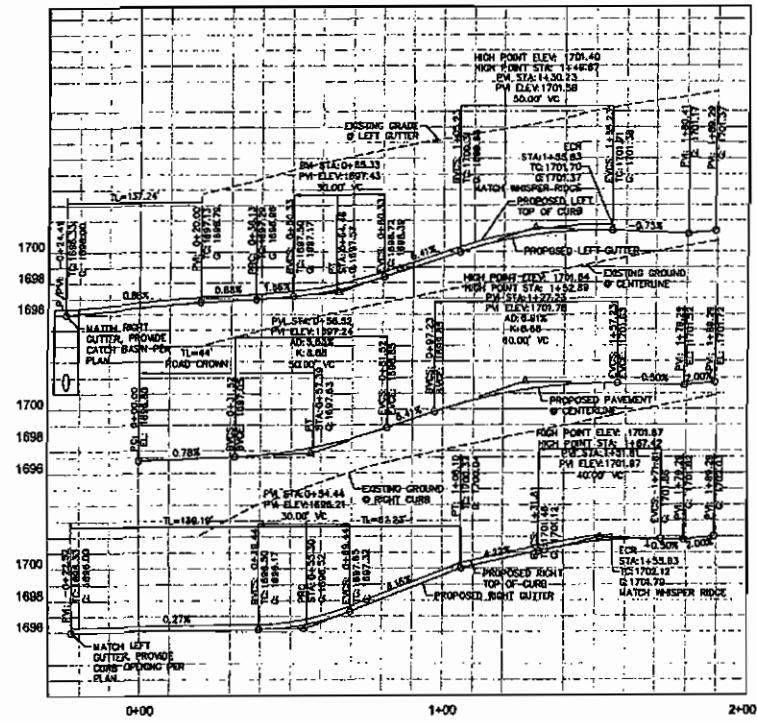


SINGLE TRACK TRAIL



BLACK RIDGE COURT

NOTE: REFER TO SHEETS 23-26 FOR S&P PROFILES



**PAVING NOTES:**

- CONSTRUCT 2.5" AC ON 7" ABC
- CONSTRUCT ROLL CURB PER MAG STD DET 320 TYP
- CONSTRUCT HEADWALL PER MAG STD DET 301 TYP WITH HANDRAIL PER COS STD DET 2308 AND 2309
- CONSTRUCT CURB DET 301 TYP DET 2302, INTEGRALLY COORDINATE WITH SURROUNDING DESERT. OWNER TO APPROVE COLOR.
- INSTALL SURVEY MONUMENT PER COS STD DET 211, TYPE 'D'
- CONSTRUCT VALLEY GUTTER PER COS STD DET 228
- PROPOSED RAP PROTECTION REFERENCE GRADE PLAN
- INSTALL 4" PVC IRRIGATION SLEEVE, LENGTH PER PLAN
- INSTALL CURB DET 301 PER SHEET 30. LENGTH PER PLAN
- CONSTRUCT CURB TRANSITION PER MAG STD DET 1
- INSTALL DATCH BASIN PER MAG STD DET 333 TYP CURB DET 301 LENGTH AND INVERT PER PLAN
- INSTALL CATCH BASIN PER MAG STD DET 332 TYP CURB DET 301 LENGTH AND INVERT PER PLAN

**WATER NOTES:**

- INSTALL 8" DIP CLASS 350 WATER LINE, TRENCH BACKFILL PER COS STD DET 2301. LENGTH PER PLAN MIN COVER
- INSTALL 8" DIP HYDRANT COMPLETE PER MAG STD DET 342. INSTALL PAVEMENT MARKERS PER COS STD DET 342
- INSTALL 8" GATE VALVE WITH BLOOMER PER MAG STD DET 303. GATE VALVE TO BE INSTALLED WITH VALVE OPERATING NUTS. INSTALL 8" VALVE BOX AND COVER MAG STD DET 301-1 TYPE 'A'
- INSTALL 8" GATE VALVE WITH THRUST RESTRAINT PER MAG STD DET 303
- INSTALL DIP BEND WITH THRUST RESTRAINT PER MAG STD DET 303 (5' UNLESS OTHERWISE NOTED). ANGLE PER PLAN
- INSTALL 8" 180° TURN, BNC COMPLETE PER MAG STD DET 344
- INSTALL AIR RELEASE VALVE PER COS STD DET 334
- WATER/SEWER CROSSING: CONTRACTOR TO ENSURE 2' VERTICAL SEPARATION
- INSTALL 8" 90° DIP VEE WITH THRUST RESTRAINT 1 MAG STD DET 303
- INSTALL 1" WATER SERVICE LINE CONNECTION PER COS STD DET 333
- INSTALL 8" DIP REDUCER PER MANUFACTURER'S SPECIFICATIONS
- INSTALL LANDSCAPE SERVICE LINE CONNECTION PER COS STD DET 2338 SIZE PER PLAN
- INSTALL 4" PRESSURE REDUCING VALVE PER COS STD DET 2342
- INSTALL 2" AIR RELEASE VALVE PER COS STD DET 21

**SEWER NOTES:**

- INSTALL 8" SDR 35 SEWER PIPE, TRENCH BEDDING 12" SAND, PER COS STD DET 2200. REFER TO SEWER PROFILE SHEETS 23-26 FOR DETAILS
- CONSTRUCT 4" DIAMETER MANHOLE PER COS STD DET 2420 AND 2421. ADJUST RM TO GRADE PER COS STD DET 2270
- INSTALL 4" SDR 35 SEWER SERVICE PER MAG STD DET 2420 WITH STUBOUT AND PLUG AT PROPERTY LINE PER MAG DET 2270
- PROPOSED PRIVATE GRINDER PUMP, REFER TO BUILDING PLANS
- INSTALL 1-1/4" SDR 40 FORCE MAIN AND FITTINGS FROM GRINDER PUMP TO PRIVATE MANHOLE. MINIMUM COVER = 2'

**TYPICAL STREET DIMENSIONS:**

**GRAPHIC SCALE IN FEET:**

**WHISPER RIDGE IMPROVEMENT PLAN**

**PAVING PLAN & PROFILE**

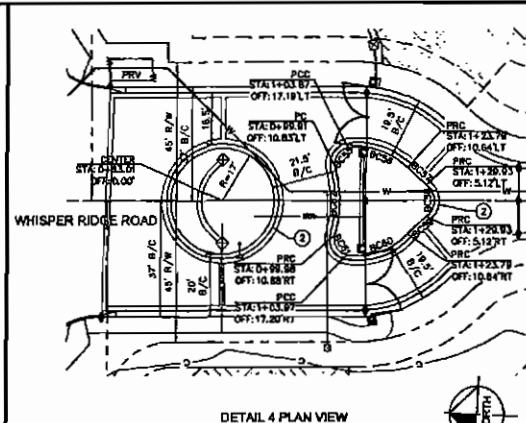
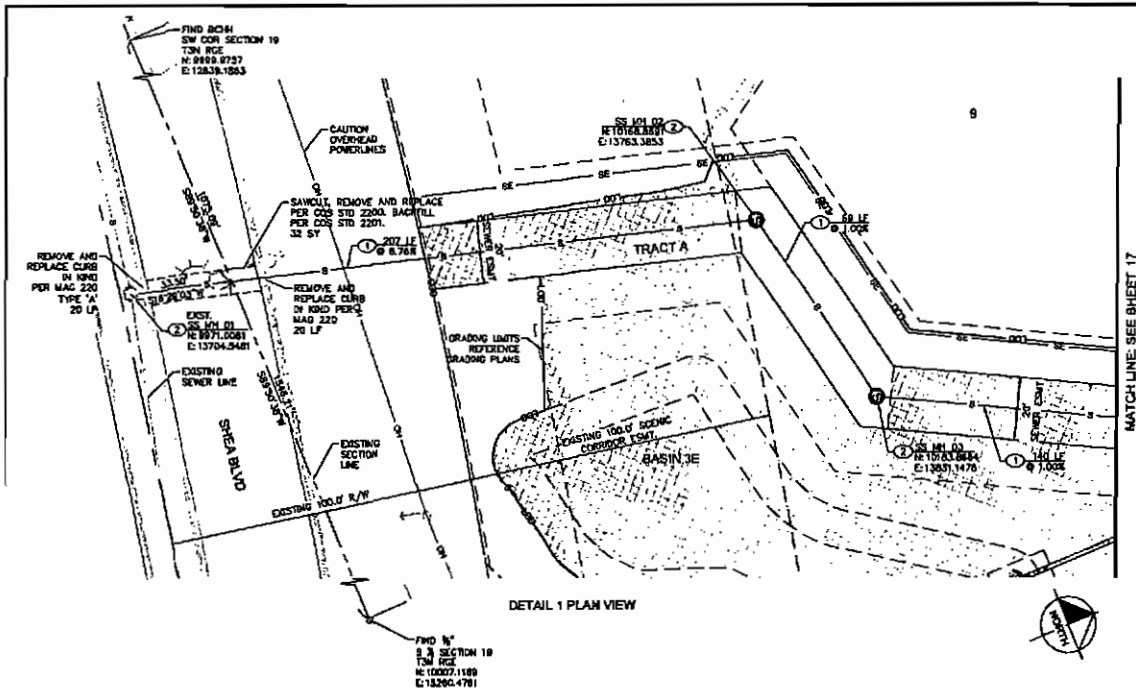
**136TH ST./SHEA BLVD. SCOTTSDALE, AZ**

**Kimley-Horn and Associates, Inc.**

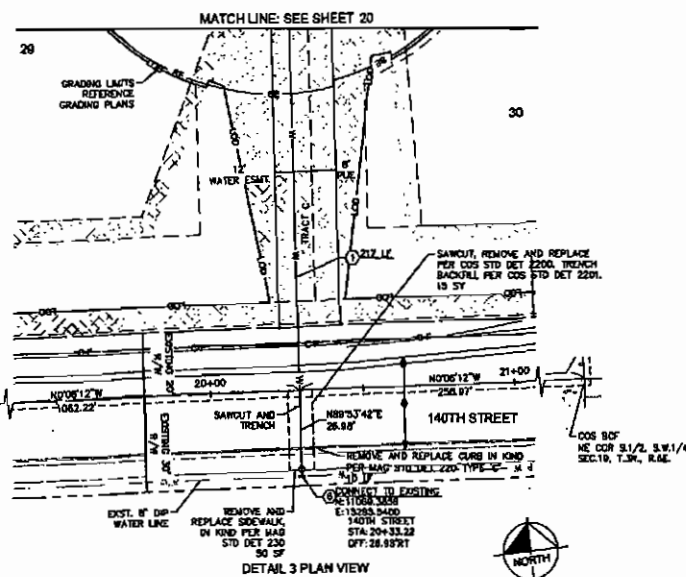
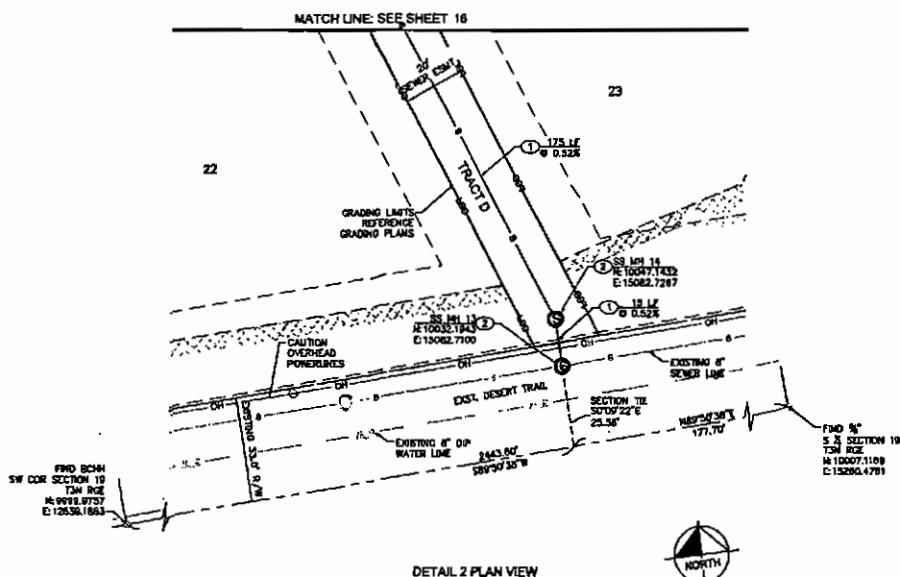
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1718 NORTH 16TH AVENUE, SUITE 300  
PHOENIX, ARIZONA 85016 (602) 944-3500

DESIGNED AMJ	DRAWN MTA	CHECKED HSD
SCALE: HORIZ. 1"=20'		
SCALE: VERT. 1"=4'		
DATE: FEB. 2014	PROJECT NO. DET000009	
SHEET NO. 21		DATE 02/05/2014





CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
BC35	5.00'	0.44'	N85°04'32"W	7.41'	88°05'14"	0.53'
BC36	22.50'	21.82'	N18°11'01"E	20.97'	55°33'32"	11.83'
BC37	85.50'	6.26'	S41°58'16"W	8.23'	7°57'03"	4.13'
BC38	6.50'	11.60'	S70°07'00"E	10.24'	103°38'32"	8.32'
BC39	36.50'	6.28'	N41°58'16"W	8.23'	7°57'03"	4.13'
BC40	22.50'	21.71'	S18°18'16"E	20.88'	55°17'02"	11.78'
BC41	3.00'	0.43'	S57°45'00"W	7.48'	86°51'31"	5.84'
BC42	36.50'	22.00'	N68°48'13"E	21.71'	32°44'45"	11.31'



**PAVING NOTES:**

- CONSTRUCT 2.5" AC ON 1" ABC
- CONSTRUCT ROLL CURB PER MAG STD DET 220 T1
- CONSTRUCT HEADWALL PER MAG STD DET 501 T1F WITH HANDRAIL PER STD DET 2200 AND ROPS BARRIER PER COS STD DET 2200. INTEGRALLY COAT TO MATCH SURROUNDING DESERT. OWNER TO APPROVE COLOR.
- INSTALL SURVEY MONUMENT PER COS STD DET 211 TYPE 'D'
- CONSTRUCT VALLEY GUTTER PER COS STD DET 2B
- PROPOSED R/P RAP PROTECTION REFERENCE GRAIN PLAN.
- INSTALL 4" PVC IRRIGATION SLEEVE LENGTH PER P
- INSTALL CURB CUT PER SHEET 30. LENGTH PER P
- CONSTRUCT CURB TRANSITION PER MAG STD DET 2
- INSTALL CATCH BASIN PER MAG STD DET 533 TYP CURB OPENING LENGTH AND WIDTH PER PLAN.
- INSTALL CATCH BASIN PER MAG STD DET 533 TYP IF UNLESS OTHERWISE NOTED

**WATER NOTES:**

- INSTALL 8" DP CLASS 350 WATER LINE, TRENCH BACKFILL PER COS STD DET 2201. LENGTH PER PLAN COVER.
- INSTALL 8" FIRE HYDRANT COMPLETE PER MAG STD DET 2202. INSTALL PAVEMENT MARKERS PER COS DET 2202.
- INSTALL 8" GATE VALVE WITH BLOCKING PER MAG STD DET 303. GATE VALVE TO BE INSTALLED WITH VALVE OPERATING NUTS. INSTALL 8" VALVE BOX AND COVER MAG STD DET 303-1 TYPE.
- INSTALL 8" 1/2" DIP TEE WITH THRUST RESTRAINT 1 MAG STD DET 303.
- INSTALL DIP BOND WITH THRUST RESTRAINT PER MAG STD DET 303 (IF UNLESS OTHERWISE NOTED). ANGLE PER PLAN.
- INSTALL 8" 1/2" TRENCH BRC COMPLETE PER MAG STD DET 303.
- INSTALL AIR RELEASE VALVE PER COS STD DET 2348
- WATER/SEWER CROSSING CONTRACTOR TO DESIGN 2' MINORAL SEPARATION.
- INSTALL 8" 1/2" DIP TEE WITH THRUST RESTRAINT 1 MAG STD DET 303.
- INSTALL 1" WATER SERVICE LINE CONNECTION PER C.I. STD DET 2330.
- INSTALL 8" 1/2" DP REDUCER PER MANUFACTURERS SPECIFICATIONS.
- INSTALL LANDSCAPE SERVICE LINE CONNECTION PER STD DET 2330. SIZE PER PLAN.
- INSTALL 4" PRESSURE REDUCING VALVE PER C.O.S. S 2342.
- INSTALL 2" AIR RELEASE VALVE PER COS STD DET 22

**SEWER NOTES:**

- INSTALL 8" SDR 35 SEWER PIPE, TRENCH BEDDING / BACKFILL PER COS STD DET 2201. REFER TO SEWER PROFILE SHEETS 23-28 FOR DETAILS.
- CONSTRUCT 4" DIAMETER MANHOLE PER COS STD DET 2420 AND 2421. ADJUST RIM TO GRADE PER COS STD DET 2270.
- INSTALL 4" SDR 35 SEWER SERVICE PER MAG STD DET 2440-3. WITH STUBOUT AND FLUO AT PROPERTY LINE PER MAG DET.
- PROPOSED PRIVATE BRONDER PUMP, REFER TO BUILDING PLANS.
- INSTALL 1-1/4" SDR 40 FORCE MAIN AND FITTINGS FROM BRONDER PUMPS TO PRIVATE MANHOLE. MINIMUM COVER = 2'.

**WHISPER RIDGE IMPROVEMENT PLAN**

**PAVING PLAN & PROFILE**

**136TH ST./SHEA BLVD. SCOTTSDALE, AZ**

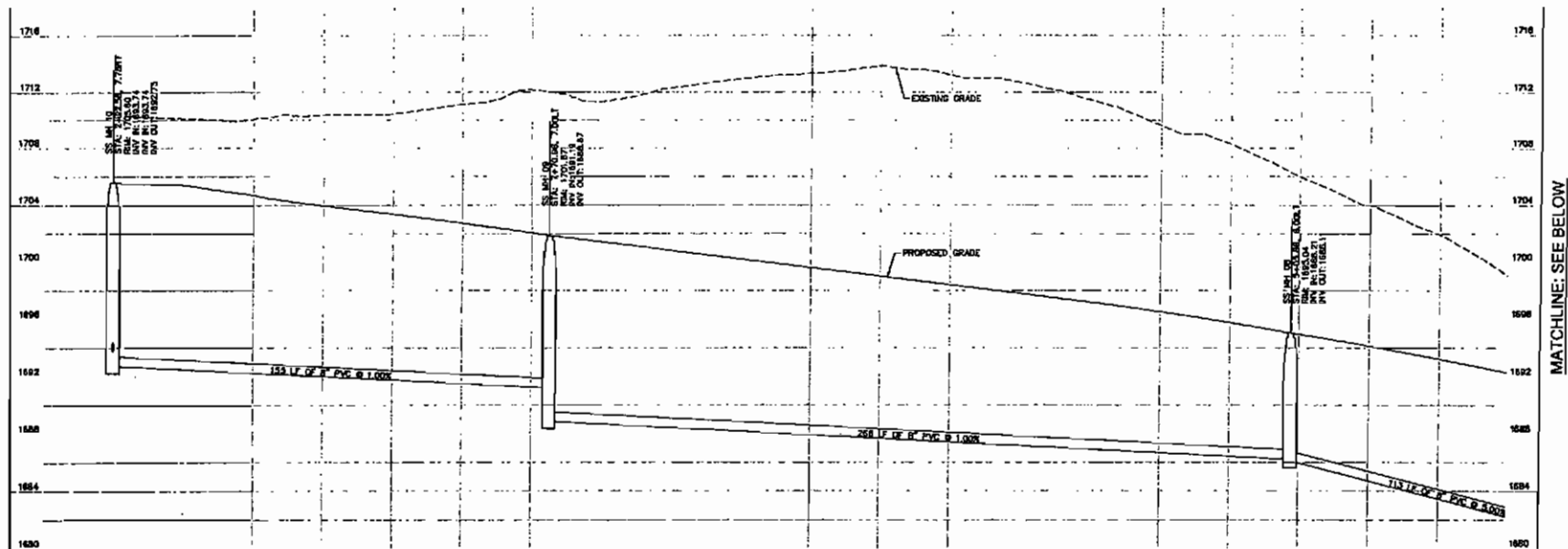
**Kimley-Horn and Associates, Inc.**

3014 KIMLEY-HORN AND ASSOCIATES, INC.  
7740 North 16th Street, Suite 300  
Phoenix, Arizona 85018 (602) 944-1500

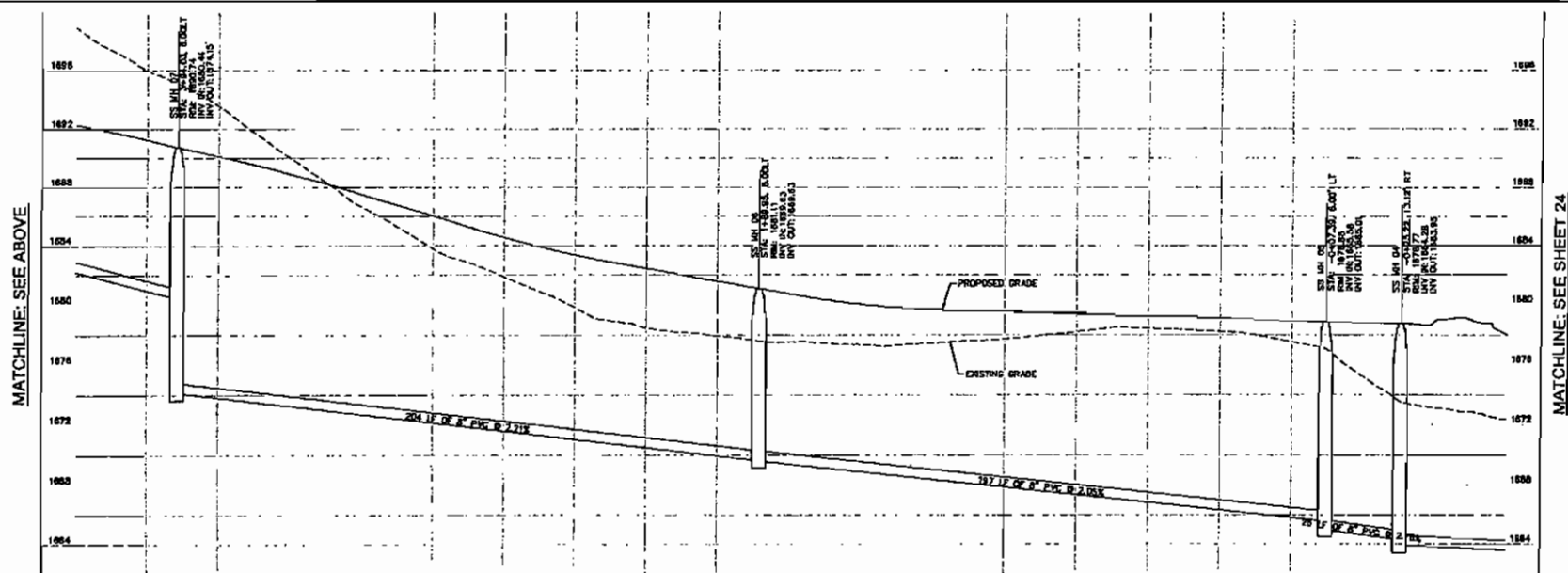
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DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
SCALE: (P) 1"=20'  
SCALE: (P) 1"=40'  
DATE: FEB. 2014  
PROJECT NO. 011000000  
DWG. NAME: 8003P-WAT-R

SHEET 22 OF 43





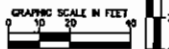
MOUNTAIN VIEW DRIVE SEWER PROFILE



MOUNTAIN VIEW DRIVE SEWER PROFILE

MATCHLINE: SEE BELOW

MATCHLINE: SEE SHEET 24



WHISPER RIDGE IMPROVEMENT PLANS

SANITARY SEWER PROFILES

136TH ST./SHEA BLVD. SCOTTSDALE, AZ

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	DESIGNED	DRAWN	CHECKED
	AMJ	MTA	WLD
	SCALE (H): 1"=20'	SCALE (V):	
	DATE: FEB. 2014	PROJECT NO.: 091908009	SHEET NO.: 23
	DWG. NAME: 800005-RT.dwg	BY: 43	



The profile view shows the vertical alignment of the sewerage system. The vertical axis represents elevation from 1630 to 1680 feet. The horizontal axis represents stationing along the sewer line.

- Existing Grade:** Represented by a dashed line.
- Proposed Grade:** Represented by a solid line.
- Manhole 1 (Station 1+00):** Elevation at top: 1679.75; Elevation at bottom: 1672.21.
- Manhole 2 (Station 2+00):** Elevation at top: 1679.16; Elevation at bottom: 1667.07.
- Manhole 3 (Station 3+00):** Elevation at top: 1674.10; Elevation at bottom: 1664.10.
- Pipe Segments:**
  - Segment 1: 140 LF OF 8" PVC @ 1.0%
  - Segment 2: 89 LF OF 8" PVC @ 1.0%
  - Segment 3: 100 LF OF 8" PVC @ 0.7%

[illegible]

GRAPHIC SCALE IN FEET




0 10 20 40

0 2 4

WHISPER RIDGE IMPROVEMENT PLANS

SANITARY SEWER PROFILES

136TH ST/SHEA BLVD. SCOTTSDALE, AZ

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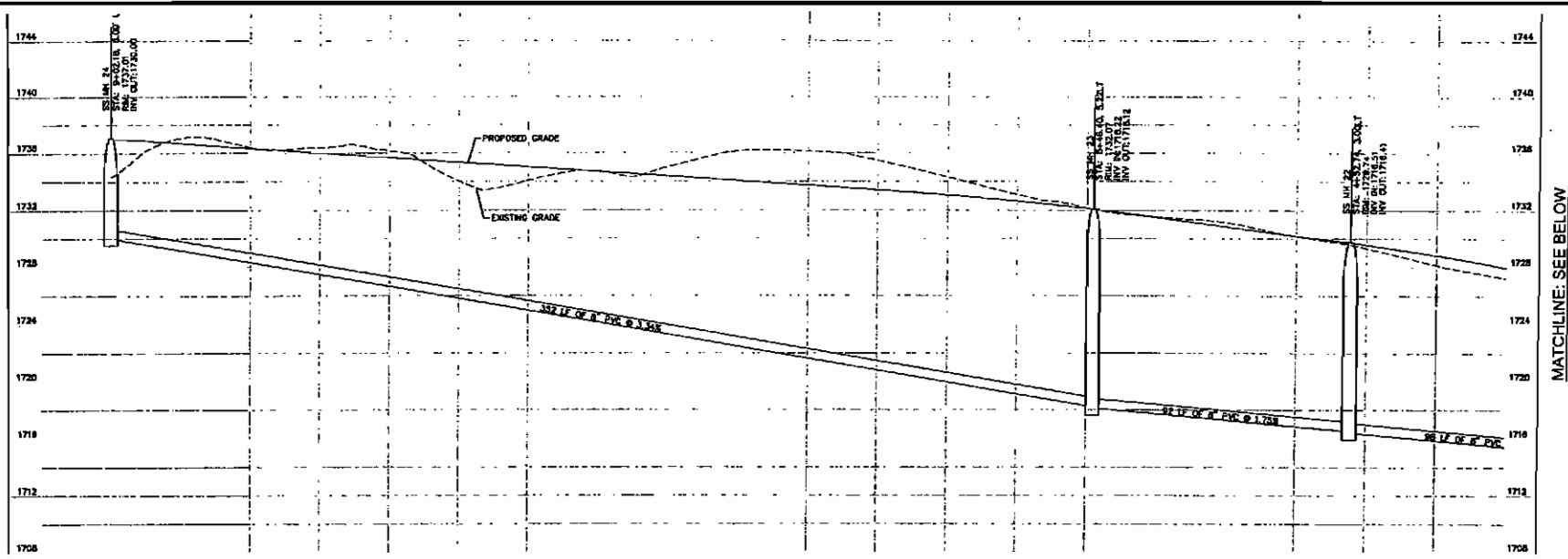


DESIGNED	DRAWN	CHECKED
AMJ	MTA	MLD
SCALE: (As Shown)	SCALE: 1"=20'	
DATE:	FEB. 2014	SHEET NO.
PROJECT NO.	1310180000	24
DRG. NAME	BOODSS - R.dwg	

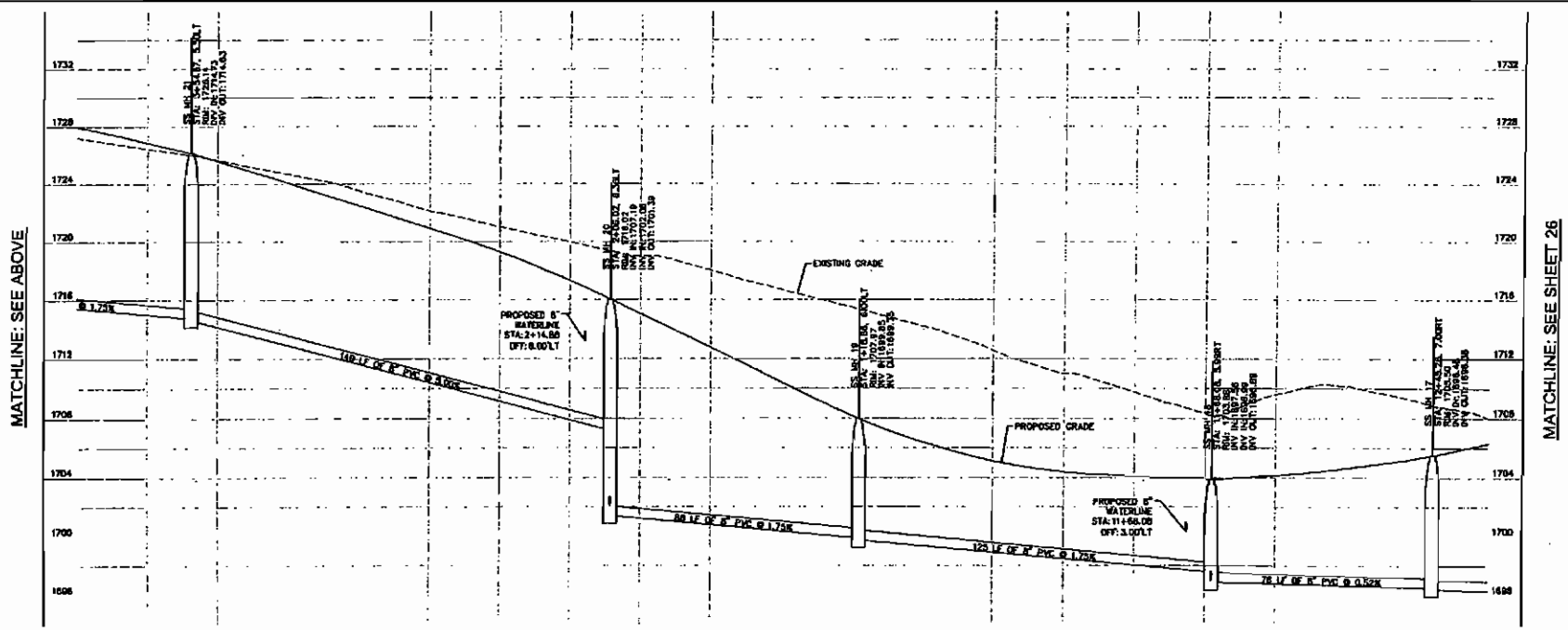
Rev. 001/014

of 43 sheets





EAGLE RIDE ROAD SEWER PROFILE



EAGLE RIDE ROAD & WHISPER RIDGE ROAD SEWER PROFILE

MATCHLINE: SEE BELOW

MATCHLINE: SEE ABOVE

MATCHLINE: SEE SHEET 26

GRAPHIC SCALE IN FEET

0 10 20 30 40

WHISPER RIDGE IMPROVEMENT PLANS

SANITARY SEWER PROFILES

136TH ST./SHEA BLVD. SCOTTSDALE, AZ

Kimley-Horn and Associates, Inc.

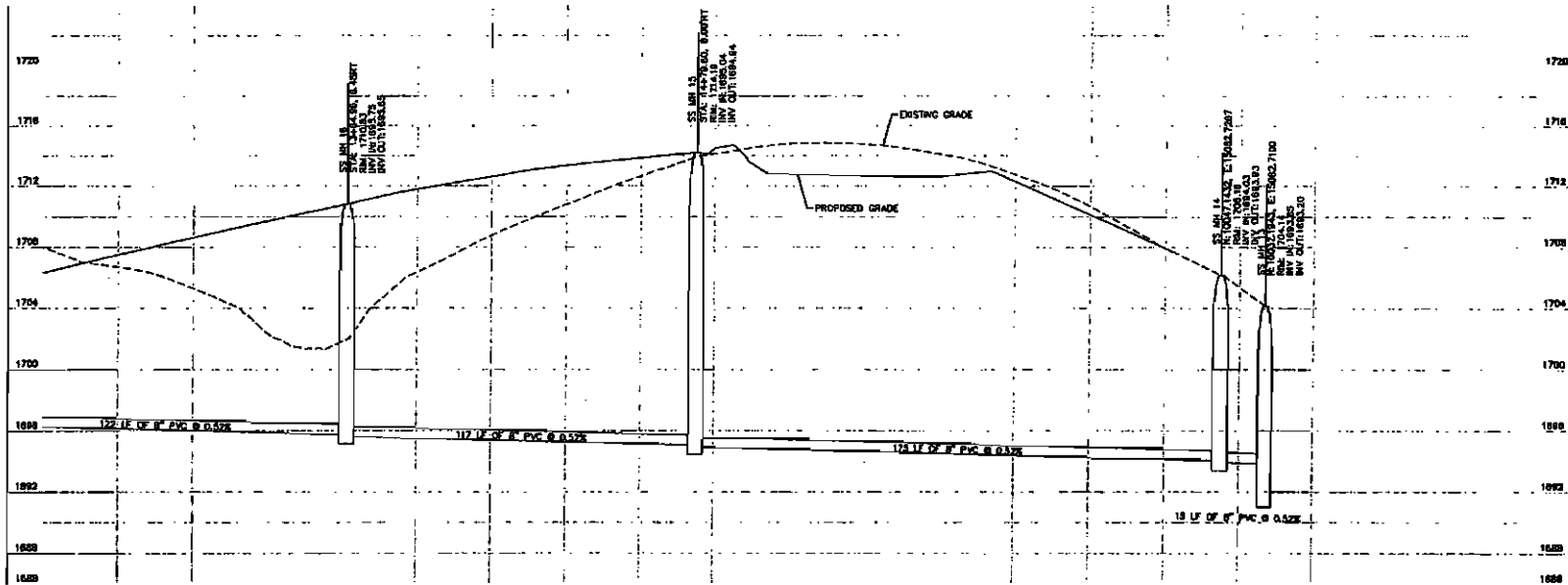
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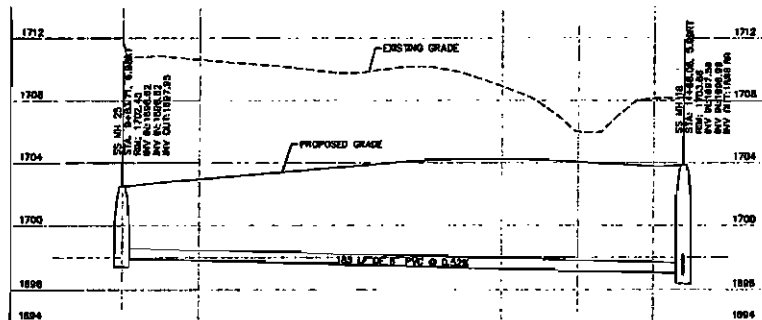
DESIGNED	MTA	CHECKED
AM-J	MTA	MTA
SCALE (H) 1"=20'	SCALE (V) 1"=2'	
DATE: FEB 2014	PROJECT NO. 001908009	SHEET NO. 25
ENCL. NAME: 000555-R.dwg		of 43 sheets



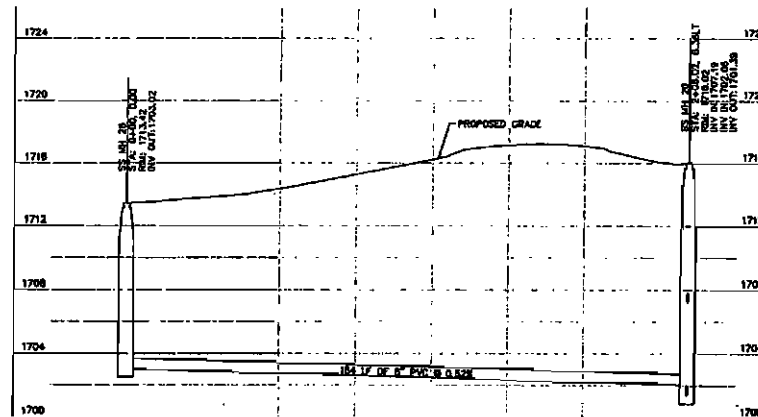
MATCHLINE: SEE SHEET 25



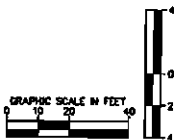
WHISPER RIDGE ROAD & TRACT D SEWER PROFILE



WHISPER RIDGE ROAD EXTENSION SEWER PROFILE



BLACK RIDGE COURT SEWER PROFILE



WHISPER RIDGE IMPROVEMENT PLANS

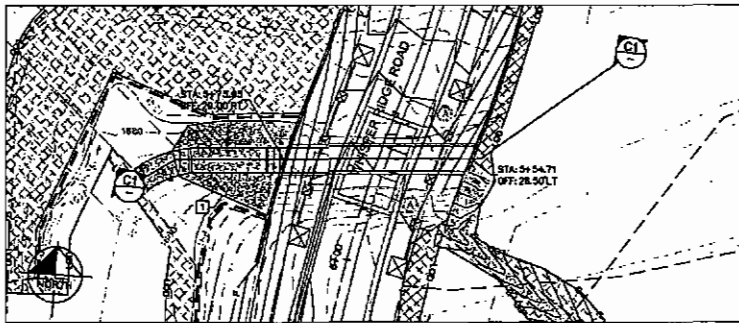
SANITARY SEWER PROFILES

136TH ST/SHEA BLVD. SCOTTSDALE, AZ

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DESIGNED	DRN	CHECKED
AMJ	MTA	MSD
SCALE (H): 1"=20'	SCALE (V):	
DATE: FEB 2014	PROJECT NO. 091608009	SHEET NO. 28
DWG. NAME: 800SSS-R.dwg		of 43 sheets

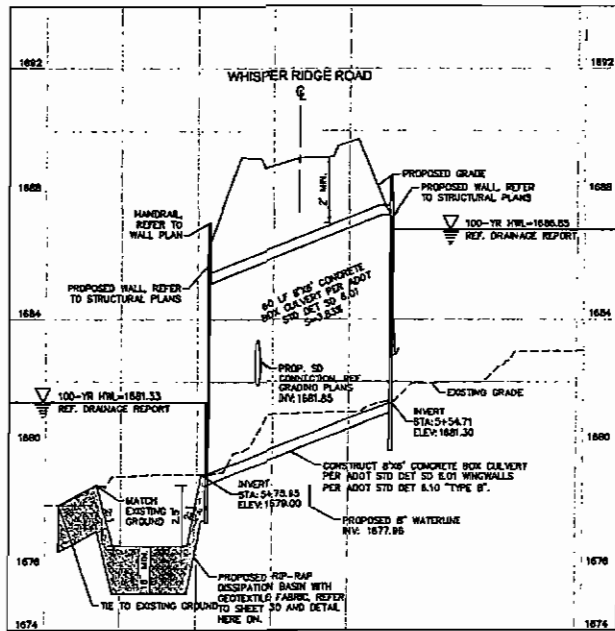




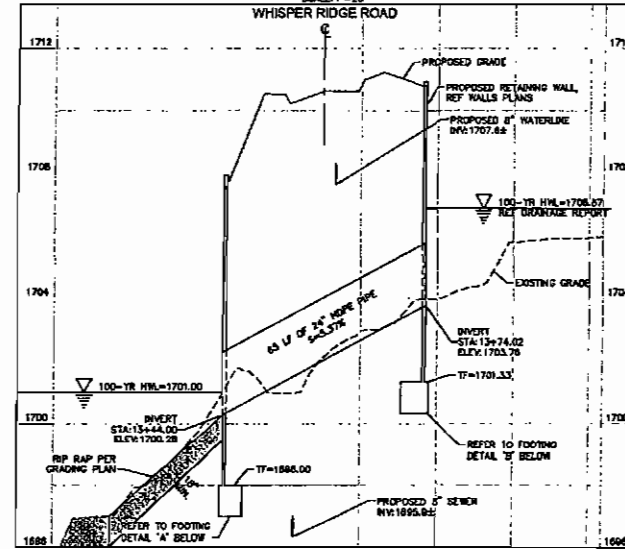
CULVERT CP-40A  
SCALE: 1"=20'



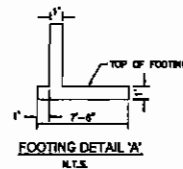
DETAIL CP-40



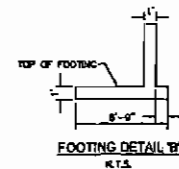
CULVERT CP-40A PROFILE  
(HSCALE: 1"=20')  
(VSCALE: 1"=2')



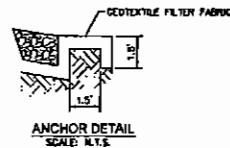
CULVERT CP-40 PROFILE  
(HSCALE: 1"=20')  
(VSCALE: 1"=2')



FOOTING DETAIL 'A'  
N.T.S.



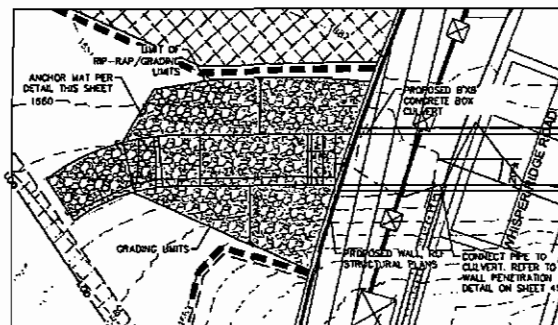
FOOTING DETAIL 'B'  
N.T.S.



ANCHOR DETAIL  
SCALE: N.T.S.

RIPRAP GRADATION TABLE

STONE SIZE RANGE (IN)	PERCENT OF GRADATION SMALLER THAN
1.5" TO 1.75"	100
1.25" TO 1.5"	85
1.0" TO 1.25"	50
0.75" TO 1.0"	15



RIP-RAP APRON DETAIL  
SCALE: 1"=10'

# CONSTRUCTION NOTES

- 1) INSTALL ENERGY DISSIPATION RIP RAP BASIN PER DETAILS ON THIS SHEET AND SHEET 30.
- 2) REFER TO GRADING PLAN FOR RIP RAP PROTECTION.
- 3) REFER TO GRADING PLAN FOR HEADWALL AND TRASH RACK CONSTRUCTION.

## WHISPER RIDGE IMPROVEMENT PLANS

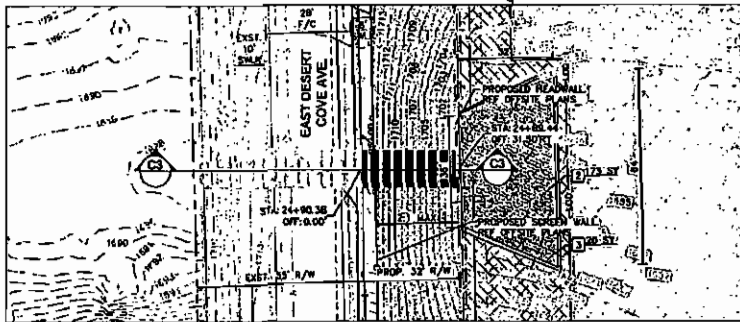
### CULVERT PROFILES

136TH ST./SHEA BLVD. SCOTTSDALE, AZ

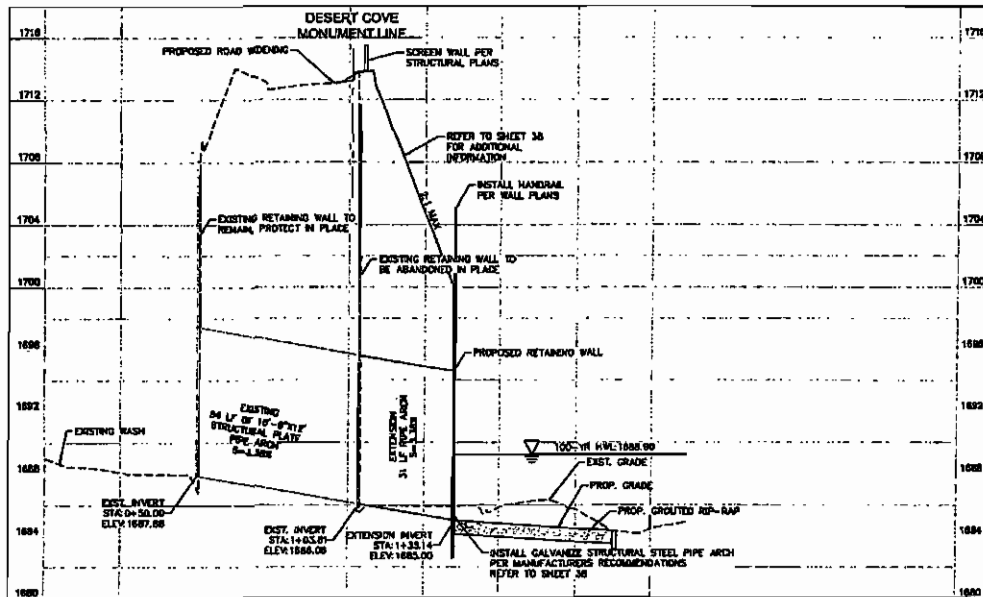
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Phoenix, Arizona 85020 (602) 944-1500

DESIGNED AMJ	DRAWN MTA	CHECKED MOD
SCALE (H: 1"=20') SCALE (V: 1"=2')		
DATE: FEB. 2014		
PROJECT NO.: 091908000		
DWG. NAME: 091908000-R		
SHEET NO.: 27		

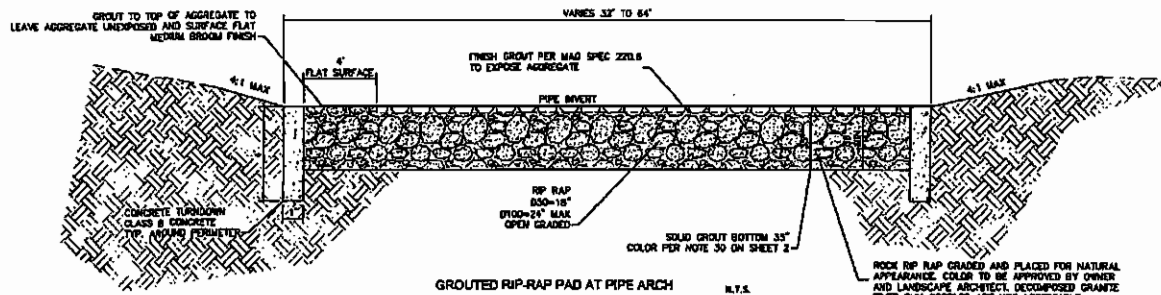




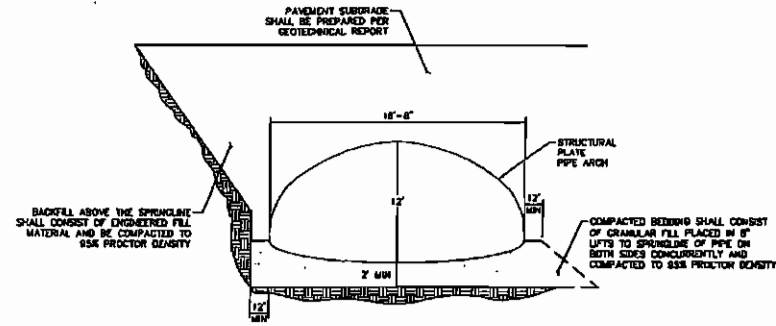
**CULVERT 1**  
SCALE: 1"=20'



**CULVERT 1 PROFILE**  
(HORIZONTAL SCALE: 1"=20')  
(VERTICAL SCALE: 1"=4')



**GRADED RIP-RAP PAD AT PIPE ARCH**



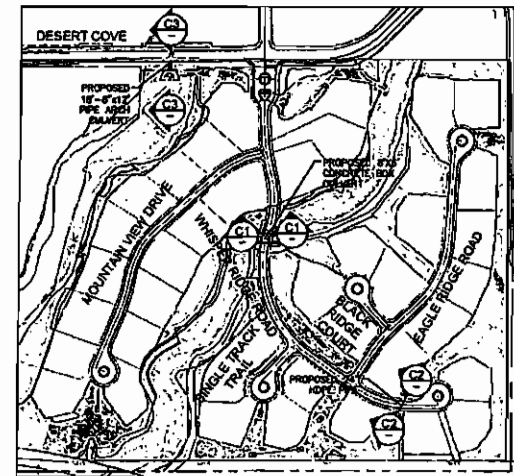
**NOTES:**

1. LIFTS SHALL BE PLACED AND COMPACTED EVENLY ON EACH SIDE OF THE PIPE.

**SPECIAL INSPECTION NOTES:**

1. BACKFILL MUST BE COMPLETED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND MANUFACTURER'S SPECIFICATIONS.
2. COMPACTION DENSITIES SHALL BE TESTED AND DETERMINED BY M.A.S. SPECIFICATION 801.

**DESERT COVE PIPE ARCH DETAIL**



**CULVERT DRAIN KEY MAP**  
SCALE: 1"=200'

**CONSTRUCTION NOTES**

1. INSTALL GRADED RIP-RAP PER DETAIL ON SHEET 28.
2. FINISH GROUT PER DETAIL ON SHEET SHEET 28.

WHISPER RIDGE IMPROVEMENT PLANS  
DESERT COVE CULVERT  
EXTENSION  
136TH ST./SHEA BLVD. SCOTTSDALE, AZ

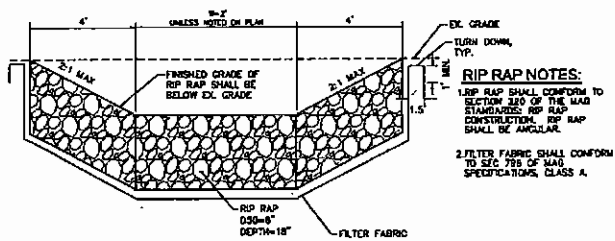
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Phoenix, AZ 85016 (602) 944-5500

DESIGNED	DRAWN	CHECKED
MM	MTA	SLB
SCALE: HORIZ. 1"=20'	SCALE: VERT. 1"=4'	
DATE: FEB. 2014		SHEET NO. 28
PROJECT NO. 08100000		
DWG. NAME 000802-R		OF 43

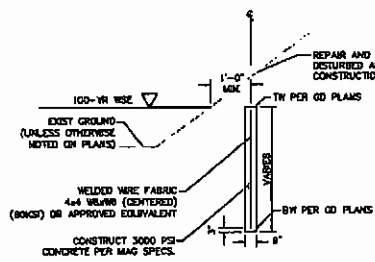
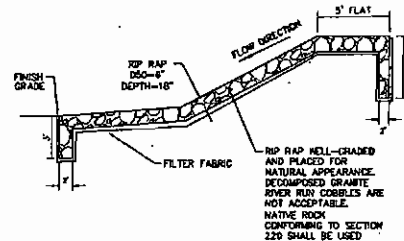




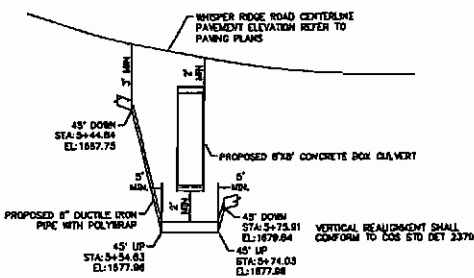




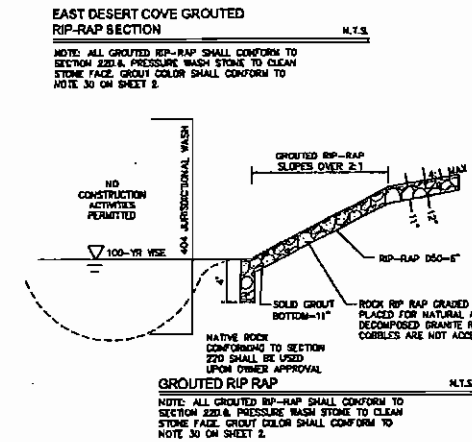
RIP RAP DETAIL N.T.S.



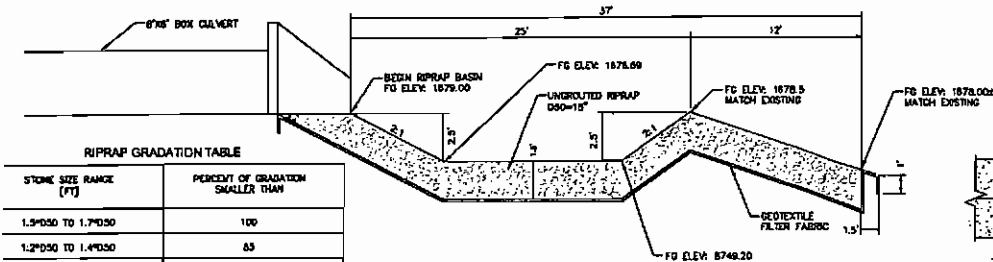
CUTOFF WALL TYPICAL SECTION N.T.S.



WATERLINE/CULVERT CROSSING N.T.S.



GROUTED RIP RAP N.T.S.

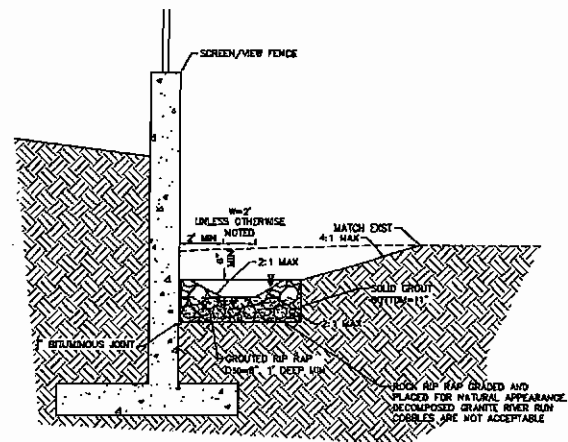


ENERGY DISSIPATION RIP RAP BASIN N.T.S.

STONE SIZE RANGE (FT)	PERCENT OF GRADATION SMALLER THAN
1.5"Ø50 TO 1.7"Ø30	100
1.2"Ø50 TO 1.4"Ø30	85
1.0"Ø50 TO 1.1"Ø50	50
0.4"Ø50 TO 0.8"Ø30	15
< 0.4"Ø30	0

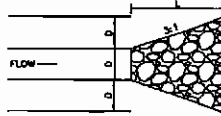
LINE TABLE			CURVE TABLE						
LINE	LENGTH	BEARING	CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
BC-11	81.72	S70°00'00.00"E	BC10	42.00'	33.68'	N42°56'34"E	32.80'	45°57'43"	17.81'
BC-12	18.23	S07°00'00.00"E	BC11	40.00'	32.00'	S22°38'54"E	31.23'	45°57'43"	16.88'
BC-13	84.29	S07°00'00.00"E	BC12	688.00'	182.48'	S75°35'33"E	181.85'	151°14'46"	61.78'
BC-14	29.22	N07°00'00.00"E	BC13	312.00'	185.93'	N11°47'30"E	182.32'	33°59'38"	63.53'
BC-15	195.74	S36°2'40.37"E	BC14	42.00'	33.68'	S22°38'54"E	32.80'	45°57'43"	17.81'
BC-16	127.40	S39°2'40.37"E	BC15	40.00'	32.00'	S22°38'54"E	31.23'	45°57'43"	16.88'
BC-17	54.86	N08°00'00.00"E	BC16	712.00'	205.75'	S35°13'53"E	78.51'	S24°05'	59.82'
BC-18	68.30	N23°27'01.58"E	BC17	25.00'	36.82'	N35°33'24"E	33.43'	63°54'58"	22.48'
BC-19	189.85	N33°02'10.58"E	BC18	25.00'	36.80'	N57°48'40"E	33.73'	91°37'03"	25.84'
BC-110	240.67	S46°33'31.17"E	BC19	712.00'	37.84'	S11°47'30"E	37.65'	301°43'	11.86'
BC-111	240.87	S45°33'31.17"E	BC20	288.00'	170.79'	N11°47'30"E	168.33'	S35°30'38"	87.99'
BC-112	47.87	S33°33'18.73"E	BC21	338.00'	443.37'	S18°48'56"E	412.42'	75°11'29"	260.25'
BC-113	114.43	S47°37'31.56"E	BC22	362.00'	289.86'	S18°48'54"E	291.18'	47°25'44"	159.02'
BC-114	87.47	S43°33'18.73"E	BC23	25.00'	36.86'	N04°33'28"E	33.62'	84°30'48"	22.71'
BC-115	85.80	S47°37'31.56"E	BC24	25.00'	36.88'	S08°51'41"E	33.62'	84°30'48"	22.71'
BC-116	236.41	S33°32'37.61"E	BC25	362.00'	24.88'	S54°27'20"E	24.88'	354°23'	12.34'
BC-117	281.43	S33°32'37.61"E	BC26	312.00'	182.91'	S73°21'20"E	180.30'	33°59'20"	64.17'
BC-118	46.62	S43°33'18.73"E	BC27	42.00'	180.64'	N33°14'32"E	70.28'	248°25'19"	94.18'
BC-119	85.60	N45°25'33.93"E	BC28	58.20'	97.24'	N58°47'21"E	83.54'	86°23'18"	37.87'
BC-120	88.68	S43°56'27.63"E	BC29	268.00'	184.48'	S73°35'20"E	162.43'	32°43'06"	64.54'
BC-121	49.66	N45°25'37.63"E	BC30	25.00'	37.88'	S08°50'16"E	34.24'	87°02'22"	23.74'
			BC31	25.00'	36.27'	N76°38'30"E	35.30'	80°00'00"	20.00'
			BC32	42.00'	180.64'	N78°48'22"E	70.28'	248°25'19"	94.18'

BACK OF CURB LINE & CURVE GEOMETRY

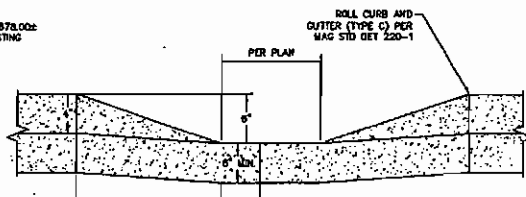


GROUTED RIP-RAP SPILL WAY AT RETAINING WALL N.T.S.

RIP-RAP APRON LENGTH AND THICKNESS			
CATCH BASIN	D <sub>50</sub> (IN)	APRON LENGTH L (FT)	APRON THICKNESS (FT)
CB-3B	10	50	1.64
CB-4A	14	60	2.25
CB-3B	8	40	1.65
CB-4D	10	50	2.00



RIP-RAP PAD AT PIPE OUTLET N.T.S.



CURB OPENING DETAIL N.T.S.

WHISPER RIDGE IMPROVEMENT PLANS

DETAIL SHEET

136TH ST/JSHEA BLVD, SCOTTSDALE, AZ

**Kimley-Horn and Associates, Inc.**

7740 North 16th Street, Suite 300  
Phoenix, Arizona 85020 (602) 822-2000

DESIGNED: AMJ  
SCALE: 1\"/>





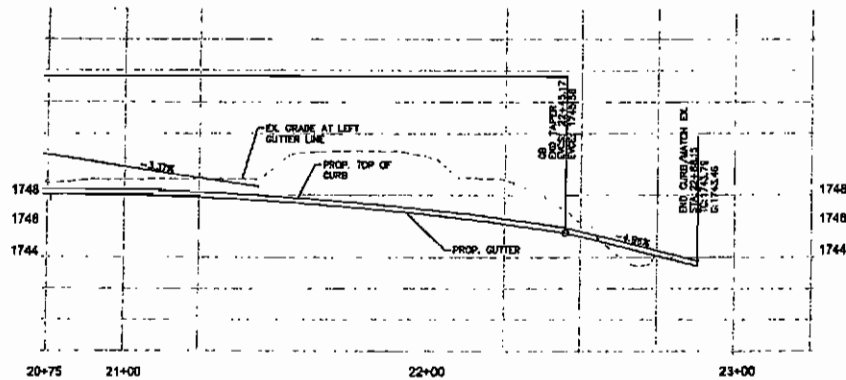
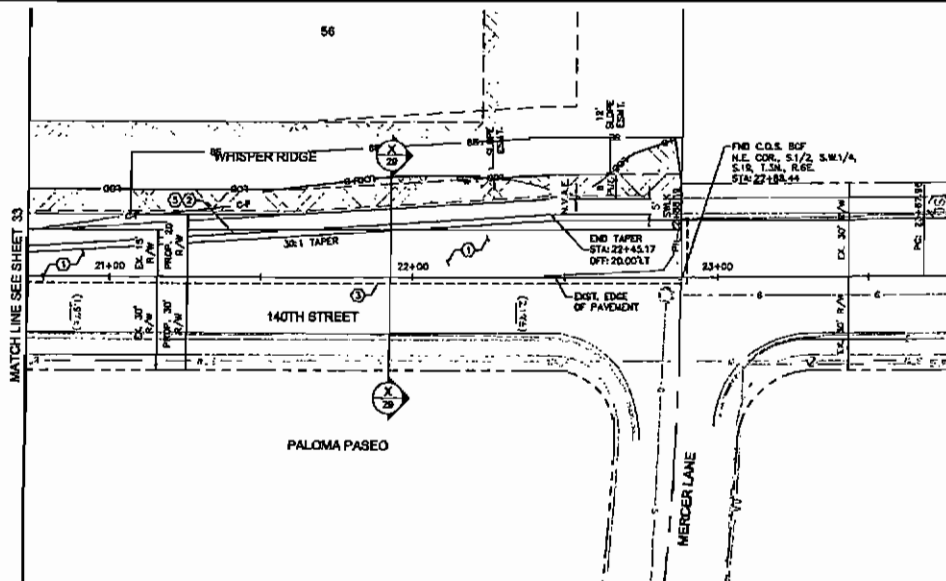




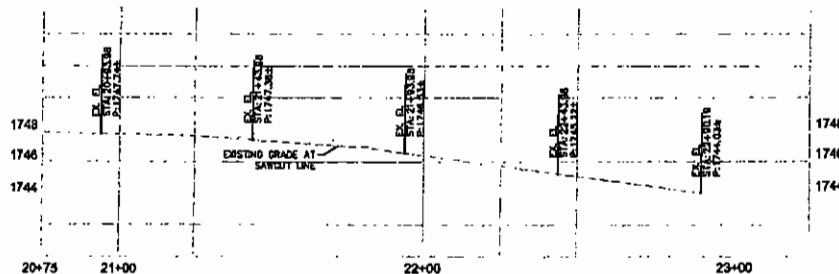








PROPOSED 140TH STREET ROAD WIDENING PROFILE

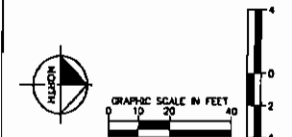


EXISTING 140TH STREET ROAD PROFILE

- REMOVAL NOTES:**
- 1 REMOVE EXISTING CURB OR CURB AND GUTTER, LENGTH PER PLAN.
  - 2 REMOVE EXISTING GUARD RAIL AND CHAIN LINK FENCE.
  - 3 REMOVE EXISTING AC PAVEMENT.

- CONSTRUCTION NOTES:**
- 1 CONSTRUCT 2.5" AC PAVEMENT OVER 7" ABC.
  - 2 CONSTRUCT TYPE 'C' ROLL CURB AND GUTTER PER MAG STD DET 220-1.
  - 3 SAWCUT EXISTING PAVEMENT, IF MINIMUM SAWCUT WIDTH.
  - 4 CONSTRUCT CURB RAMP PER COS STD DET 223A.
  - 5 CONSTRUCT CONCRETE SIDEWALK PER MAG STD DET 221 WIDTH PER PLAN.
  - 6 ADJUST MANHOLE RIM TO FINISHED GRADE PER COS STD DET 227A.
  - 7 CONSTRUCT TYPE 'A' SINGLE CURB PER MAG STD DET 222.
  - 8 INSTALL 18" x 8" x 12" CONTECH MULTIPLATE PIPE ARCH CHAISE STRUCTURAL PLATE OR EQUIVALENT PER MANUFACTURERS RECOMMENDATIONS AND DETAIL ON SHEET 23.
  - 9 INSTALL CROUTED RIP RAP PER DETAIL ON SHEET 30.
  - 10 CONSTRUCT CURB OPENING PER DETAIL ON SHEET 30.
  - 11 CONSTRUCT DIAMOND PLATE SCULPTOR PER MAG STD DET 203.

INCIDENT FLUCTUATIONS EXIST ON ALL EXISTING PAVEMENT AND MAY NOT BE FULLY DEPICTED ON THESE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT THE PROPOSED IMPROVEMENTS ARE INSTALLED TO COMPLY WITH THE OVERALL DESIGN INTENT.



WHISPER RIDGE IMPROVEMENT PLANS

OFFSITE PLAN 140TH STREET

138TH ST/SHEA BLVD. SCOTTSDALE, AZ

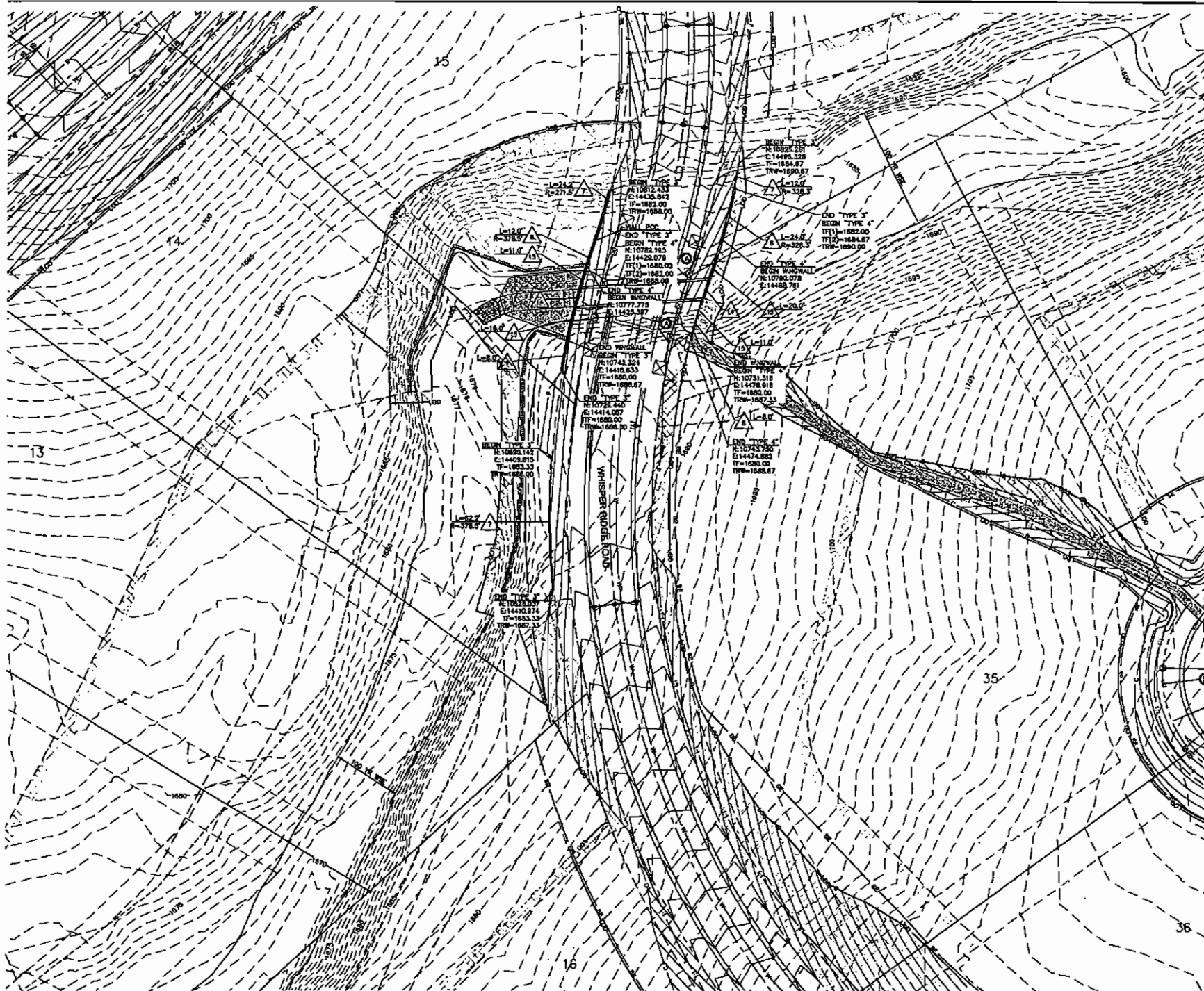
**Kimley-Horn and Associates, Inc.**  
 2014 KIMLEY-HORN AND ASSOCIATES, INC.  
 1790 North 16th Street, Suite 308  
 Phoenix, Arizona 85020 (602) 944-3800

DESIGNED	DRAWN	CHECKED
AMJ	MTA	MJD
SCALE (H): 1"=20'		
SCALE (V): 1"=4'		
DATE: FEB. 2014		
PROJECT NO.: 00105002		
DWG. NAME: 000005-PV-R		
SHEET NO.: 34		
OF 43 SHEETS		



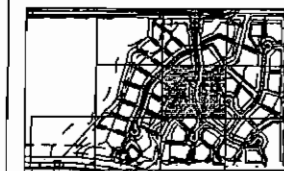






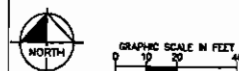
# CONSTRUCTION NOTES:

1. CONSTRUCT RETAINING WALL TYPE 3 PER TYPICAL SECTION ON SHEET 41.
2. CONSTRUCT RETAINING WALL TYPE 4 PER TYPICAL SECTION ON SHEET 41.
3. INSTALL WALL PENETRATION PER DETAIL ON SHEET 41.
4. INSTALL 8"X8" CONCRETE BOX CULVERT. SEE DRAINAGE PLANS FOR DETAILS.
5. INSTALL WHISPER PER ADOT STD DET 8.10 "TYPE LENGTH PER PLAN. INSTALL 42" RAILING (ALUMINUM MOUNTING PLUS MALESTIC 2/3 BAR OR APPROVED EQUIVALENT.)



## GENERAL NOTES:

1. WALL LENGTH BASED ON WALL LAYOUT LINE.
  2. SEE SHEET 40 FOR GENERAL STRUCTURAL NOTES.
  3. FOR WALL TYPICAL SECTIONS SEE SHEETS 41 AND 42.
  4. FOR DRAINAGE AND CONSTRUCTION JOINT DETAILS SEE SHEET 42.
  5. FOR WALL FOOTING STEP DETAILS CORRESPONDING TO DT1 & DT2 SEE SHEET 42.
- ABBREVIATIONS:  
 PT = POINT OF TANGENCY  
 PC = POINT OF CURVATURE  
 PCC = POINT OF COMPOUND CURVE  
 TOW = TOP OF SIDEWALK WALL  
 TRW = TOP OF RETAINING WALL  
 TF = TOP OF FOOTING  
 L = LENGTH  
 R = RADIUS



## WHISPER RIDGE IMPROVEMENT PLANS

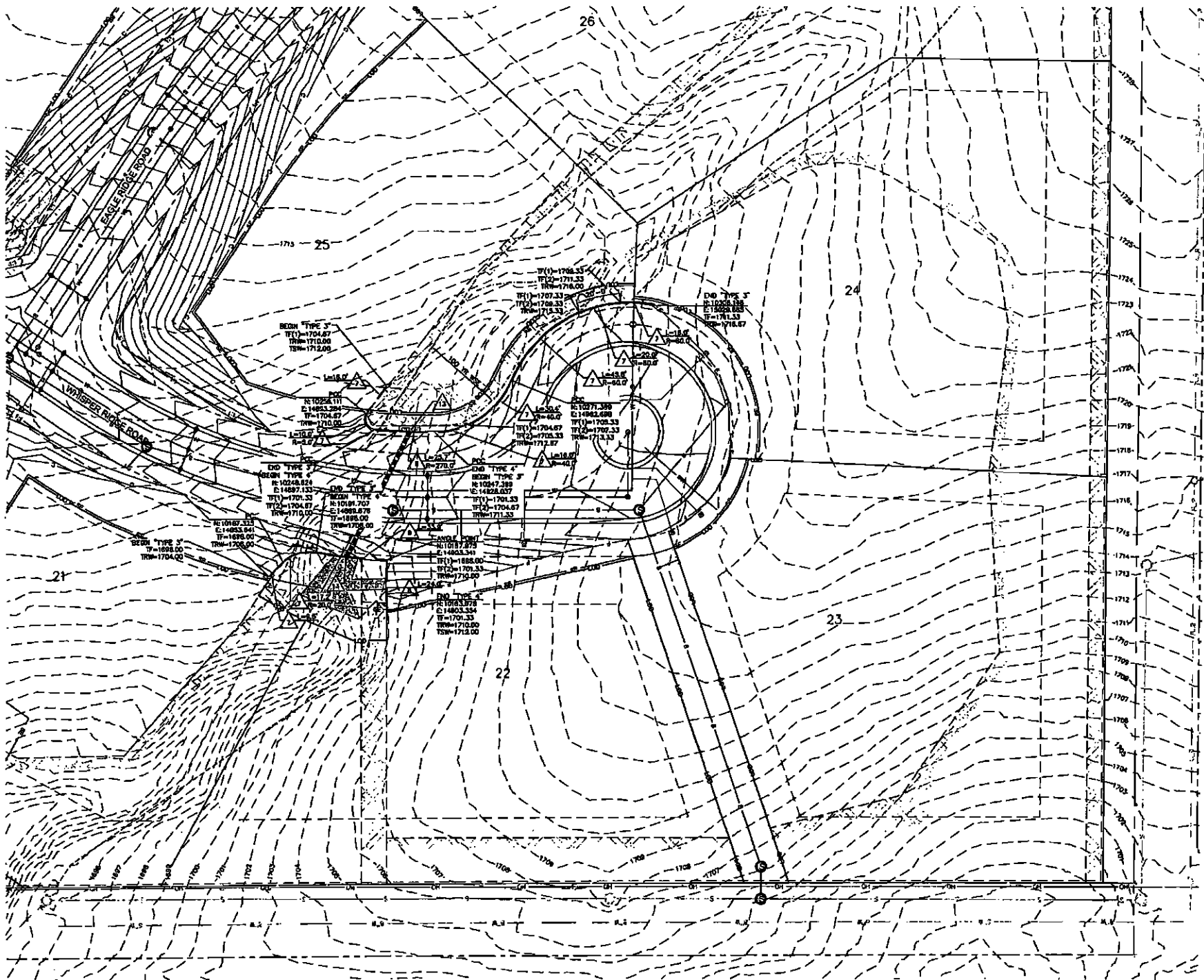
### RETAINING WALL PLAN 2 OF 3

136TH ST/SHEA BLVD. SCOTTSDALE, AZ

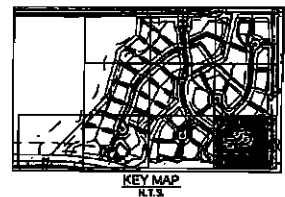
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 2740 North 160th Street, Suite 300  
 Phoenix, Arizona 85020 (602) 844-5300

DESIGNED	DRAWN	CHECKED
DATE	DATE	DATE
SCALE (H): 1"=20'	SCALE (V):	
PROJECT NO.	PROJECT NO.	
DWG. NAME	DWG. NAME	
SHEET NO.	SHEET NO.	





- CONSTRUCTION NOTES:**
- 1. CONSTRUCT RETAINING WALL TYPE 3 PER TYPICAL SECTION ON SHEET 41.
  - 2. CONSTRUCT RETAINING WALL TYPE 4 PER TYPICAL SECTION ON SHEET 41.
  - 3. INSTALL WALL PENETRATION PER DETAIL ON SHEET 41.
  - 4. INSTALL 6" W/ CONCRETE BOX CULVERT, SEE DRAINAGE PLANS FOR DETAILS.
  - 5. INSTALL WINDWALL PER ADOT STD DET 6.10 TYPE 1 LENGTH PER PLAN. INSTALL 42" RAILING (ANCHOR-MOUNTAGE PLUS MAESTIC 2/3 RAIL OR APPROVED EQUIVALENT).



- GENERAL NOTES:**
1. WALL LENGTH BASED ON WALL LAYOUT LINE.
  2. SEE SHEET 40 FOR GENERAL STRUCTURAL NOTES.
  3. FOR WALL TYPICAL SECTIONS SEE SHEETS 41 AND 42.
  4. FOR EXPANSION AND CONSTRUCTION JOINT DETAILS SEE SHEET 42.
  5. FOR WALL FOOTING STEP DETAILS CORRESPONDING TO W(1) & W(2) SEE SHEET 42.
  6. ABBREVIATIONS:  
 PT = POINT OF TANGENCY  
 PC = POINT OF CURVATURE  
 PCD = POINT OF COMPOUND CURVE  
 TSW = TOP OF SCREEN WALL  
 TRW = TOP OF RETAINING WALL  
 L = LENGTH  
 R = RADIUS



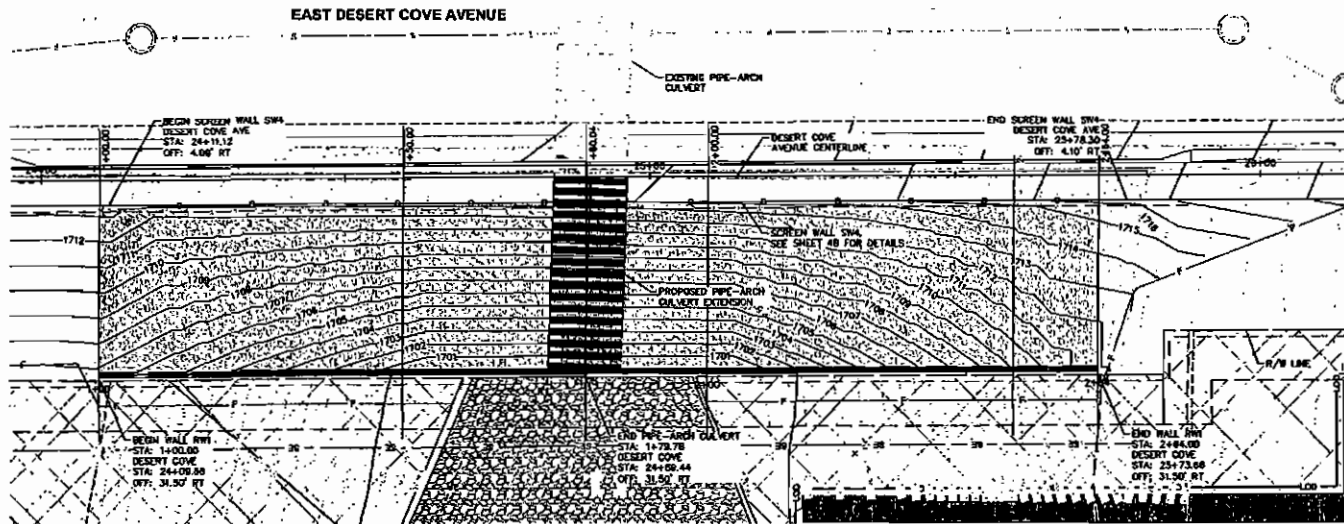
**WHISPER RIDGE IMPROVEMENT PLANS**  
**RETAINING WALL PLAN 3 OF 3**

136TH ST / SHEA BLVD. SCOTTSDALE, AZ

**Kimley-Horn and Associates, Inc.**  
 7748 North 18th Street, Suite 200  
 Phoenix, Arizona 85020 (602) 944-2000

	DATE	DESIGNED	DRAWN	CHECKED
	SCALE (H): 1"=20'			
	SCALE (V):			
	DATE	FEB. 2014		
PROJECT NO.		01100000		SHEET NO.
DWG. NAME		000000-R		37
File No. 130140		of 43		



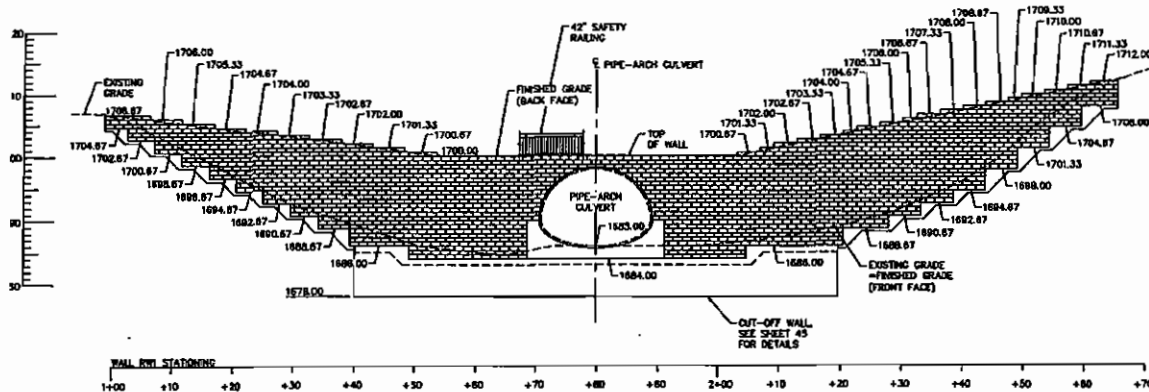


RETAINING WALL RW1 PLAN

SCALE: 1" = 10'-0"

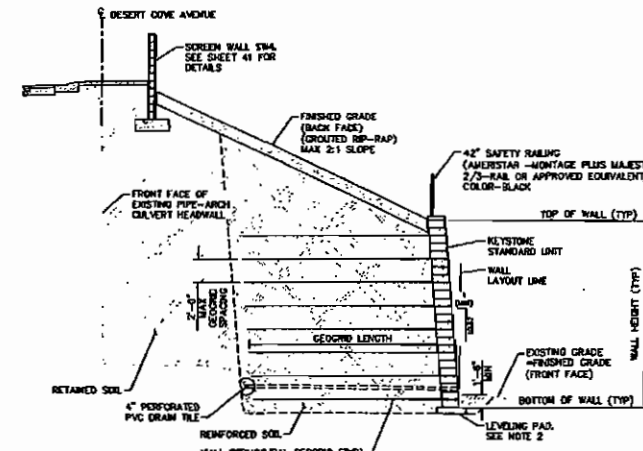
**GENERAL NOTES:**

1. WALL LENGTH BASED ON WALL LAYOUT LINE.
2. SEE SHEET 30 FOR GENERAL MODULAR BLOCK FACED GEORGRID RETAINING WALL NOTES.
3. SEE SHEET 40 FOR GENERAL STRUCTURAL NOTES.
4. FOR EXPANSION AND CONSTRUCTION JOINT DETAILS SEE SHEET 42.
5. SEE SHEET 39 FOR PIPE-ARCH CULVERT NOTES AND DETAILS.



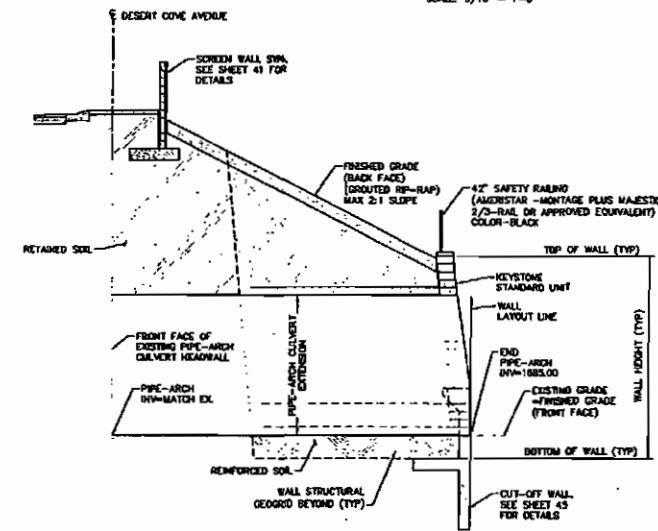
RETAINING WALL RW1 ELEVATION

SCALE: 1" = 10'-0"



RETAINING WALL RW1 TYPICAL SECTION

SCALE: 3/16" = 1'-0"



RETAINING WALL RW1 TYPICAL SECTION AT CULVERT

SCALE: 3/16" = 1'-0"

WHISPER RIDGE IMPROVEMENT PLANS  
MSE WALL PLAN AND ELEVATIONS  
136TH ST./SHEA BLVD. SCOTTSDALE, AZ



Kimley-Horn and Associates, Inc.  
2749 North 18th Street, Suite 300  
Phoenix, Arizona 85016 (602) 944-3300

DESIGNED	DRAWN	CHECKED
DMS	DMS	FJK
SCALE: 1/4" = 1'-0"	SCALE: 1/4" = 1'-0"	
DATE: FEB. 2014		
PROJECT NO. 001908009		
DWG. NAME: BRIDGE-MSE-R		
		SHEET NO. 38

of 43 pgs



## MODULAR BLOCK FACED GEOGRID RETAINING WALL NOTES

### GENERAL NOTES:

1. ALL MODULAR WALL UNITS SHALL CONSIST OF KEYSTONE 15" STRAIGHT FACE STANDARD UNITS (S70015" (M) 15" (D)) WITH KEYSTONE CONNECTORS. REFER TO KEYSTONE RETAINING WALL SYSTEMS TYPICAL WALL DETAILS FOR MODULAR UNIT DETAILS.
2. REINFORCED SOIL BACKFILL SHALL MEET THE REQUIREMENTS OF THESE PLANS AND BE APPROVED BY THE GEOTECHNICAL ENGINEER. ON-SITE EXCAVATED SOILS MEETING THESE REQUIREMENTS CAN BE UTILIZED FOR REINFORCED FILL.
3. ALL WALLS SHALL BE DESIGNED WITH THE FOLLOWING PARAMETERS BASED ON RECOMMENDATIONS PROVIDED IN GEOTECHNICAL SURFACE EXPLORATION PREPARED BY GEOTECHNICAL TESTING & INSPECTIONS, LLC. PROJECT NUMBER 122911G, DATED OCTOBER 30, 2012 AND ADDENDUM DATED JUNE 20, 2013 PROJECT NO. 1334332.  
 EXHANGMENT (REINFORCED FILL): 4-301, C=0 PSF, S=128 PCF  
 EXHANGMENT (RETAINED FILL): 4-301, C=0 PSF, S=128 PCF  
 EXHANGMENT (FOUNDATION SOIL): 4-341, C=0 PSF, S=128 PCF  
 ALLOWABLE BEARING CAPACITY: 2000 PSF (0.4 LL)
4. WALL DESIGNS ARE BASED ON THE GEOTECHNICAL SURFACE EXPLORATION PREPARED BY GEOTECHNICAL TESTING & INSPECTIONS, LLC. PROJECT NUMBER 122911G, DATED OCTOBER 30, 2012. ALL EARTHWORK SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS OF THIS GEOTECHNICAL REPORT.
5. 100% GEOTEXTILE COVERAGE IS REQUIRED FOR ALL MODULAR BLOCK FACED GEOGRID RETAINING WALLS.
6. REFERENCE STANDARDS:  
 6.1. ASTM 1377 - SEDIMENTAL RETAINING WALL UNITS  
 6.2. ASTM D444 - SPEC OF AGGREGATE FOR ROAD AND BRIDGE CONSTRUCTION  
 6.3. ASTM D1557 - LABORATORY COMPACTION CHARACTERISTICS TEST PROCEDURE
7. FOR LEVELING PAD DETAILS AND BOTTOM OF WALL STEPS REFER TO KEYSTONE TYPICAL WALL DETAIL SHEETS.
8. FOR RAILING INSTALLATION DETAILS, SECTIONS AND ELEVATIONS REFER TO KEYSTONE WALL TYPICAL DETAIL SHEETS.
9. ALL KEYSTONE BLOCKS SHALL BE INTERNALLY COLORED TO MATCH THE EXISTING TERRAIN (DARKS COLOR #40175 @ 4LB PER SACK OR EQUIVALENT). CONTRACTOR TO SUBMIT COLOR SAMPLES TO THE ENGINEER FOR APPROVAL.
10. CONTRACTOR SHALL SUBMIT FOR REVIEW SHOP DRAWINGS AND DESIGN CALCULATIONS DETAILING THE MODULAR BLOCK RETAINING WALL DESIGN, INCLUDING, BUT NOT LIMITED TO, GEOMETRY, STRAP LOCATIONS, STRAP SPACINGS, TOP OF WALL ELEVATIONS AND BOTTOM OF WALL ELEVATIONS. SHOP DRAWINGS MUST BE SIGNED AND SEALED BY AN ARIZONA LICENSED P.E.

### CONSTRUCTION NOTES

1. REFER TO WALL PLAN AND ELEVATION SHEETS FOR WALL LAYOUT AND MINIMUM HEIGHT OF ALL WALLS. WALL ELEVATIONS REPRESENT MINIMUM WALL REQUIREMENTS. CONTRACTOR CAN ADJUST FOOTING STEP LOCATIONS AND NUMBER OF FOOTING STEPS PROVIDED MINIMUM EMBEDEDMENT DEPTH REQUIRED FOR THESE PLANS ARE MAINTAINED.
2. CONSTRUCT WALL IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS, AND GEOTECHNICAL REPORT, THE KEYSTONE CONSTRUCTION MANUAL AND THE FINAL DESIGN AND CONSTRUCTION OF MECHANICALLY STABILIZED EARTH WALLS AND REINFORCED SLOPES (PUBLICATION NO. FHWA-N6-10-024) WHERE CONFLICTS OCCUR, THESE PLANS AND SPECIFICATIONS SHALL CONTROL.

### TESTING AND OBSERVATION NOTES

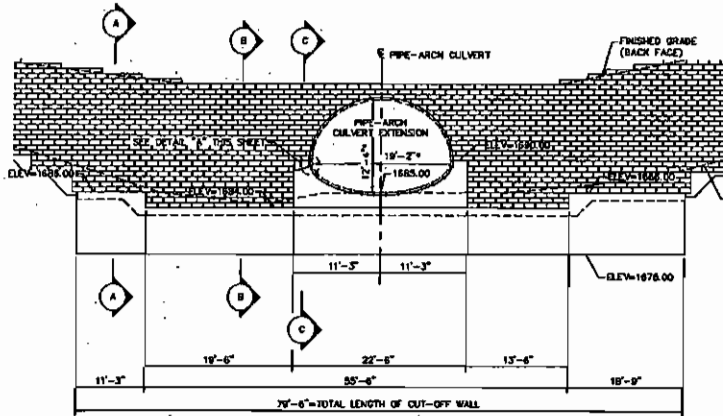
1. ALL WORK SHALL BE OBSERVED BY THE ENGINEER'S REPRESENTATIVE.
2. CONTINUOUS OBSERVATION AND DOCUMENTATION DURING CONSTRUCTION SHALL BE PROVIDED PER SECTION 4-342, PART 1, TITLE 24, C.C.R.
3. LETTER OF CERTIFICATION SHALL BE PROVIDED FOR KEYSTONE RETAINING WALL SYSTEM CONNECTORS AND THE TENSAR GEOGRIDS INDICATING THE SUPPLIER'S NAME AND ADDRESS, NAME AND PRODUCT DESIGNATION MEETING THE REQUIREMENTS OF THE PROJECT'S DESIGN AS A MINIMUM. THE LETTER OF CERTIFICATION FOR THE GEOGRIDS SHALL INCLUDE: ROLL NUMBERS AND IDENTIFICATION PROCEDURES, SAMPLING PROCEDURES AND RESULTS OF QUALITY CONTROL TESTS, INCLUDING DESCRIPTION OF TEST METHODS USED FOR FLEXURAL RIGIDITY, TENSILE MODULUS AND ELASTIC STRENGTH FOR EACH BATCH OF RESIN AND EACH SHIFT'S PRODUCTION USED.

### MATERIALS

1. DEFINITIONS:  
 1.1. CONCRETE UNITS - A KEYSTONE MODULAR CONCRETE FACING UNIT, MACHINE MADE FROM PORTLAND CEMENT, WATER AND MINERAL AGGREGATES.  
 1.2. STRUCTURAL GEOGRID - A STRUCTURAL GEOGRID FORMED BY A REGULAR NETWORK OF INTEGRALLY CONNECTED EXIBLE ELEMENTS WITH APERTURES OF SUFFICIENT SIZE TO ALLOW INTERLOCKING WITH SURROUNDING SOIL, ROCK OR EARTH AND FUNCTION PRIMARILY AS REINFORCEMENT.  
 1.3. UNIT FILL - DRAINAGE AGGREGATE WHICH IS PLACED WITHIN AND IMMEDIATELY BEHIND THE MODULAR CONCRETE UNITS.  
 1.4. REINFORCED BACKFILL - COMPACTED SOIL WHICH IS WITHIN THE REINFORCED SOIL VOLUME AS SHOWN ON THE PLANS.
2. KEYSTONE UNITS:  
 2.1. KEYSTONE WALL UNITS SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI. STANDARD WEIGHT CONCRETE SHALL HAVE A MAXIMUM MOISTURE ABSORPTION OF 8%.
3. FIBERGLASS CONNECTION PINS:  
 3.1. CONNECTION PINS SHALL BE 1/2" DIAMETER THERMOSET ISOPHTHALIC POLYESTER RESIN-PLATED FIBERGLASS PINS SUPPLIED BY THE MANUFACTURER.
4. KEYSTONE EPOXY/RESIN CONSTRUCTION ADHESIVE:  
 4.1. MATERIAL SHALL CONFORM TO ASTM 3133 AND SHALL BE SUPPLIED BY THE KEYSTONE UNIT SUPPLIER.
5. GEOGRID:  
 5.1. GEOGRID SHALL BE THE TYPE AS SHOWN ON THE DRAWINGS HAVING THE PROPERTY REQUIREMENTS DESCRIBED WITHIN THE MANUFACTURER'S SPECIFICATIONS AND REQUIRED BY THE DESIGN.
6. BASE LEVELING AND PAD DETAIL:  
 6.1. MATERIAL SHALL BE UNREINFORCED CONCRETE OR COMPACTED CRUSHED STONE AS SHOWN ON THE CONSTRUCTION DRAWINGS.
7. UNIT DRAINAGE FILL:  
 7.1. UNIT FILL SHALL CONSIST OF CLEAN 1" MINUS CRUSHED STONE OR CRUSHED GRAVEL MEETING THE FOLLOWING GRADATION:  

SIEVE SIZE	% PASSING
NO. 10	100
NO. 40	75-100
NO. 60	0-10
NO. 100	0-5
8. REINFORCED BACKFILL (MINIMUM REQUIREMENTS):  
 8.1. REINFORCED BACKFILL SHALL BE FREE OF DEBRIS OR ORGANIC MATERIAL MEETING THE FOLLOWING GRADATION:  

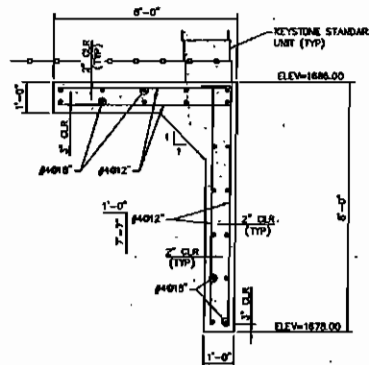
SIEVE SIZE	% PASSING
NO. 10	100
NO. 40	75-100
NO. 60	0-10
NO. 100	0-5
- 8.2. THE MAXIMUM AGGREGATE SIZE SHALL BE LIMITED TO 2" UNLESS FIELD TESTS HAVE BEEN PERFORMED TO EVALUATE STRENGTH REDUCTION TO INSTALLATION.
- 9.3. MATERIAL CAN BE SITE EXCAVATED MATERIAL WHEN THE ABOVE REQUIREMENTS ARE MET. UNSUITABLE SOILS FOR BACKFILL (HIGH PLASTIC CLAYS OR ORGANIC MATERIALS) SHALL NOT BE USED IN THE REINFORCED SOIL MASS.
- 9.4. CONTRACTOR SHALL SUBMIT REINFORCED FILL SAMPLE AND TEST RESULTS TO THE ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.



RETAINING WALL RW1 CUT-OFF WALL ELEVATION

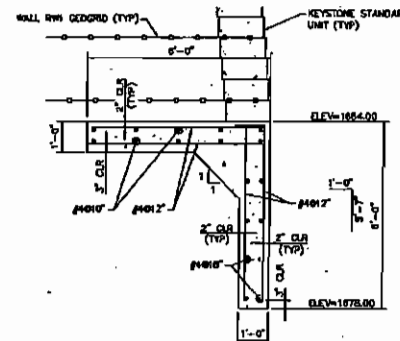
SCALE: 1/8" = 1'-0"

\*NOTE: SEE PIPE-ARCH CULVERT NOTES FOR INFORMATION REGARDING PIPE-ARCH SIZE/DIMENSIONS.



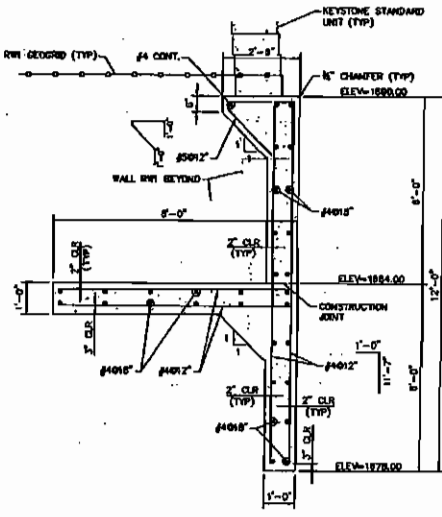
SECTION A-A

SCALE: 1/2" = 1'-0"



SECTION B-B

SCALE: 1/2" = 1'-0"



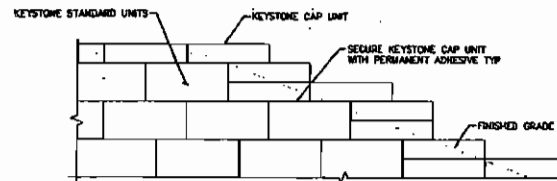
SECTION C-C

SCALE: 1/2" = 1'-0"

### PIPE-ARCH CULVERT NOTES

#### GENERAL NOTES:

1. PIPE-ARCH CULVERT EXTENSION SHALL CONSIST OF GALVANIZED STRUCTURAL STEEL CONSISTING OF PLATES AND APPURTENANT ITEMS AS SHOWN ON THE CONSTRUCTION PROVIDED SHOP DRAWINGS AND SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M167 AND ASTM B751. THE CORRUGATED PLATE SHALL BE CURVED AND BOLT HOLE PROVIDED AT THE PLANT. PIPE-ARCH SHALL HAVE A MINIMUM SPAN OF 10.23 FT AND MINIMUM RISE OF 12.33 FT. CONTRACTOR TO VERIFY AND SUBMIT FOR REVIEW DIMENSIONS OF PROPOSED PIPE-ARCH. MINIMUM PLATE THICKNESS TO BE 7 GADE (0.187") AND RIS SPACINGS SHALL BE AS INDICATED ON THE SHOP DRAWINGS. ALL MANUFACTURING PROCESSES INCLUDING CORRUGATING, PUNCHING, AND GALVANIZING SHALL BE PERFORMED WITHIN THE UNITED STATES USING RAW MATERIALS MADE IN THE UNITED STATES.
2. CONTRACTOR SHALL SUBMIT FOR REVIEW SHOP DRAWINGS AND DESIGN CALCULATIONS DETAILING THE PIPE-ARCH CULVERT DESIGN, INCLUDING BUT NOT LIMITED TO GEOMETRY, CONNECTION TO EXISTING PIPE-ARCH CULVERT, AND INVERT ELEVATIONS. SHOP DRAWINGS AND DESIGN CALCULATIONS SHALL BE SIGNED AND SEALED BY AN ARIZONA LICENSED P.E.
3. BOLTS AND NUTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A307 OR ASTM A448.
4. EXHANGMENT SOILS SHALL BE AS SPECIFIED UNDER THE MODULAR BLOCK FACED GEOGRID RETAINING WALL NOTES.
5. PIPE-ARCH CULVERT CONNECTION TO PROPOSED CUT-OFF WALL SHALL BE AS SHOWN ON SHOP DRAWINGS.
6. EXHANGMENT SOILS ARE BASED ON THE GEOTECHNICAL SURFACE EXPLORATION PREPARED BY GEOTECHNICAL TESTING & INSPECTIONS, LLC. PROJECT NUMBER 122911G, DATED OCTOBER 30, 2012. ALL EARTHWORK SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS OF THIS GEOTECHNICAL REPORT.
7. THE PIPE-ARCH STRUCTURE SHOULD BE ASSEMBLED IN ACCORDANCE WITH THE SHOP DRAWINGS PROVIDED BY THE MANUFACTURER AND PER THE MANUFACTURER'S RECOMMENDATIONS. BOLTS SHALL BE TIGHTENED USING AN APPLIED TORQUE OF BETWEEN 100 AND 150 FT.-LBS.
8. THE PIPE-ARCH STRUCTURE SHALL BE PER THE REQUIREMENTS OF GEOTECHNICAL ENGINEER. BACKFILL MUST BE PLACED SYMMETRICALLY ON EACH SIDE OF THE STRUCTURE IN 6 TO 8 INCH LIFTS. EACH LIFT SHALL BE COMPACTED TO A MINIMUM OF 90 PERCENT DENSITY PER AASHTO T 99.



TOP OF WALL DETAIL

SCALE: 1" = 1'-0"

### WHISPER RIDGE IMPROVEMENT PLAN

#### MSE WALL NOTES AND DETAILS

136TH ST/SHEA BLVD. SCOTTSDALE, AZ

Kimley-Horn and Associates, Inc.  
 7700 North 14th Street, Suite 300  
 Phoenix, Arizona 85021 (602) 944-5000

	DESIGNED	DRAWN	CHECKED
	DATE	DATE	DATE
	SCALE (H): 1" = 20'	SCALE (V):	
	DATE: FEB 2014	PROJECT NO.	SHEET NO.
	DWG. NAME		
	900SWP-MSE-R		43



# GENERAL STRUCTURAL NOTES - SCREEN WALL AND RETAINING WALL NOTES:

## DESIGN SPECIFICATIONS

2012 INTERNATIONAL BUILDING CODE WITH CITY OF SCOTTSDALE AMENDMENTS.

## DESIGN LOADS

DEAD LOAD = WEIGHT OF BACKFILL = 120pcf

EQUIVALENT FLUID PRESSURE FOR ACTIVE SOIL PRESSURE = 30pcf (BACKFILL SHALL MEET REQUIREMENTS OF PROJECT GEOTECH REPORT)

EQUIVALENT FLUID PRESSURE FOR PASSIVE SOIL PRESSURE = 200pcf

COEFFICIENT OF FRICTION=0.40 (EXCLUDES PASSIVE SOIL PRESSURE IN STABILITY CHECKS)  
=0.30 (INCLUDES PASSIVE SOIL PRESSURE IN STABILITY CHECKS)

WIND VELOCITY 105 MPH, EXPOSURE C, WIND PRESSURE = 21 psf

ALLOWABLE SOIL BEARING PRESSURE = 1200 psf - SCREEN WALLS  
2000 psf - RETAINING WALLS

LIVE LOAD SURCHARGE PRESSURE:  
WEIGHT OF 2FT OF BACKFILL MATERIAL = 240 PSF

## FOUNDATIONS

FOUNDATION DATA BASED ON GEOTECHNICAL SUBSURFACE EXPLORATION FOR 8-ACRES AT THE FINLAY PROPERTY (SCOTTSDALE, AZ), PREPARED BY Q.T.J. GEOTECHNICAL TESTING AND INSPECTIONS, LLC, PROJECT NO. 1228110, DATED OCTOBER 30, 2013 AND ADDENDUM NO. 1 DATED JUNE 20, 2013.

FOUNDATION PREPARATION IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL EVALUATION.

## CONCRETE AND REINFORCEMENT

F<sub>c</sub> = 3000 psi - WALLS AND FOOTINGS  
f<sub>y</sub> = 24,000 psi - REINFORCING STEEL (F<sub>y</sub> = 60,000 psi)

REINFORCING SHALL CONFORM TO ASTM A615, EXCEPT REINFORCING BARS WHICH ARE TO BE WELDED SHALL CONFORM TO ASTM.

DETAIL, FABRICATE AND ERECT REINFORCEMENT BARS, INCLUDING BAR SUPPORTS, SPACERS, ETC. IN ACCORDANCE WITH "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT." (A.C.I. SP-08(04)).

ALL BEND DIMENSIONS FOR REINFORCING STEEL SHALL BE OUT-TO-OUT OF BARS. ALL PLACEMENT DIMENSIONS FOR REINFORCING STEEL SHALL BE TO CENTER OF BARS UNLESS NOTED OTHERWISE.

ALL REINFORCING SHALL HAVE 2" CLEAR COVER UNLESS NOTED OTHERWISE.

ALL EXPOSED CONCRETE CORNERS SHALL BE CHAMFERED 1".

## MASONRY

STRESSED MASONRY ..... F<sub>m</sub> = 1500 PSI  
ASTM #15 GRADE 60 REINFORCING STEEL .... F<sub>y</sub> = 24,000 PSI

MASONRY: F<sub>m</sub> = 1500 PSI, ASTM C90, MEDIUM OR NORMAL WEIGHT, RUNNING BOND, NORMAL CMU BLOCK UNLESS NOTED OTHERWISE.

MORTAR: ASTM C270, TYPE S, CURSE STRENGTH 1800 PSI, ASTM C91.

GROUT: ASTM C478, TYPE: COARSE, CURSE STRENGTH 2000 PSI.

REINFORCED STEEL: ASTM #15, GRADE 60

JOINT REINFORCING: 1 GAUGE LADDER OR TRUSS TYPE, STANDARD WEIGHT, F<sub>y</sub>=33,000 PSI. PROVIDE HORIZONTAL JOINT REINFORCING @ 16" O.C. MAX.

WEIR: ASTM A66.

## JOINT NOTES:

MASONRY:

VERTICAL REINFORCEMENT TO BE PLACED IN CELLS ON EACH SIDE OF JOINT.

HORIZONTAL REINFORCEMENT DOES NOT CROSS THE JOINT.

CONTROL JOINTS TO BE LOCATED AT A MINIMUM 24" AWAY FROM ALL WALL OPENINGS.

CONTROL JOINT SPACING NOT TO EXCEED 24' O.C.

CHALKING/SEALANT AND BACKER ROD PER PROJECT SPECIFICATIONS.

SCREENING:

ALL RETAINING WALLS SHALL HAVE CONSTRUCTION JOINTS SPACED AT NOT MORE THAN 30'-0" APART OR AS SHOWN.

REINFORCING STEEL SHALL PROJECT THROUGH THE JOINT.

EXPANSION JOINTS SHALL BE PROVIDED AT INTERVALS NOT EXCEEDING 90'-0".

FOOTINGS MAY BE CONTINUOUS WITH NO JOINT.

## WALL GEOMETRY

SEE WALL PLAN SHEETS FOR WALL LAYOUT, TOP OF FOOTING AND TOP OF WALL ELEVATIONS. HEIGHT OF WALL MAY VARY ± 3 INCHES.

TOP OF WALL ELEVATIONS SHALL BE STEPPED AS EVENLY AS POSSIBLE ALONG LENGTH OF WALL BETWEEN WALL LAYOUT POINTS.

THE DESIGN "Y" VALUE IS DETERMINED BY TOP OF WALL AND TOP OF FOOTING ELEVATIONS GIVEN ON THE RETAINING WALL PLAN SHEETS.

RETAINING WALL AND SCREEN WALL LAYOUT LINE IS REFERENCED TO THE CENTER OF THE RETAINING WALL AND SCREEN WALL AS SHOWN ON WALL TYPICAL SECTION, UNLESS OTHERWISE SHOWN ON THE PLANS.

CONTRACTOR TO PROVIDE BACK YARD DRAINAGE THROUGH WALL, PER DETAIL ON SHEET 48, EVERY 40 FT ON ALL BACK YARD WALLS.

## COORDINATION

CONTRACTOR SHALL COORDINATE ALL EXISTING CONDITIONS DURING CONSTRUCTION OF PROJECT. UTILITY INFORMATION SHOWN ON THE PLANS MAY NOT BE COMPLETE OR ACCURATELY DEPICT THE LOCATION OF THE FACILITIES SHOWN. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL EXISTING, NEW, RELOCATED AND ABANDONED UTILITIES WITH THE PROJECT PLANS AND NOTIFY RESPECTIVE OWNERS BEFORE COMMENCING THE WORK OF EXCAVATION, INCLUDING ANY DRILLING OR PILING REQUIRED FOR TEMPORARY SHORING. COMMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO PROCEEDING WITH THE WORK. SEE CIVIL AND UTILITY DRAWINGS FOR ADDITIONAL INFORMATION.

VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO STARTING WORK. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

## DIMENSIONS

DIMENSIONS SHALL NOT BE SEALED FROM DIMENSIONS.

## WALL FINISH REQUIREMENTS

ALL EXPOSED FACES OF CAST-IN-PLACE RETAINING WALLS AND MASONRY WALLS SHALL HAVE A PAINTED STUCCO FINISH AND PAINTED. PAINT COLOR SHALL MATCH EXISTING TERRAZZO (GAVIS COLOR #01078) @ 4LB PER SACK SHOCK OR EQUIVALENT). CONTRACTOR SHALL SUBMIT STUCCO SPECIFICATIONS AND PAINT COLOR SAMPLE TO ENGINEER FOR APPROVAL.

## SPECIAL INSPECTIONS

1. SPECIAL INSPECTION IS REQUIRED OF MATERIALS, INSTALLATION, FABRICATION, ERECTION OR PLACEMENT OF COMPONENTS AND CONNECTIONS REQUIRING SPECIAL EXPERTISE TO ENSURE COMPLIANCE WITH APPROVED CONSTRUCTION DOCUMENTS.
2. THE FOLLOWING ITEMS REQUIRE SPECIAL INSPECTION:

INSPECTION OF CONCRETE AND MASONRY CONSTRUCTION (2012 IBC TABLE 1705.3 AND 1705.4)			
INSPECTION ITEMS	INSPECTION TASK	FREQUENCY OF INSPECTION	COMMENTS
STRUCTURAL MASONRY	1. AS MASONRY CONSTRUCTION BEGINS, THE FOLLOWING SHALL BE VERIFIED TO ENSURE COMPLIANCE: A. PROPORTIONS OF SITE-PREPARED MORTAR. B. CONSTRUCTION OF MORTAR JOINTS. C. LOCATION OF REINFORCEMENT, CONNECTORS, PRESTRESSING TENDONS AND ANCHORAGES.	PERIODIC	(1) (3)
	2. THE INSPECTION PROGRAM SHALL VERIFY: A. SIZE AND LOCATION OF STRUCTURAL ELEMENTS. B. TYPE, SIZE AND LOCATION OF ANCHORS, INCLUDING OTHER DETAILS OF ANCHORAGE OF MASONRY TO STRUCTURAL MEMBERS, FRAMES OR OTHER CONSTRUCTION. C. SPECIFIED SIZE, GRADE AND TYPE OF REINFORCEMENT. D. PROTECTION OF MASONRY DURING COLD WEATHER (TEMPERATURE BELOW 40°F) OR HOT WEATHER (TEMPERATURE ABOVE 90°F).	PERIODIC	(1) (3) (4)
	3. PRIOR TO GROUTING, THE FOLLOWING SHALL BE VERIFIED TO ENSURE COMPLIANCE: A. GROUT SPACE IS CLEAR. B. PLACEMENT OF REINFORCEMENT AND CONNECTORS AND PRESTRESSING TENDONS AND ANCHORAGES. C. PROPORTIONS OF SITE-PREPARED GROUT AND PRESTRESSING GROUT FOR BORED TENDONS. D. CONSTRUCTION OF MORTAR JOINTS.	PERIODIC	(1) (3)
	4. GROUT PLACEMENT SHALL BE VERIFIED TO ENSURE COMPLIANCE WITH CODE AND CONSTRUCTION DOCUMENT PROVISIONS.	CONTINUOUS	(2) (3)
STRUCTURAL CAST-IN-PLACE CONCRETE	5. PREPARATION OF ANY REQUIRED GROUT SPECIMENS, MORTAR SPECIMENS AND/OR PRISMS SHALL BE OBSERVED.	CONTINUOUS	(2) (3)
	6. COMPLIANCE WITH REQUIRED INSPECTION PROVISIONS OF THE CONSTRUCTION DOCUMENTS AND THE APPROVED SUBMITTALS SHALL BE VERIFIED.	PERIODIC	(1) (3)
	1. REINFORCING STEEL AND PLACEMENT.	PERIODIC	(1) (3) (4)
	2. VERIFICATION OF MIX DESIGN.	PERIODIC	(1) (3)
	3. SAMPLES TAKEN FOR STRENGTH, SLUMP, AIR CONTENT, AND CONCRETE TEMPERATURE.	CONTINUOUS	(2) (3)
	4. INSPECTION OF CONCRETE PLACEMENT.	CONTINUOUS	(2) (3)
	5. MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES.	PERIODIC	(1) (3)
	6. FORMWORK FOR SHAPE, LOCATION, AND DIMENSIONS.	PERIODIC	(1) (3)
	7. INSPECT BELTS TO BE INSTALLED IN CONCRETE PRIOR TO AND DURING PLACEMENT OF CONCRETE.	CONTINUOUS	(2) (3)

INSPECTION OF SOILS (2012 IBC TABLE 1705.6)			
INSPECTION ITEMS	INSPECTION TASK	FREQUENCY OF INSPECTION	COMMENTS
SOIL PREPARATIONS AND EXCAVATIONS	1. VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY.	PERIODIC	(3) (5)
	2. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.	PERIODIC	(3) (5)
	3. PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS.	PERIODIC	(3) (5)
	4. VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF COMPACTED FILL.	CONTINUOUS	(3) (5)
	5. PRIOR TO PLACEMENT OF COMPACTED FILL, OBSERVE SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY.	PERIODIC	(3) (5)

## COMMENTS

1. PERIODIC SPECIAL INSPECTION: THE PART-TIME OR INTERMITTENT OBSERVATION OF WORK REQUIRING SPECIAL INSPECTION BY AN APPROVED SPECIAL INSPECTOR WHO IS PRESENT IN THE AREA WHERE THE WORK HAS BEEN OR IS BEING PERFORMED AND AT THE COMPLETION OF WORK. (2012 IBC 1702).
2. CONTINUOUS SPECIAL INSPECTION: THE FULL-TIME OBSERVATION OF WORK REQUIRING SPECIAL INSPECTION BY AN APPROVED SPECIAL INSPECTOR WHO IS PRESENT IN THE AREA WHERE THE WORK IS BEING PERFORMED. (2012 IBC 1702).
3. ITEMS NOT SHOWN MAY REQUIRE CONTINUOUS OR PERIODIC SPECIAL STRUCTURAL INSPECTION AT THE DISCRETION OF THE ENGINEER. ITEMS LISTED MAY REQUIRE ALTERNATE FREQUENCIES OF INSPECTION OTHER THAN SHOWN UNDER DISCRETION OF THE ENGINEER.
4. WELDING OF REINFORCING STEEL NOT ACCEPTABLE UNLESS DIRECTED BY THE PROGRAM/PROJECT MANAGER OF RECORD.
5. SOILS INSPECTION REQUIREMENT SHALL CONFORM WITH PROJECT SOILS ENGINEER/CONSULTANT AS OUTLINED IN SOILS REPORT AND PROJECT SPECIFICATIONS.

## WHISPER RIDGE IMPROVEMENT PLAN

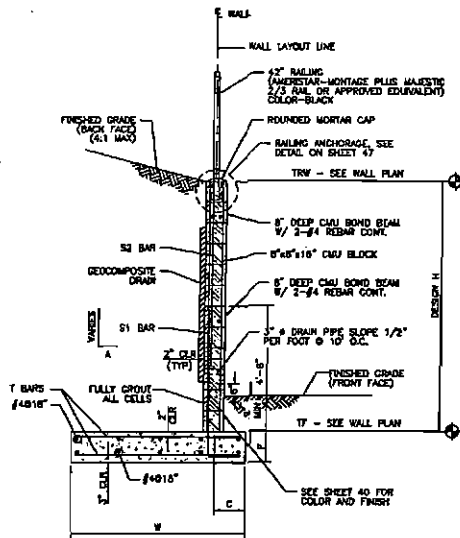
## GENERAL STRUCTURAL NOTES

136TH ST./SHEA BLVD. SCOTTSDALE, AZ

Kimley-Horn and Associates, Inc.  
© 2014 KIMLEY-HORN AND ASSOCIATES, INC.  
1700 North 10th Street, Suite 200  
Phoenix, Arizona 85007 (602) 944-9900

	DESIGNED BY	DRAWN BY	CHECKED BY
	SCALE (H): 1"=20'	SCALE (V):	
	DATE: FEB 2014		SHEET NO.
	PROJECT NO. 021908008		40
	DWG. NAME	SCOTT-10-R	





RETAINING WALL (TYPE 3) TYPICAL SECTION

N.T.S.

# RETAINING WALL (TYPE 3) DIMENSIONS AND REINFORCING

DIMENSIONS				REINFORCING STEEL LIST									
DESIGN H	W	F	C	S1			S2			T			MAX. LIVE LOAD (KIP/FT)
				BAR SIZE	SPACING	LENGTH	BAR SIZE	SPACING	LENGTH	BAR SIZE	SPACING	LENGTH	
0'-4"	5'-9"	1'-0"	1'-0"	#5	24"	SEE NOTE 1	---	---	---	#5	16"	5'-3"	630
4'-8"	6'-8"	1'-0"	1'-0"	#5	16"	SEE NOTE 1	#5	16"	5'-4"	#5	8"	8'-3"	930
6'-8.87"	7'-0"	1'-0"	1'-0"	#5	8"	SEE NOTE 1	#5	16"	5'-4"	#5	8"	7'-3"	1305

## LAP SPICE AND HOOK LENGTH TABLE-REINFORCED CONCRETE

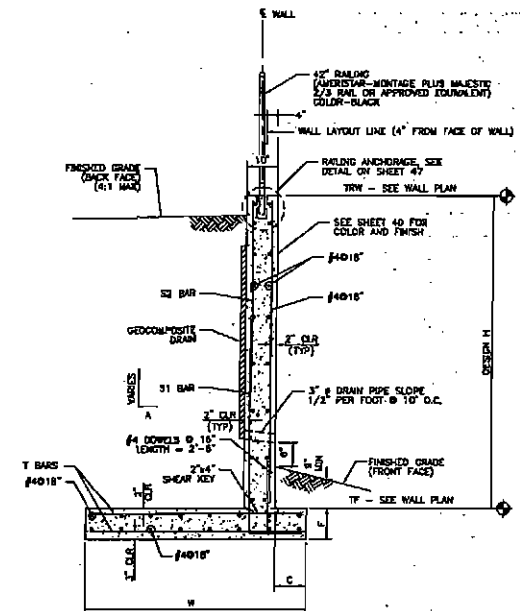
BAR SIZE	LAP LENGTH SPACING	A
#5	1'-0"	1'-0"
#6	2'-2"	1'-0"
#7	3'-11"	1'-2"
#8	3'-0"	1'-4"

## REINFORCING NOTES:

1. S1 BAR LENGTH SHALL BE AS REQUIRED TO PLACE BAR TO TOP OF RETAINING WALL.
2. S2 BAR LENGTH SHALL BE AS REQUIRED TO PLACE BAR TO TOP OF SCREEN WALL.

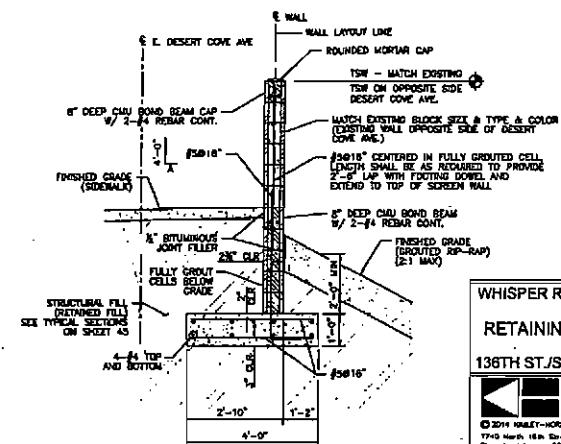
# RETAINING WALL (TYPE 4) DIMENSIONS AND REINFORCING

DIMENSIONS				REINFORCING STEEL LIST									
DESIGN H	W	F	C	S1			S2			T			MAX. LIVE LOAD (KIP/FT)
				BAR SIZE	SPACING	LENGTH	BAR SIZE	SPACING	LENGTH	BAR SIZE	SPACING	LENGTH	
0'-4"	5'-9"	1'-0"	1'-0"	#5	16"	SEE NOTE 1	---	---	---	#5	16"	4'-8"	700
4'-8"	6'-8"	1'-0"	1'-0"	#5	16"	SEE NOTE 1	---	---	---	#5	16"	6'-0"	1050
6'-8"	7'-8"	1'-0"	1'-0"	#6	16"	4'-9"	#5	16"	SEE NOTE 2	#5	8"	7'-0"	1435
8'-10"	8'-8"	1'-0"	1'-0"	#6	8"	6'-0"	#5	16"	SEE NOTE 2	#5	8"	8'-3"	1830



RETAINING WALL (TYPE 4) TYPICAL SECTION

N.T.S.



SCREEN WALL (SW4) TYPICAL SECTION

N.T.S.

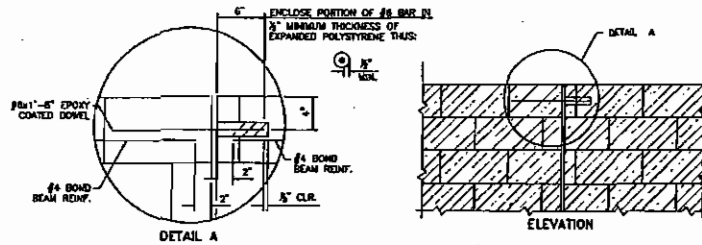
WHISPER RIDGE IMPROVEMENT PLAN:  
RETAINING WALL DETAILS 1 OF 2  
136TH ST./SHEA BLVD. SCOTTSDALE, A

Kimley-Horn  
and Associates, Inc.

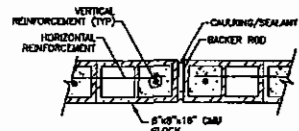
© 2014 KIMLEY-HORN AND ASSOCIATES, INC.  
1745 North 18th Street, Suite 300  
Phoenix, Arizona 85016 (602) 944-3300

DESIGNED	DRAWN	CHECKED
RHS	RHS	K.R.
SCALE (H): NO SCALE	SCALE (V): NO SCALE	
DATE:	FEB. 2014	SHEET NO.
PROJECT NO.	091900009	41
DWG. NAME	8002S-01-R	of 43 W

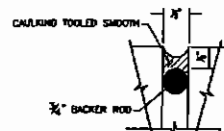




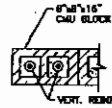
**TYPICAL BOND BEAM DETAIL AT CONTROL JOINT**  
N.T.S.



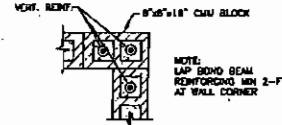
**MASONRY WALL CONTROL JOINT**  
N.T.S.



**CAULKING/BACKER ROD DETAIL**  
N.T.S.

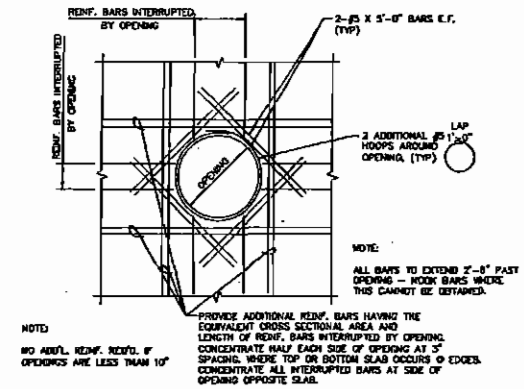


**WALL END**

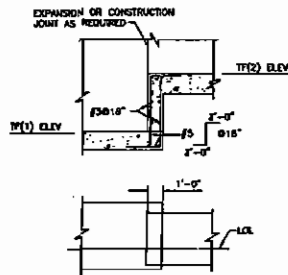


**WALL CORNER**

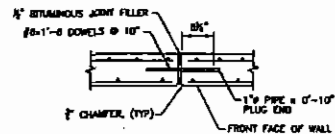
**TYPICAL WALL DETAILS**  
N.T.S.



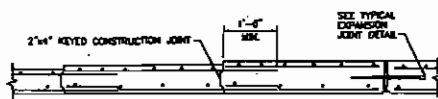
**WALL PENETRATION DETAIL**  
N.T.S.



**FOOTING STEP DETAIL**  
N.T.S.



**TYPICAL EXPANSION JOINT DETAIL**  
N.T.S.



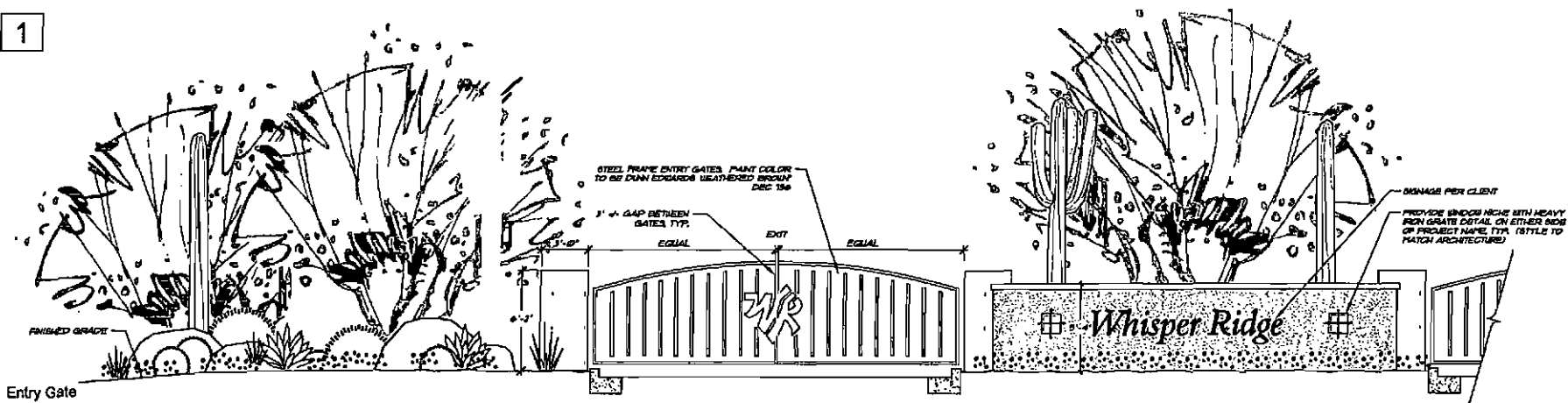
**TYPICAL CONSTRUCTION JOINT DETAIL**  
N.T.S.

**CONCRETE WALL DETAILS**

<b>WHISPER RIDGE IMPROVEMENT PLAN</b>			
<b>RETAINING WALL DETAIL 2 OF 2</b>			
136TH ST./SHEA BLVD. SCOTTSDALE, AZ			
		<b>Kimley-Horn and Associates, Inc.</b> <small>© 2014 KIMLEY-HORN AND ASSOCIATES, INC.          1743 NORTH 16TH AVENUE, SUITE 300          PHOENIX, ARIZONA 85029 (602) 944-3300</small>	
DESIGNED	BY	DRAWN	CHECKED
SCALE	DATE	SCALE	DATE
PROJECT NO.		SHEET NO.	
SHEET NO.		SHEET NO.	



1

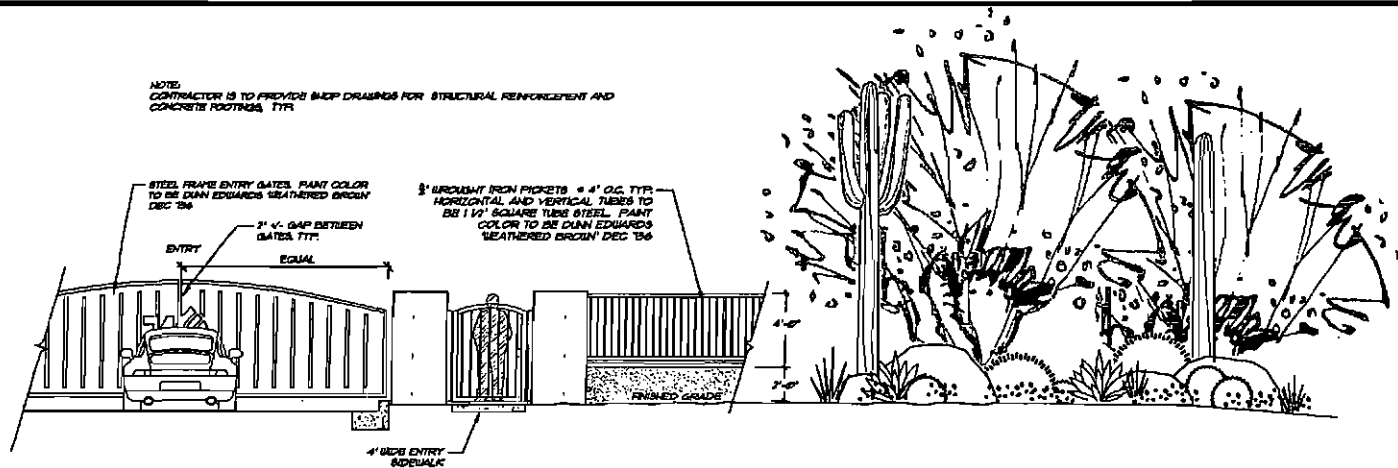


Entry Gate

N.T.S.

2

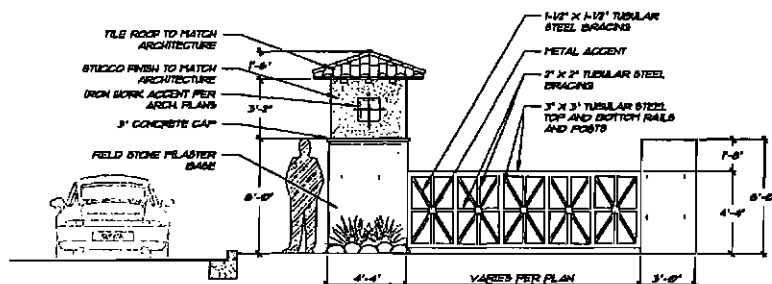
NOTE:  
CONTRACTOR IS TO PROVIDE SHOP DRAWINGS FOR STRUCTURAL REINFORCEMENT AND CONCRETE FOOTINGS, TYP.



Entry Gate - Continued

N.T.S.

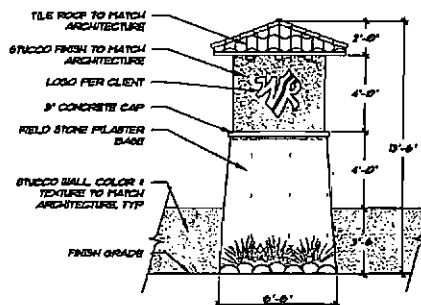
3



Vertical Column &amp; Railing

N.T.S.

4



Entry Column

N.T.S.

FOR REFERENCE ONLY

WHISPER RIDGE PHASE I MASTER SET

LANDSCAPE ENTRY WALL

136TH ST./SHEA BLVD. SCOTTSDALE, AZ

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1740 North 18th Street, Suite 200

Phoenix, AZ 85016 (602) 944-3300

DESIGNED BY MTA

DRAWN BY MTD

CHECKED BY MTD

DATE: NOV. 2013

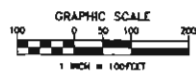
PROJECT NO. 081908000

DWG. NAME: 0000LSW-R

SHEET NO. 43

OF 43





NOTE: ANY GRADING PROPOSED WITHIN THE SLOPE STABILITY EASEMENT IS SUBJECT TO AN ENGINEERED (STRUCTURAL AND GEOTECHNICAL) ANALYSIS. THIS EASEMENT HAS ESTABLISHED THROUGH DETERMINATION OF THE GRAVITY OF A LEVEL 5 EROSION ANALYSIS AND A SLOPE STABILITY ANALYSIS.

LINE TABLE

LINE	STATION	BEARING	LINE	STATION	BEARING
1	1+00.00	N 89° 15' 00" E	11	1+00.00	N 89° 15' 00" E
2	1+00.00	N 89° 15' 00" E	12	1+00.00	N 89° 15' 00" E
3	1+00.00	N 89° 15' 00" E	13	1+00.00	N 89° 15' 00" E
4	1+00.00	N 89° 15' 00" E	14	1+00.00	N 89° 15' 00" E
5	1+00.00	N 89° 15' 00" E	15	1+00.00	N 89° 15' 00" E
6	1+00.00	N 89° 15' 00" E	16	1+00.00	N 89° 15' 00" E
7	1+00.00	N 89° 15' 00" E	17	1+00.00	N 89° 15' 00" E
8	1+00.00	N 89° 15' 00" E	18	1+00.00	N 89° 15' 00" E
9	1+00.00	N 89° 15' 00" E	19	1+00.00	N 89° 15' 00" E
10	1+00.00	N 89° 15' 00" E	20	1+00.00	N 89° 15' 00" E
11	1+00.00	N 89° 15' 00" E	21	1+00.00	N 89° 15' 00" E
12	1+00.00	N 89° 15' 00" E	22	1+00.00	N 89° 15' 00" E
13	1+00.00	N 89° 15' 00" E	23	1+00.00	N 89° 15' 00" E
14	1+00.00	N 89° 15' 00" E	24	1+00.00	N 89° 15' 00" E
15	1+00.00	N 89° 15' 00" E	25	1+00.00	N 89° 15' 00" E
16	1+00.00	N 89° 15' 00" E	26	1+00.00	N 89° 15' 00" E
17	1+00.00	N 89° 15' 00" E	27	1+00.00	N 89° 15' 00" E
18	1+00.00	N 89° 15' 00" E	28	1+00.00	N 89° 15' 00" E
19	1+00.00	N 89° 15' 00" E	29	1+00.00	N 89° 15' 00" E
20	1+00.00	N 89° 15' 00" E	30	1+00.00	N 89° 15' 00" E
21	1+00.00	N 89° 15' 00" E	31	1+00.00	N 89° 15' 00" E
22	1+00.00	N 89° 15' 00" E	32	1+00.00	N 89° 15' 00" E
23	1+00.00	N 89° 15' 00" E	33	1+00.00	N 89° 15' 00" E
24	1+00.00	N 89° 15' 00" E	34	1+00.00	N 89° 15' 00" E
25	1+00.00	N 89° 15' 00" E	35	1+00.00	N 89° 15' 00" E
26	1+00.00	N 89° 15' 00" E	36	1+00.00	N 89° 15' 00" E
27	1+00.00	N 89° 15' 00" E	37	1+00.00	N 89° 15' 00" E
28	1+00.00	N 89° 15' 00" E	38	1+00.00	N 89° 15' 00" E
29	1+00.00	N 89° 15' 00" E	39	1+00.00	N 89° 15' 00" E
30	1+00.00	N 89° 15' 00" E	40	1+00.00	N 89° 15' 00" E
31	1+00.00	N 89° 15' 00" E	41	1+00.00	N 89° 15' 00" E
32	1+00.00	N 89° 15' 00" E	42	1+00.00	N 89° 15' 00" E
33	1+00.00	N 89° 15' 00" E	43	1+00.00	N 89° 15' 00" E
34	1+00.00	N 89° 15' 00" E	44	1+00.00	N 89° 15' 00" E
35	1+00.00	N 89° 15' 00" E	45	1+00.00	N 89° 15' 00" E
36	1+00.00	N 89° 15' 00" E	46	1+00.00	N 89° 15' 00" E
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38	1+00.00	N 89° 15' 00" E	48	1+00.00	N 89° 15' 00" E
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40	1+00.00	N 89° 15' 00" E	50	1+00.00	N 89° 15' 00" E
41	1+00.00	N 89° 15' 00" E	51	1+00.00	N 89° 15' 00" E
42	1+00.00	N 89° 15' 00" E	52	1+00.00	N 89° 15' 00" E
43	1+00.00	N 89° 15' 00" E	53	1+00.00	N 89° 15' 00" E
44	1+00.00	N 89° 15' 00" E	54	1+00.00	N 89° 15' 00" E
45	1+00.00	N 89° 15' 00" E	55	1+00.00	N 89° 15' 00" E
46	1+00.00	N 89° 15' 00" E	56	1+00.00	N 89° 15' 00" E
47	1+00.00	N 89° 15' 00" E	57	1+00.00	N 89° 15' 00" E
48	1+00.00	N 89° 15' 00" E	58	1+00.00	N 89° 15' 00" E
49	1+00.00	N 89° 15' 00" E	59	1+00.00	N 89° 15' 00" E
50	1+00.00	N 89° 15' 00" E	60	1+00.00	N 89° 15' 00" E

CURVE TABLE

CURVE	STATION	BEARING	CURVE	STATION	BEARING
1	1+00.00	N 89° 15' 00" E	11	1+00.00	N 89° 15' 00" E
2	1+00.00	N 89° 15' 00" E	12	1+00.00	N 89° 15' 00" E
3	1+00.00	N 89° 15' 00" E	13	1+00.00	N 89° 15' 00" E
4	1+00.00	N 89° 15' 00" E	14	1+00.00	N 89° 15' 00" E
5	1+00.00	N 89° 15' 00" E	15	1+00.00	N 89° 15' 00" E
6	1+00.00	N 89° 15' 00" E	16	1+00.00	N 89° 15' 00" E
7	1+00.00	N 89° 15' 00" E	17	1+00.00	N 89° 15' 00" E
8	1+00.00	N 89° 15' 00" E	18	1+00.00	N 89° 15' 00" E
9	1+00.00	N 89° 15' 00" E	19	1+00.00	N 89° 15' 00" E
10	1+00.00	N 89° 15' 00" E	20	1+00.00	N 89° 15' 00" E
11	1+00.00	N 89° 15' 00" E	21	1+00.00	N 89° 15' 00" E
12	1+00.00	N 89° 15' 00" E	22	1+00.00	N 89° 15' 00" E
13	1+00.00	N 89° 15' 00" E	23	1+00.00	N 89° 15' 00" E
14	1+00.00	N 89° 15' 00" E	24	1+00.00	N 89° 15' 00" E
15	1+00.00	N 89° 15' 00" E	25	1+00.00	N 89° 15' 00" E
16	1+00.00	N 89° 15' 00" E	26	1+00.00	N 89° 15' 00" E
17	1+00.00	N 89° 15' 00" E	27	1+00.00	N 89° 15' 00" E
18	1+00.00	N 89° 15' 00" E	28	1+00.00	N 89° 15' 00" E
19	1+00.00	N 89° 15' 00" E	29	1+00.00	N 89° 15' 00" E
20	1+00.00	N 89° 15' 00" E	30	1+00.00	N 89° 15' 00" E
21	1+00.00	N 89° 15' 00" E	31	1+00.00	N 89° 15' 00" E
22	1+00.00	N 89° 15' 00" E	32	1+00.00	N 89° 15' 00" E
23	1+00.00	N 89° 15' 00" E	33	1+00.00	N 89° 15' 00" E
24	1+00.00	N 89° 15' 00" E	34	1+00.00	N 89° 15' 00" E
25	1+00.00	N 89° 15' 00" E	35	1+00.00	N 89° 15' 00" E
26	1+00.00	N 89° 15' 00" E	36	1+00.00	N 89° 15' 00" E
27	1+00.00	N 89° 15' 00" E	37	1+00.00	N 89° 15' 00" E
28	1+00.00	N 89° 15' 00" E	38	1+00.00	N 89° 15' 00" E
29	1+00.00	N 89° 15' 00" E	39	1+00.00	N 89° 15' 00" E
30	1+00.00	N 89° 15' 00" E	40	1+00.00	N 89° 15' 00" E
31	1+00.00	N 89° 15' 00" E	41	1+00.00	N 89° 15' 00" E
32	1+00.00	N 89° 15' 00" E	42	1+00.00	N 89° 15' 00" E
33	1+00.00	N 89° 15' 00" E	43	1+00.00	N 89° 15' 00" E
34	1+00.00	N 89° 15' 00" E	44	1+00.00	N 89° 15' 00" E
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36	1+00.00	N 89° 15' 00" E	46	1+00.00	N 89° 15' 00" E
37	1+00.00	N 89° 15' 00" E	47	1+00.00	N 89° 15' 00" E
38	1+00.00	N 89° 15' 00" E	48	1+00.00	N 89° 15' 00" E
39	1+00.00	N 89° 15' 00" E	49	1+00.00	N 89° 15' 00" E
40	1+00.00	N 89° 15' 00" E	50	1+00.00	N 89° 15' 00" E
41	1+00.00	N 89° 15' 00" E	51	1+00.00	N 89° 15' 00" E
42	1+00.00	N 89° 15' 00" E	52	1+00.00	N 89° 15' 00" E
43	1+00.00	N 89° 15' 00" E	53	1+00.00	N 89° 15' 00" E
44	1+00.00	N 89° 15' 00" E	54	1+00.00	N 89° 15' 00" E
45	1+00.00	N 89° 15' 00" E	55	1+00.00	N 89° 15' 00" E
46	1+00.00	N 89° 15' 00" E	56	1+00.00	N 89° 15' 00" E
47	1+00.00	N 89° 15' 00" E	57	1+00.00	N 89° 15' 00" E
48	1+00.00	N 89° 15' 00" E	58	1+00.00	N 89° 15' 00" E
49	1+00.00	N 89° 15' 00" E	59	1+00.00	N 89° 15' 00" E
50	1+00.00	N 89° 15' 00" E	60	1+00.00	N 89° 15' 00" E

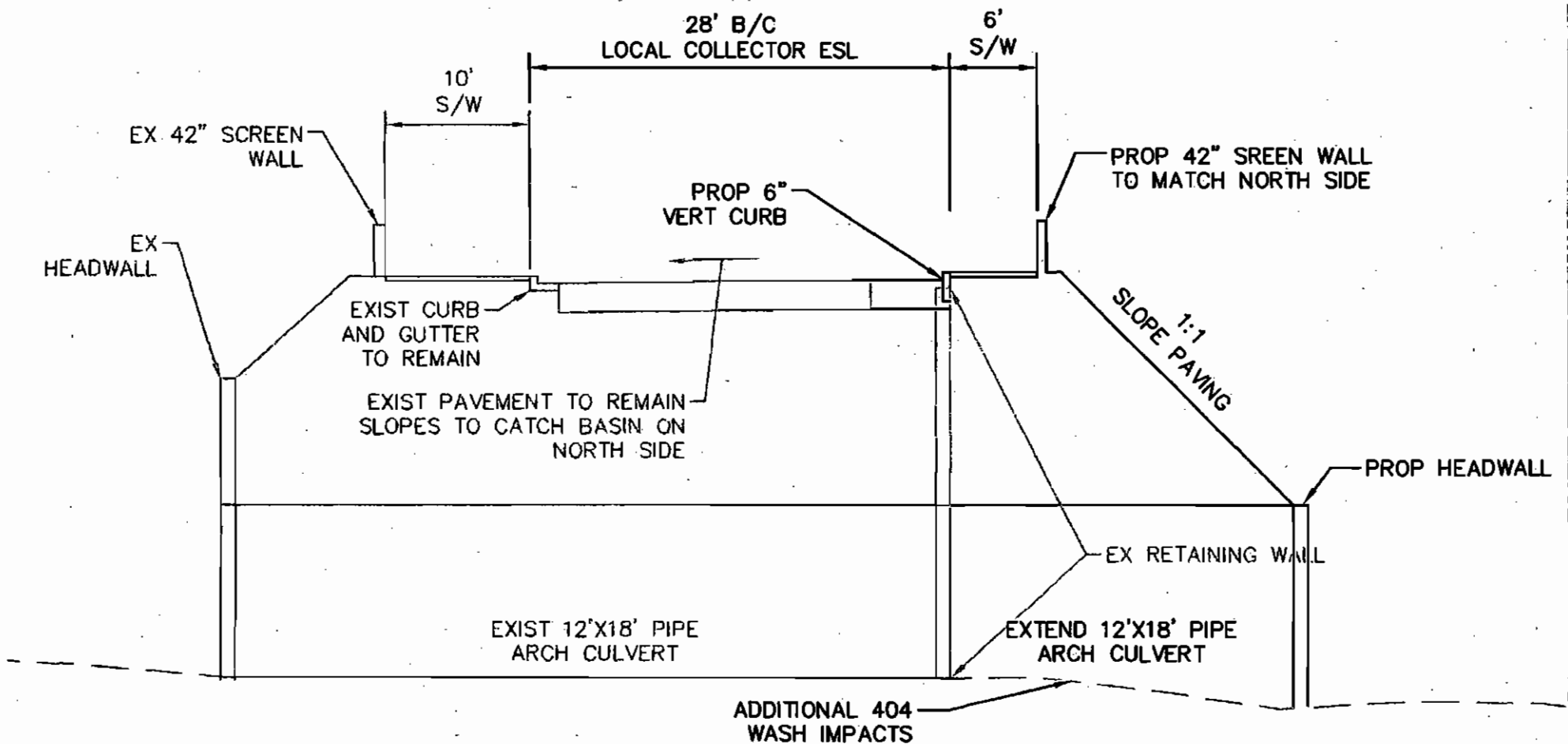
NOTE: REQUIRES AMENDED DEVELOPMENT STANDARDS APPROVAL BY THE CITY OF SCOTTSDALE'S DESIGN REVIEW BOARD.

Kimley-Horn  
and Associates, Inc.  
2001 KIMLEY-HORN AND ASSOCIATES, INC.  
CREATED BY: [Name]  
CHECKED BY: [Name]  
DATE: 04/01/2013 Environmental Constraints

FINAL 80 @ 130TH/SHEA  
PRELIMINARY PLAT  
SCOTTSDALE, ARIZONA

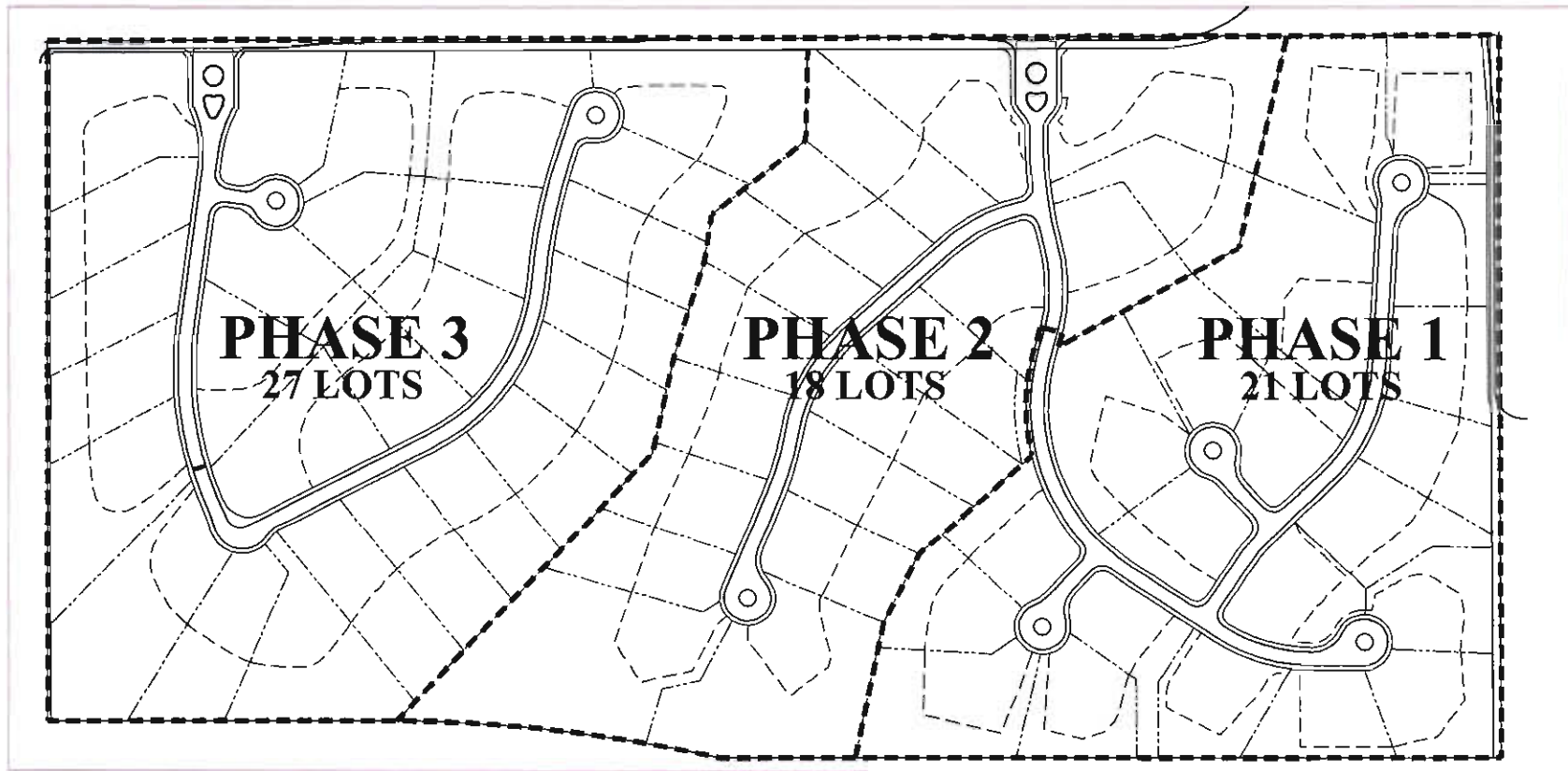
PROJECT NO.  
DRAWING NAME  
DRAWING DATE





# EAST DESERT COVE AVENUE PROPOSED WIDENING ALT B





PHASING EXHIBIT  
**FINDLAY 80**  
 SCOTTSDALE, ARIZONA

SCALE: 1/4"



NORTH



 <b>urban design studio</b> land planning • landscape architecture	Drawn: 8.20.10
	Job No.: 1231
	Client: 7/11/10
	Revised: 04.09.11



FINDLAY 80  
N.E.C. of 136<sup>th</sup> Street & Shea Boulevard  
Project Narrative  
(rev. 04-05-2013)

Introduction

A preliminary plat for the property was previously approved in March, 2009 and has since expired. The attached materials are in general conformance with the original 66-lot subdivision design approved by the Scottsdale Development Review Board. Minor adjustments have been made that reflect enhanced engineering analysis on the proposed site improvements. This concept continues to adhere to agreements made with neighboring properties during previous preliminary-plat applications.

Existing Conditions

The subject property comprises approximately 80 acres (gross) located at the northeast corner of 136<sup>th</sup> Street and Shea Boulevard. Desert Cove Road serves as the property's northern boundary and 136<sup>th</sup> Street serves as the western boundary. Because Shea Boulevard curves to the southeast directly east of the 136<sup>th</sup> Street intersection, the property has only a small amount of frontage adjacent to Shea Boulevard.

The site is vacant and undeveloped, exhibiting no indications of prior impacts with exception of limited off-road vehicular scarring. The remainder of the site is generally undisturbed Upper Sonoran Desert vegetation at densities typical of the surrounding area. Natural desert vegetation across the site includes Palo Verde, Saguaro, Cholla, Bursage, Brittlebush and Cresote. Areas of prior disturbance will either be incorporated into proposed development areas or will be revegetated to match existing undisturbed vegetation at appropriate densities.

The site gently slopes from north to south, facilitating drainage through a pair of incised natural washes that traverse the site. Offsite flows are conveyed beneath Desert Cove



Road and Shea Boulevard through a series of existing culverts. Washes are ephemeral and generally convey stormwater only during significant precipitation events. Both wash corridors have been identified for preservation on the proposed site plan.

#### Development Plan

The development plan for the subject property proposed 66 single family lots under the existing R1-43 ESL zoning district. The lots are distributed throughout the entirety of the property with two proposed access points along Desert Cove Road. Access to the western half of the site will sit in alignment with the Sierra Hills access gate on the north side of Desert Cove. The second access point, serving the eastern half of the site will be located approximately 800 feet from the eastern property boundary. The project will be gated at both locations and internal streets will be privately maintained. The internal local street network has been designed to minimize impacts to existing wash corridors and reduce the total amount of street area within the project. On-lot building envelopes have been specifically delineated to promote a sense of openness among adjoining lots and to protect sensitive natural features such as the identified wash corridors and vegetation areas. Development envelopes will be generally oriented to abut rear yards onto the wash corridors and designated opens space areas. By recognizing these natural amenities, development impacts can be reduced while enhancing the overall aesthetics of the community for future residents. The natural area open space designation will be applied to most of the land area within the identified wash corridors, whereby protecting areas of greatest vegetation density. NAOS area will also be established adjacent to perimeter roadways and property boundaries, to provide buffering for the community and establish connectivity to existing natural areas off-site. In addition, portions of the overall NAOS area will be utilized for storm water retention and will be designed to blend into natural grades and contours. These facilities will also be revegetated with salvaged plant materials to aesthetically integrate into the natural landscape.

The determination of NAOS area was calculated by conducting a digital slope analysis of the property and applying the findings within the standards for the upper desert landform category as provided by the City of Scottsdale Zoning Ordinance.



The plan being resubmitted was presented and discussed with the local Home Owner Associations and subsequently supported with the previous approvals.

#### *Project Phasing*

The applicant intends to phase the project in a manner that is defined by the existing natural washes that cross through the property. To ensure that site disturbance is limited to active phases of the project, the applicant has suggested that subsequent phases may only be permitted when the active phase is within XX lots of the phase buildout as defined by the attached phasing exhibit. Project phases are identified as 1 through 3, but may occur in non-sequential order at the discretion of the builder.

Phase 1 is located on the easternmost portion of the property and includes 21 lots. Phase 2 is located in the central portion of the property and consists of 18 lots. Phase 3 is located on the westernmost portion of the property and includes 27 lots.

#### *Conformance with the Goals of the General Plan*

The City's General Plan land use exhibit illustrates a combination of "Office" and Suburban Residential" uses on the subject property. The proposed site plan is consistent with adjacent residential uses and densities and will contribute to the broad diversity of housing types found proximate to, and in support of, the Mayo Clinic property. Similar to the planned development of large-lot residential within the office use designation on a portion (approximately 15 acres) of the subject property, a similar destination and residential development density exists immediately to the north of the site in the Sierra Hills community.

#### *Mayo Support District*

The Mayo Support District is identified on the City's General Plan as an area that generally surrounds the Mayo Clinic campus. The intent of the District was to establish a planning mechanism that will promote "a flexible approach to locating support uses" adjacent to the Mayo property.



The plan also reinforces the goals of the General Plan by providing a high-quality community that is thoughtfully integrated with the natural desert, whereby promoting a sustainable community with high quality of life for not only its residents, but Scottsdale residents that can utilize planned trail corridors through the property and the aesthetics of the Mayo Boulevard Scenic Corridor along the property's southern edge.

#### Conformance with the Shea Corridor Plan

One of the Goals of the Shea Corridor Plan is to "Create housing opportunities that will allow residents to live near schools and employment areas". By providing additional residential units in proximity to the Mayo Campus and the Shea Corridor, the planned community will enhance opportunities for employee to reside close to nearby existing employment uses.

#### Conclusion

In conclusion, the proposed site plan meets the requirements of the existing zoning ordinance for the R1-43 ESL district within the provisions for amended development standards. The application includes a request to administratively amend development standards for lot width, lot size and building setbacks. Please see the *Proposed Amended Development Standards Table* and *Amended Development Standards Justification Form* for a detailed analysis of proposed modifications to the R1-43 standards.



**FINDLAY 80 ACRES  
AMENDED DEVELOPMENT STANDARDS  
City of Scottsdale Zoning Ordinance  
NEC of 136<sup>th</sup> STREET & SHEA BOULEVARD**

**Sec. 5.100. R1-43 SINGLE-FAMILY RESIDENTIAL DISTRICT.**

**Sec. 5.101. Purpose.**

**This district is intended to promote and preserve residential development. Large lots are required to maintain a low density of population. The principal land use is single-family dwellings and uses incidental or accessory thereto together with required recreational, religious and educational facilities.**

**Sec. 5.102. Use regulations.**

A. Permitted uses. Buildings, structures or premises shall be used and buildings and structures shall hereafter be erected, altered or enlarged only for the following uses:

1. Accessory buildings, private swimming pools, home occupations and other accessory uses.
2. Adult care homes; subject to the following criteria:
  - a. Floor area ratio: In no case shall the gross floor area of the structure(s) exceed an amount equal to thirty-five hundredths (0.35) multiplied by the net lot area.
  - b. Capacity: The maximum number of residents other than the manager or owner and/or day care clients at the home shall be ten (10).
  - c. Location: An adult care home shall not be located within seven hundred fifty (750) feet of another adult care home on the same street frontage or within five hundred (500) feet in any other direction of another adult care home.
  - d. Compatibility: The home and its premises shall be maintained in a clean, well-kept condition that is consistent in materials and design style with homes in the surrounding or adjacent neighborhood.
  - e. Parking: All parking for the owner and any employees shall be provided in off-street locations but in no case shall parking occupy more than three-tenths (0.3) of the required front yard.
3. Day care home.
4. Day care group home.
5. Dwelling units, single-family.



6. Guest houses with cooking facilities, as an accessory use subject to the following criteria:
  - a. The minimum lot size shall be thirty-five thousand (35,000) square feet.
  - b. No more than one (1) per lot shall be permitted.
  - c. Parking shall be located behind the established front building line.
  - d. The square footage shall be no greater than one-half the square footage of the principal building.
7. Model homes.
8. Municipal uses.
  - 8.1. Wireless communications facilities; Types 1, 2, and 3, subject to the requirements of Sections 1.906, 3.100 and 7.200.
9. Private tennis courts.
10. Public elementary and high schools.
11. Temporary sales office buildings and buildings for uses incidental to construction work, to be removed upon completion or abandonment of construction work.
12. Churches and places of worship; subject to Development Review Board approval and compliance with the following standards, as well as those otherwise required in the district:
  - a. Lot area: The minimum lot area shall be equal to that required for the district, except that no lot shall be less than twenty thousand (20,000) square feet (net).
  - b. Floor area ratio: In no case shall the gross floor area of the structure(s) exceed an amount equal to two-tenths (0.2) multiplied by the net lot area.
  - c. Building height: Development Review Board may allow building heights, including towers, spires, and mechanical equipment (such equipment must be screened) limited to thirty (30) feet in height, and may allow a maximum of ten (10) percent of the roof area to exceed the height limit by fifteen (15) feet. Height and location are subject to the Development Review Board review and approval for compatibility with the established neighborhood character. Maximum permissible heights may not be achievable in all neighborhoods. (This provision supersedes sections 7.100--7.102, exceptions to height restrictions, which shall not apply to churches within this district.)



d. Open space: In no case shall the open space requirement be less than twenty-four (24) percent of the total lot area for zero (0) to twenty (20) feet of total building height, plus four-tenths (0.4) percent of the total site for each foot of height above twenty (20) feet. All NAOS requirements of the district must be met and may be applied towards the overall open space requirement subject to compliance with NAOS standards.

e. Parking: Parking shall observe the minimum front yard setbacks of the district for all frontages. On streets classified by the Scottsdale General Plan as major arterial or greater, parking may be located between the established front building line and the front yard setback. On all other street classifications, parking shall be located behind the established front building line(s).

A minimum of fifteen (15) percent of all parking areas shall be landscaped.

A ten-foot minimum landscape setback shall be provided where parking is adjacent to residential districts.

f. Lighting: All pole mounted lighting shall be directed down and shielded and shall be a maximum of sixteen (16) feet in height.

All lighting adjacent to residential districts shall be set back a minimum of thirty (30) feet from the property line. All lighting, other than security, shall be shut off by 10:00 p.m.

g. Screening: There shall be a minimum six-foot high masonry wall and/or landscape screen, as approved by the Development Review Board, on the side and rear property lines that are adjacent to residential districts.

There shall be a three-foot high landscaped berm along all street frontage where parking occurs.

### **Sec. 5.103. Approvals required.**

Prior to development of any municipal use, or any use requiring a conditional use permit, Development Review Board approval shall be obtained as outlined in article I, section 1.900 hereof.

(Ord. No. 3225, § 1, 5-4-99)

### **Sec. 5.104. Property development standards.**

The following property development standards shall apply to all land and buildings in the R1-43 district:

#### **A. Lot area.**

1. Each lot shall have a minimum lot area of not less than ~~forty-three thousand (43,000)~~ **THIRTY TWO THOUSAND TWO HUNDRED FIFTY (32,250)** square feet.

2. If a parcel of land or a lot of record in separate ownership has less width or area than herein required and has been lawfully established and recorded prior to the date of the passage of this ordinance, such lot may be used for any purpose permitted in this section.

#### **B. Lot dimensions.**



Width. All lots shall have a minimum lot width of ~~one hundred fifty (150)~~ feet **ONE HUNDRED THIRTEEN (113)**.

C. Density. There shall be not more than one (1) single-family dwelling unit on any one (1) lot.

D. Building height. No building shall exceed thirty (30) feet in height, except as otherwise provided in article VII.

E. Yards.

1. Front Yard.

a. There shall be a front yard having a depth of not less than ~~forty (40)~~ **THIRTY (30)** feet.

b. Where lots have a double frontage on two (2) streets, the required front yard of ~~forty (40)~~ **THIRTY (30)** feet shall be provided on both streets.

c. On a corner lot, the required front yard of ~~forty (40)~~ **THIRTY (30)** feet shall be provided on each street. No accessory buildings shall be constructed in a front yard. Exception: On a corner lot which does not abut a key lot or an alley adjacent to a key lot, accessory buildings may be constructed in the yard facing the side street.

2. Side Yard. There shall be a side yard of not less than ~~twenty (20)~~ **FIFTEEN (15)** feet on each side of a building.

3. Rear Yard. There shall be a rear yard having a depth of not less than ~~thirty-five (35)~~ **TWENTY SEVEN (27)** feet.

4. Other requirements and exceptions as specified in article VII.

F. Distance between buildings.

1. There shall be not less than ten (10) feet between an accessory building and the main building.

2. The minimum distance between main buildings on adjacent lots shall be not less than ~~forty (40)~~ **THIRTY (30)** feet.

G. Buildings, walls, fences and landscaping.

1. Eight-foot walls, fences and hedges are allowed on the property line or within the required side and rear yard. Walls, fences and hedges up to twelve (12) feet are allowed subject to a twenty-foot setback from the side and rear property line. Walls, fences and hedges shall not exceed three (3) feet in height on the front property line or within the required front



yard, except as provided in article VII. The height of the wall or fence is measured from the inside of the enclosure. Exception: Where a corner lot does not abut a key lot or an alley adjacent to a key lot, the height of walls, fences and hedges in the yard facing the side street need only conform to the side yard requirements.

2. A minimum of five (5) percent of all parking lot areas shall be landscaped as determined by use permit. All landscaped areas shall be maintained to city standards.

H. Access. All lots shall have vehicular access on a dedicated street, unless a secondary means of permanent vehicular access has been approved on a subdivision plat.

I. Corral. Corral not to exceed six (6) feet in height shall be permitted on the property line or within the required front, side or rear yard.

(Ord. No. 2509, § 1, 6-1-93)

**Sec. 5.105. Off-street parking.**

The provisions of article IX shall apply.

**Sec. 5.106. Signs.**

The provisions of article VIII shall apply.



**FINDLAY 80 ACRES**  
**Amended Development Standards Justification Form**  
S.E.C. of 136<sup>TH</sup> STREET & SHEA BOULEVARD  
Please attach the proposed Development Standards to this form

**Which of the following development standards are requested for amendment?**

<u>  X  </u> Lot Size: % of increase or decrease	<u>  25%  </u>	Minimum Lot Size: <u>  32,250 SF  </u>
<u>  X  </u> Lot Width: % of increase or decrease	<u>  25%  </u>	Minimum Lot Width: <u>  113'  </u>
<u>  X  </u> Setbacks: % of increase or decrease	<u>  25%  </u>	Minimum Front Setback: <u>  30'  </u>
		Minimum Rear Setback: <u>  27'  </u>
		Minimum Side Setback: <u>  15'  </u>
<u>  X  </u> Sideyard Wall Setbacks: % of inc./dec.	<u> 100% </u>	Min. Sidewall Setback: <u>  0'  </u>

**What are the major environmental features on the site?**

The site contains a series of major and minor washes that are incorporated into the overall site plan as natural open space amenities within the development plan. Impacts to these areas will be generally restricted, with exception of necessary wash crossings for internal vehicular circulation. Drainage corridors have been established to address peak flows across the site and to maintain the integrity of these natural features as an amenity for future homeowners and as habitat for established species. The corridors also recognize the need for regional continuity and have been established in alignment with existing corridors to the north and northeast of the site.

**Describe how these reductions result in better protection of environmental features than if the property were developed using standard lot sizes and setbacks:**

Reductions to the development standards will allow building envelopes to better integrate within the existing natural environment, creating a balanced development scenario that acts to promote the preservation of significant wash corridors, habitat areas and other sensitive natural areas.

What is the minimum NAOS required per ordinance?   27.32 Acres    
What is the amount of NAOS provided by the applicant?   30.11 Acres    
What is the percentage of the overall site (gross parcel size) being dedicated in NAOS?   38%  

**Will the NAOS be shown in common tracts and dedicated on the final plat?**   No  

**Will the NAOS be dedicated with each lot as it comes in for development?**   Yes    
*If yes, explain how the City might achieve assurance that NAOS dedications are logical and connect with NAOS areas that will be or have been dedicated.*

The final plat will include an N.A.O.S. easement dedication.

**Is the amount of NAOS being dedicated as part of the NAOS Density Incentive Provision of ESLO?**  
  No



# FINDLAY 80 ACRES

## PROPOSED AMENDED DEVELOPMENT STANDARDS

NEC of 136th STREET & SHEA BOULEVARD

*Prepared by LVA Urban Design Studio, LLC.*

**Development Name:** Findlay 80

**Case No.:** 600-PA-02

**Zoning:** R1-43 with Administrative Amended Development Standards

	Ordinance Requirements	Amended Standards	Maximum ESLO Reduction
A. Minimum Lot Area:	43,000 Sq.Ft.	32,250 Sq.Ft.	25%
B. Minimum Lot Width			
Standard Lot:	150 Ft.	113 Ft.	25%
Flag Lot:	Allowed	--	--
C. Maximum Building Height:	24 Ft.	<del>25 Ft.</del>	<del>25%</del>
D. Minimum Yard Setbacks			
Front to Building:	40 Ft.	30 Ft.	25%
Front to Garage:	40 Ft.	30 Ft.	25%
Front, corner lot side street:	40 Ft.	30 Ft.	25%
Front, Double Frontage:	40 Ft.	30 Ft.	25%
Side Yard:	20 Ft.	15 Ft.	25%
Aggregate Between Bldgs:	40 Ft.	30 Ft.	25%
Rear Yard:	35 Ft.	27 Ft.	25%
E. Minimum Distance Between Bldgs:			
Accessory and Main:	10 Ft.	10 Ft.	--
Main Bldgs/Adjacent Lots:	40 Ft.	30 Ft.	25%
F. Maximum Wall Height			
Front:	3 Ft.	--	--
Side:	8 Ft.	--	--
Rear:	8 Ft.	--	--
Corner:	8 Ft. on PL	--	--
Corral Fence on Property Line:	6 Ft. on PL	Not Allowed	--
G. Development Perimeter Setbacks:		Varies - See Site Plan	
H. Applicable Zoning Cases:		None	
I. Other Exceptions or Notes:		No Corrals Allowed	





Whisper Ridge

2-PP-2013



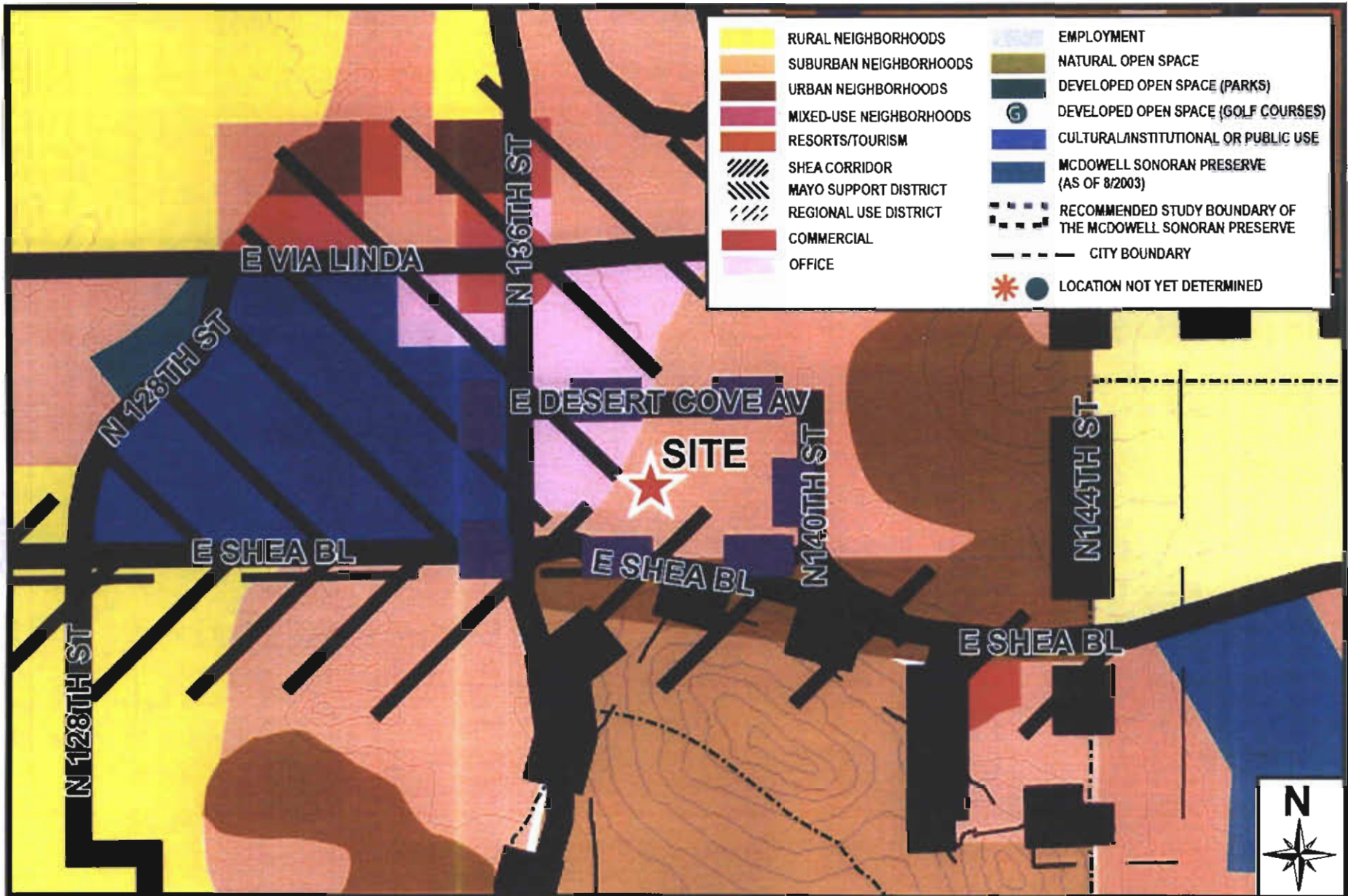


Whisper Ridge

2-PP-2013

ATTACHMENT #8A





General Plan

2-PP-2013









- PROPOSED BUILDING SETBACK LINE
- PROPOSED CONSTRUCTION ENVELOPE
- STRUCTURAL IMPROVEMENT ENVELOPE  
(REFLECTS AREA WITHIN PROPOSED A.D.S. BUILDING SETBACKS)
- POTENTIALLY DISTURBABLE AREA  
(REFLECTS AREA OUTSIDE OF PROPOSED A.D.S. BUILDING SETBACKS)

**Note:**  
Construction envelope limits may be subject to modification prior or concurrent with final design.

**Definition: Article 3 Definitions, sec. 3.100. General**  
**Construction Envelope:** is one or more specified areas on a lot or parcel within which all structures, driveways, parking, nonnative landscaping, water surfaces, decks, walks, walls, and improved recreation facilities are located. Underground utilities and perimeter walls may be located outside the construction envelope.

## PRELIMINARY CONSTRUCTION ENVELOPE ANALYSIS

**FINDLAY 80**  
SCOTTSDALE, ARIZONA

SCALE: 1/8" = 1'

NORTH


**LVA** urban design studio  
land planning • landscape architecture

100 South 10th Avenue • Suite 200 • Scottsdale, AZ 85261 • phone: 480.941.1000

Owner: 8.20.08  
Job No.: 0079  
Drawn: JVA  
Reviewed: 04.09.13





LEGEND	
	Development Envelope
	N.A.O.S. - Undisturbed
	N.A.O.S. - Revegetated
	Lot Line
	Wash Boundary
<b><u>N.A.O.S. SUMMARY</u></b>	
Total Undisturbed Area:	26.3 Acres (91%)
Total Revegetated Area:	2.50 Acres (9%)

CITY OF SCOTTSDALE: N.A.O.S. REQUIREMENTS		
SLOPE CATEGORY	UPPER DESERT LANDFORM	REQUIRED PROJECT PRESERVATION AREA
0-2%	25%	0.2 AC
OVER 2% UP TO 5%	25%	6.0 AC
OVER 5% UP TO 10%	35%	8.3 AC
OVER 10% UP TO 15%	45%	5.5 AC
OVER 15% UP TO 25%	45%	3.3 AC
OVER 25%	45%	3.7 AC
TOTAL NAOS REQUIRED		26.4 AC
TOTAL NAOS PROVIDED		29.0 AC
NOTE: QUANTITIES ON EACH LOT WILL VARY BASED ON FINAL PLAN		

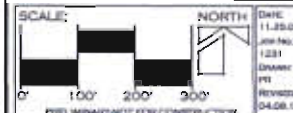


Master Planner/Conceptual  
Land Planner/  
Site Planner & Designer  
Environmental, Social and  
Landscape Architecture  
  
P.O. Box 1000, Suite 100  
Phoenix, AZ 85001-1000  
Phone: (602) 955-1000  
Fax: (602) 955-1000  
Email: LVA@LVADESIGN.COM

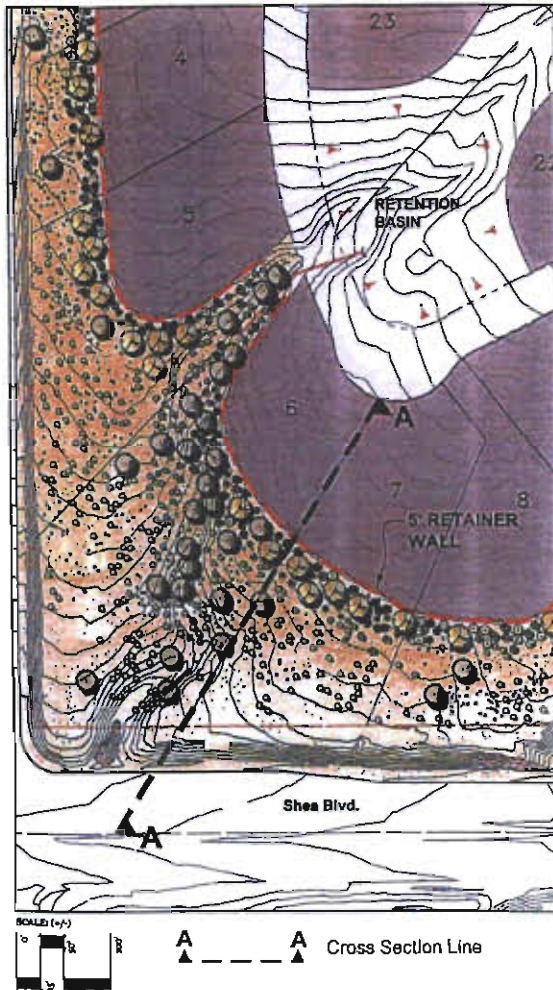
## FINDLAY PROPERTY

136TH STREET/SHEA BOULEVARD

PRELIMINARY NAOS AREA EXHIBIT

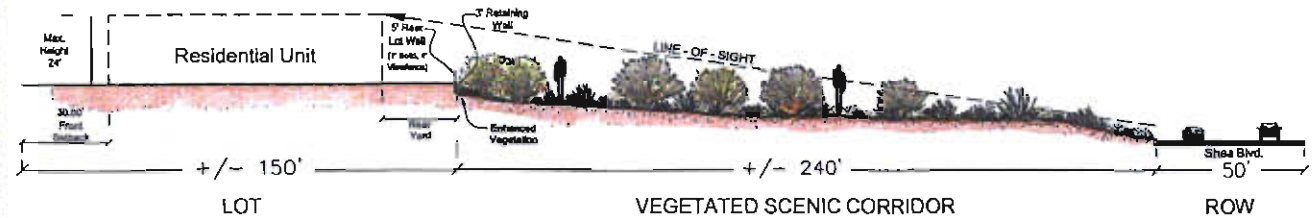






#### CONCEPTUAL PLANT LIST

- TREES**
- EXISTING NATURAL VEGETATION
  - SPECIMEN NATIVE TREE
  - NATIVE MESQUITE / BLUE PALM VERDE / MONDOO
- SHRUBS / GROUNDCOVER**
- CHOCOLATE / HAZELBERRY / OLIOBA / WOLFBERRY /
  - ARMONIA TEA / GIANT GUTSAGE
  - SHUTTLEBUSH / BURNING / CHESPAROSA /
  - DUCKWEED / TURPENTINE BUSH
- CACTI / ACCENTS**
- SAGUARO
  - BANANA YUCCA / PRICKLY PEAR / OCOTILLO /
  - STAGHORN CHOLLA / BARREL CACTUS



Cross Section A-A  
NOT TO SCALE

### CROSS-SECTION & SPATIAL CONTEXT EXHIBIT

**FINDLAY PROPERTY**  
SCOTTSDALE, ARIZONA



DATE: 08.28.05  
JOB: 0078  
BY: SYA

2-PP-2013  
1st 1/11/13



Wednesday, January 02, 2013

RE: Findlay 80 Preliminary Plat Re-Approval (City Case Number: 21-PP-2003 #3)

Dear Neighbor/Landowner:

We are Landscape Architects and Land Planners working for the Findlay Family Trust in the creation of a new residential community adjacent to or near your home/property. The proposed project is located on the Northeast Corner of 136<sup>th</sup> Street & Shea Boulevard.

We are contacting you to give you information about our designs and plans.

This is not a rezoning case, but the City of Scottsdale encourages companies like ours to make contact with adjacent land and home owners to provide project information, and answer any questions or concerns that you may have.

The application we have submitted to the City requests re-approval of a preliminary plat for the property. The proposed project includes 66 homes on 80 acres (0.83 units per acre) with a minimum lot size of approximately 3/4-acre. Building heights will be limited to 24 ft. We will be preserving approximately 30 acres (37%) of the site as open space. A site plan for this property was previously approved by NESPOA the City in 2005. That approval has since expired and the applicant is now resubmitting the same plan for re-approval – no changes have been made to the amount or location of open space, or the lotting configuration.

Access to the site will be from Desert Cove. The entries will include vehicular gates for card access. There will not be any perimeter walls on the edge of the property.

The attached exhibit shows the location of the property and the preliminary plan. The yellow areas on the map are the preliminary development envelopes where the homes and yards may occur. The gray areas are the preliminary street locations. All other areas are committed to open space.

If you have any questions or comments, please mail or fax them to us using the enclosed form. Thank you for your time and interest!

Sincerely,  
LVA Urban Design Studio, LLC



Alex Stedman,  
Senior Planner

encl: Response Form  
Context Plan



**Findlay 80 Acres**

**LANDOWNER & NEIGHBOR RESPONSE FORM**

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

PHONE NUMBER: \_\_\_\_\_

EMAIL ADDRESS: \_\_\_\_\_

LAND OWNER: (No Home)    ☐ Yes    ☐ No

HOME OWNER:                    ☐ Yes    ☐ No

Comments: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

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Thank you!

Please mail, email or fax to: Alex Stedman, LVA; [astedman@lvadesign.com](mailto:astedman@lvadesign.com)



# FINDLAY 80 - 300' NEIGHBORHOOD NOTIFICATION LIST

Owner	ADDRESS	CITY	STATE	ZIP COUNTRY	APN
1 MAYO CLINIC ARIZONA	13400 E SHEA BLVD	SCOTTSDALE	AZ	85259 USA	21720006J
2 SCOTTSDALE CITY OF	3939 CIVIC CENTER BLVD	SCOTTSDALE	AZ	85251 USA	21730011Y
3 PALOMA PASEO HOMEOWNERS ASSOCIATION INC	POBOX 27907	TEMPE	AZ	85285 USA	21730285
4 PALOMA PASEO HOMEOWNERS ASSOCIATION INC	POBOX 27907	TEMPE	AZ	85285 USA	21730289
5 PALOMA PASEO HOMEOWNERS ASSOCIATION INC	POBOX 27907	TEMPE	AZ	85285 USA	21730293
6 PALOMA PASEO HOMEOWNERS ASSOCIATION INC	POBOX 27907	TEMPE	AZ	85285 USA	21730294
7 PALOMA PASEO HOMEOWNERS ASSOCIATION INC	POBOX 27907	TEMPE	AZ	85285 USA	21730295
8 PALOMA PASEO HOMEOWNERS ASSOCIATION INC	POBOX 27907	TEMPE	AZ	85285 USA	21730296
9 FINDLAY MANAGEMENT - SHEA LLC	10 FATHER PETERS LN	NEW CANAAN	CT	0640 USA	21730003
10 HAMEL COLLEEN R	14023 E MECER LN	SCOTTSDALE	AZ	85259 USA	21730212
11 BOURNE ANDREW L/SHARON KAY TR	14031 E MERCER LN	SCOTTSDALE	AZ	85259 USA	21730213
12 FRUCHTHANDLER FAMILY TRUST	14039 E MERCER LANE	SCOTTSDALE	AZ	85259 USA	21730214
13 ABRAMS ALAN H	6676 N LINCOLN AVE	LINCOLNWOOD	IL	60712 USA	21730215
14 WOLAK DAVID E/JOANNE B	14034 E SAHUARO DR	SCOTTSDALE	AZ	85259 USA	21730216
15 HENRY CHARLES T/MARY J	14026 E SAHUARO	SCOTTSDALE	AZ	85259 USA	21730217
16 WOYAK JAMES/BARBARA O	14019 E SAHUARO DRIVE	SCOTTSDALE	AZ	85259 USA	21730218
17 PASCHALL OAVID F/ROBIN S	14035 E SAHUARO DR	SCOTTSDALE	AZ	85259 USA	21730220
18 PALOMA PASEO HOMEOWNERS ASSOCIATION INC	POBOX 27907	TEMPE	AZ	85285 USA	21730300
19 EICHERMUELLER HEINRICH/MICHELE W TR	13735 E GAIL RD	SCOTTSDALE	AZ	85259 USA	21767206
20 JAZAYERI SADRA SASHA	13751 E GAIL RD	SCOTTSDALE	AZ	85259 USA	21767207
21 SHAPIRO RICHARD M/BETH PANZER	13555 N 97TH WY	SCOTTSDALE	AZ	85260 USA	21767208
22 GARFINKLE REVOCABLE TRUST	13783 E GAIL RD	SCOTTSDALE	AZ	85259 USA	21767209
23 B D HARTMAN TRUST	13799 E GAIL RD	SCOTTSDALE	AZ	85259 USA	21767210
24 FLAHERTY TARA G	13798 E GAIL RD	SCOTTSDALE	AZ	85259 USA	21767211
25 BOROWSKI JOSEPH/TATUM	13782 E GAIL RD	SCOTTSDALE	AZ	85259 USA	21767212
26 SPIVAK STUART J/NETHERLIN-SPIVAK MICHELLE D	8160 E BUTHERUS DR NO 5	SCOTTSDALE	AZ	85260 USA	21767213
27 SCOTTSDALE CITY OF	3939 CIVIC CENTER BLVD	SCOTTSDALE	AZ	85251 USA	21730011R
28 WOLLAYER RICHARD H/DEMCHENKO VERA	14027 E SAHUARO DR	SCOTTSDALE	AZ	85259 USA	21730219
29 STOJAK ROBERT W/LAURA A	10750 N 140TH WAY	SCOTTSDALE	AZ	85259 USA	21730226
30 ROARKE MICHAEL CHARLES/MARIA TR	10736 N 140TH PL	SCOTTSDALE	AZ	85259 USA	21730239
31 HILL MICHAEL R/LAURI A	14029 E BECKER LN	SCOTTSDALE	AZ	85259 USA	21730245
32 SCOTTSDALE SIERRA HILLS HOMEOWNERS ASSOCIATION	7730 E GREENWAY RD STE 101	SCOTTSDALE	AZ	85260 USA	21767237
33 PALOMA PASEO HOMEOWNERS ASSOCIATION INC	POBOX 27907	TEMPE	AZ	85285 USA	21730292
34 BROKARS JOHN C/HAYLEN TROTTA	11049 N 138TH WY	SCOTTSDALE	AZ	85259 USA	21730185
35 LANGNER LAYNEE SUSAN	11041 N 138TH WY	SCOTTSDALE	AZ	85259 USA	21730186
36 LIQUID MOUNTAIN CONSULTING LP	12927 N 130TH WY	SCOTTSDALE	AZ	85259 USA	21730187
37 HUCKELL JOHN S	18404 - 100 AVE	EDMONTON	AB	T5P4Y2 CANADA	21730184
38 MCCUTCHAN TODD/ERICA	11028 N 138TH WY	SCOTTSDALE	AZ	85259 USA	21730185
39 EBERT ROBIN E	11036 N 138TH WY	SCOTTSDALE	AZ	85259 USA	21730186
40 BAKER DENNIS L	11025 N 138TH WY	SCOTTSDALE	AZ	85259 USA	21730188
41 BODENSTEDT MIKE A TR	311 GRAPE ST	DENVER	CO	80220 USA	21730189
42 WAKEFIELD DONALD	11042 N 138TH WY	SCOTTSDALE	AZ	85259 USA	21730167
43 BARROW SUSAN E TR	14043 E SAHUARO DR	SCOTTSDALE	AZ	85268 USA	21730221
44 ZIEGLER PHILIP J/KRISTEN KAY	14048 E CLINTON ST	SCOTTSDALE	AZ	85259 USA	21730222
45 AUDETTE DAVID A	14040 E CLINTON ST	SCOTTSDALE	AZ	85268 USA	21730223
46 CLS TRUST	14032 E CLINTON ST	SCOTTSDALE	AZ	85259 USA	21730224
47 GOMEZ-WILKINS LISETTE/MLKINS STEVEN A	14024 E CLINTON ST	SCOTTSDALE	AZ	85288 USA	21730225
48 GLEMBOCKI DAVID J/KAREN A	10717 N 140TH PL	SCOTTSDALE	AZ	85259 USA	21730234
49 METROS JAMES TR	10725 N 140TH PL	SCOTTSDALE	AZ	85259 USA	21730235
50 GORDON JOE M/BELINDA B	10733 N 140TH PL	SCOTTSDALE	AZ	85259 USA	21730238
51 HICINBOTHAM JOHN R/VOULA	10741 N 140TH PL	SCOTTSDALE	AZ	85259 USA	21730237
52 VOSS ROBERT J TR	10742 N 140TH PL	SCOTTSDALE	AZ	85259 USA	21730238
53 PALOMA PASEO HOMEOWNERS ASSOCIATION INC	17787 N PERIMETER DR STE 111	SCOTTSDALE	AZ	85255 USA	21730284
54 MCCAIN CHARLES E/DONNA M TR	10728 N 140TH PL	SCOTTSDALE	AZ	85259 USA	21730240
55 PRIEVE JOHN M/MARISA J	14026 E BECKER LN	SCOTTSDALE	AZ	85259 USA	21730241
56 NEMETH NELSON R/PETRA R	14018 E BECKER LN	SCOTTSDALE	AZ	85259 USA	21730242
57 AXFORD HARRY E/MARY V TR	14010 E BECKER LN	SCOTTSDALE	AZ	85259 USA	21730243
58 BUELOW MICHAEL J/JEAN C	18905 TANALA DR	BROOKFIELD	WI	53045 USA	21730244
59 BENNION S ALLEN/JOSEPHINE E TR	14037 E BECKER LN	SCOTTSDALE	AZ	85259 USA	21730246
60 DAMASCUS JAMES L/MARGARET	PO BOX 19690	FOUNTAIN HILLS	AZ	85289 USA	21767236
61 MAYO CLINIC ARIZONA	13400 E SHEA BLVD	SCOTTSDALE	AZ	85259 USA	21720006N
62 COPPINS KENT G/LINDA O	4112 W GAZEBO HILL BLVD	MEQUON	WI	53092 USA	21767205
63 OCHOA JOSEPH A/TAMARA	13558 E COCHISE RD	SCOTTSDALE	AZ	85259 USA	21731454
64 PELTIER JASON	5389 RENAISSANCE AVE	SAN DIEGO	CA	92122 USA	21731453

SOURCE: MARICOPA COUNTY ASSESSOR -300' BUFFER



**Perone, Steve**

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**From:** Alex Stedman <astedman@lvadesign.com>  
**Sent:** Friday, January 11, 2013 11:19 AM  
**To:** Alex Stedman; Perone, Steve  
**Subject:** Fwd: 136th & Shea Boulevard: Pre-Plat Resubmittal

**alex stedman**  
**senior planner**

**LVA** urban design studio  
land planning . engineering . landscape architecture

**120 South Ash Avenue**  
Tempe, Arizona 85281  
480.994.0994  
**4007 East Paradise Falls Drive, Suite 210**  
Tucson, Arizona 85712  
520.261.2994

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----- Forwarded message -----

**From:** Kercher, Phillip <PKercher@scottsdaleaz.gov>  
**Date:** Fri, Oct 5, 2012 at 9:31 AM  
**Subject:** RE: 136th & Shea Boulevard: Pre-Plat Resubmittal  
**To:** Alex Stedman <astedman@lvadesign.com>

Alex:

A traffic study is not needed for the resubmittal of the preliminary plat.

Phil

**From:** Alex Stedman [mailto:[astedman@lvadesign.com](mailto:astedman@lvadesign.com)]  
**Sent:** Friday, October 05, 2012 8:23 AM



**To:** Kercher, Phillip  
**Subject:** 136th & Shea Boulevard: Pre-Plat Resubmittal

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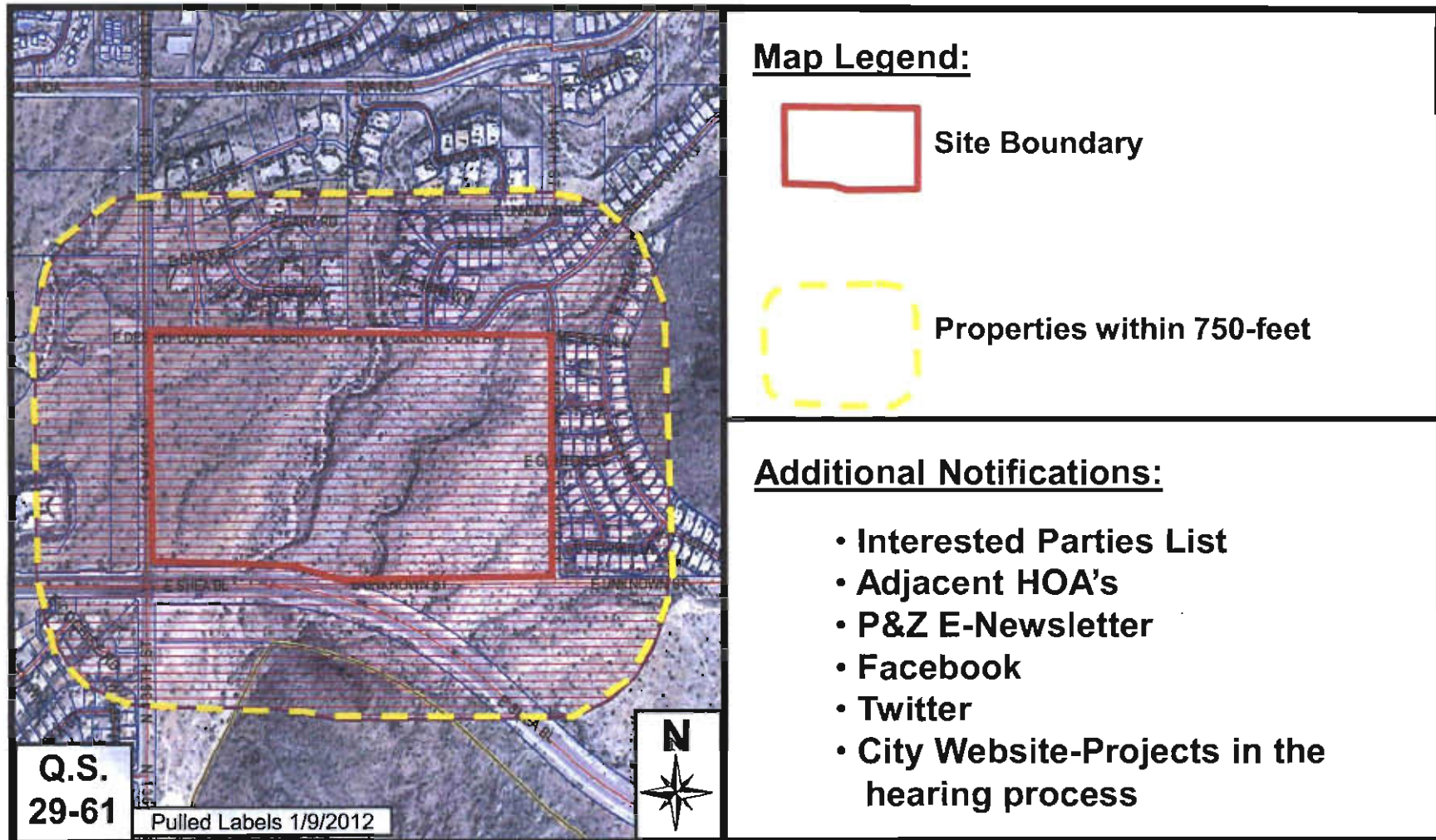
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## City Notifications – Mailing List Selection Map



## Findlay 80

**2-PP-2013**





Approved 6-20-2013 (SP)

**SCOTTSDALE DEVELOPMENT REVIEW BOARD  
KIVA-CITY HALL  
3939 DRINKWATER BOULEVARD  
SCOTTSDALE, ARIZONA**

**Thursday, June 6, 2013**

**\*SUMMARIZED MEETING MINUTES\***

**PRESENT:**

Linda Milhaven, Council Member  
Jay Petkunas, Planning Commissioner  
Chris Jones, Vice Chair  
Eric Gerster, Development Member  
Ali Fakih, Design Member  
David Gulino, Development Member  
Kevin Bollinger, Design Member

**ABSENT:**

All Present

**STAFF:**

Steve Venker  
Brad Carr  
Kim Chafin  
Bryan Cluff  
Keith Niederer  
Jesus Murillo  
Steve Perone

**CALL TO ORDER**

Councilwoman Milhaven called the meeting of the Scottsdale Development Review Board to order at 1:02 p.m.

**ROLL CALL**

A formal roll call was conducted confirming members present as stated above.



**ADMINISTRATIVE REPORT**

1. Identify supplemental information, if any, related to the June 6, 2013 Development Review Board agenda items, and other correspondence.

**MINUTES**

2. Approval of May 16, 2013 Development Review Board Meeting Minutes  
**BOARD MEMBER GERSTER MOVED TO APPROVE THE MAY 16, 2013 DEVELOPMENT REVIEW BOARD MEETING MINUTES, SECONDED BY VICE CHAIR JONES, THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0).**

**CONSENT AGENDA**

3. 1-DR-2013 Chick-fil-A  
**VICE CHAIR JONES MOVED TO APPROVE 1-DR-2013 SECONDED BY BOARD MEMBER FAKIH THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0).**
4. 2-PP-2013 Whisper Ridge  
**BOARD MEMBER GERSTER MOVED TO APPROVE 2-PP-2013 SECONDED BY COMMISSIONER PETKUNAS THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SIX (6) TO ZERO (0) WITH VICE CHAIR JONES RECUSING HIMSELF.**
5. 33-DR-2012 Scottsdale Pinnacle Center  
**VICE CHAIR JONES MOVED TO APPROVE 33-DR-2012 SECONDED BY BOARD MEMBER FAKIH THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0).**

**REGULAR AGENDA**

6. 18-ZN-2012 The Residences at the Borgata  
**BOARD MEMBER GERSTER MOVED TO RECOMMEND 18-ZN-2012 TO THE PLANNING COMMISSION 2<sup>ND</sup> BY BOARD MEMBER BOLLINGER THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF FIVE (5) TO ZERO (0) WITH ADDED STIPULATION AND VICE CHAIR JONES AND BOARD MEMBER FAKIH RECUSING THEMSELVES.**
7. 6-ZN-2013 Scottsdale 92 Lofts  
**BOARD MEMBER GULINO MOVED TO RECOMMEND 6-ZN-2013 TO THE PLANNING COMMISSION 2<sup>ND</sup> BY BOARD MEMBER FAKIH THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0)**



**NON-ACTION ITEM**

8. Scottsdale Road Scenic Drive

**AFTER A PRESENTATION BY STAFF AND THE APPLICANT THE BOARD  
PROVIDED COMMENTS REGARDING THE PROJECT.**

**ADJOURNMENT**

With no further business to discuss, the regular session of the Development Review Board adjourned at 2:22 P.M.