

CITY COUNCIL REPORT



Meeting Date: June 18, 2013
 General Plan Element: *Land Use*
 General Plan Goal: *Create a sense of community through land uses*

ACTION

The Reserve 2-PP-2012

Request to consider the following:

1. Request approval of a Final Plat to re-plat an existing 218 +/- acre, 51-lot subdivision, to accommodate for an approved resort community, located on the northeast corner of N. 118th Street and E. Rio Verde Drive; with Single-Family Residential, Environmentally Sensitive Lands (R1-190/ESL) District, Single-Family Residential, Environmentally Sensitive Lands (R1-130/ESL) District, and Resort/Townhouse Residential, Environmentally Sensitive Lands (R-4R/ESL) District zoning.

OWNER

TI 49 Dynamite LLC
 480-348-8401

APPLICANT CONTACT

DICK FRYE
 RTF ENTERPRISES
 480-348-8401

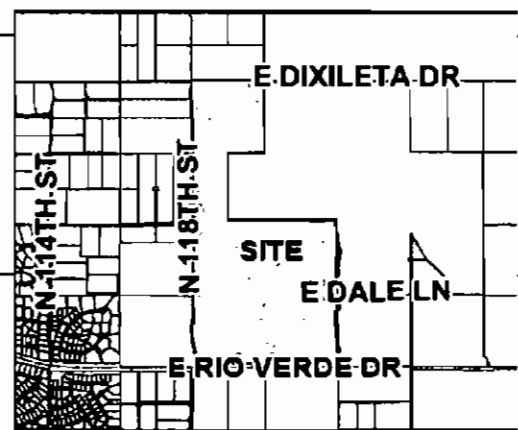
LOCATION

Northeast corner of N. 118th Street and E. Rio Verde Drive

BACKGROUND

Zoning

The subject sites are zoned Single-Family Residential, Environmentally Sensitive Lands (R1-190/ESL) District, Single-Family Residential, Environmentally Sensitive Lands (R1-130/ESL) District, and Resort/Townhouse Residential, Environmentally Sensitive Lands (R-4R/ESL) zoning district. Both the R1-190/ESL and R1-130 zoning districts allow for single-family residential uses and have an



Environmentally Sensitive Lands zoning designation overlay. The R-4R/ESL zoning district allows for resorts, hotels, townhomes, and municipal uses, and also has an Environmentally Sensitive Lands zoning designation overlay.

General Plan

The General Plan Land Use Element designates the property as Rural Neighborhoods and Resort/Tourism, which provides for the flexibility of Resort/Tourism Land Uses to be located within this area of the community by means of the colored-coded resort “star” designations on the Land Use Map as well as the Land Use Element description that accompanies such map designations which states: “A star on the land use map means that an exact location for the use has not yet been determined, but the need for that use has been identified in the general area.”

Character Area Plan

The property is located within the Dynamite Foothills Character Area boundary. The Dynamite Foothills Character Area is designed to preserve the natural and visual qualities of the Sonoran Desert by using design qualities, building materials, and construction techniques that are sensitive to the desert environment. Projects located within the Dynamite Foothills Character Area should preserve natural open space areas, scenic and vista corridors, and support trail links and connections.

Context

The subject site is located along the north side of E. Rio Verde Drive and between N. 118th Street and N. 122nd Street. The subject site was created from a previously approved subdivision plat, The Reserve. The McDowell Sonoran Preserve is immediately located to the north and east of the subject site. The Golf Club Scottsdale golf course abuts the subject site to the northeast.

Adjacent Uses and Zoning

- North: Single-Family Residential, Environmentally Sensitive Lands, zoned R1-190/ESL; McDowell Sonoran Preserve.
- South: Single-Family Residential, Environmentally Sensitive Lands, zoned R1-190/ESL and R1-130/ESL; vacant lands.
- East: Single-Family Residential, Environmentally Sensitive Lands, zoned R1-130/ESL; The Golf Club Scottsdale golf club and the McDowell Sonoran Preserve.
- West: Single-Family Residential, Environmentally Sensitive Lands, zoned R1-190/ESL; vacant lands.

Key Items for Consideration

- The proposal changes 213 acres from a 51-lot subdivision into a 325-unit resort.
- The McDowell Sonoran Preserve is located along the northern and eastern boundary of the site.
- All existing necessary easements dedicated by The Reserve subdivision plat will remain intact.
- The developer will be responsible for upgrading infrastructure to support the resort.
- Other than general inquiries, no comments have been received.
- Subject case is in conjunction with abandonment case 12-AB-2010

Related Policies, References:

36-ZN-1984, 113-ZN-1984, 55-ZN-1990, 5-GP-1999, 11-TA-2000#3, 4-GP-2010, 6-ZN-2010, 10-AB-2010, 11-GP-2011, and 17-ZN-2011

1999 Dynamite Foothills Character Area Plan

2001 City of Scottsdale General Plan

2003 Scenic Corridor Design Guidelines

2004 Trails Master Plan

2004 Environmentally Sensitive Lands Ordinance

2008 Transportation Master Plan

APPLICANTS PROPOSAL

Goal/Purpose of Request

The applicant's request is to replat the existing "The Reserve" subdivision plat to create a plat that executes the uses and densities approved through "The Reserve –Eco-Resort" project cases.

Development Information

- Existing Use: The Reserve Subdivision (vacant lands)
- Proposed Use: Resort/Townhomes
- Parcel Size: 218+/- acres
- Number of Units 325 units on 218+/- acres (308 units on northernmost 142+/- acres)
- Building Height Allowed: 26 feet (Approved through case 6-ZN-2010)
- Building Height Proposed: 26 feet (Approved through case 6-ZN-2010)
- Open Space Required: 76.0 +/- acres
- Open Space Provided: 76.0 +/- acres
- Density Allowed: 1.52 du/ac on 213+/- acres (2.24 du/ac on northernmost 137+/- acres)
- Density Proposed: 1.49 du/ac on 218+/- acres (2.16 du/ac on northernmost 142+/- acres)

IMPACT ANALYSIS

Land Use

The plat will be phased in development. The applicant is seeking approval of all five phase "blocks" so that each phase may be later approved administratively. Each "block" phase will contain the number of units as approved through the City Council, cases 4-GP-2010 and 6-ZN-2010 (See Exhibit B Attachment 1). The individual unit parcels for "Block 1" and "Block 2" are being shown as a part of this request. "Block 1" shall contain a total of sixty-eight (68) units, and "Block 2" is shown to

contain sixty (60) units. "Block 2" will include the community amenity that has been planned for this resort community. The "total units" matrix, shown as Exhibit B Attachment 1, will be updated with each submitted phase until there are no further units to be developed.

The Last phase, "Block 5," will contain the resort lodge and the ninety (90) "keyed resort" units. The main lodge building will be located at the northeast corner of the overall site within this "block." This is where the front desk, dining room, meeting and service amenity functions would be housed. The main resort building will also include ninety (90) of the key units. The main lodge building will be located in the portion of the site that is closest adjacent to the McDowell Sonoran Preserve. Parcels labeled as Blocks "1," "2," and "4" will hold the additional 227 of the resort's key and villa units. "Block 1" will contain the seventeen (17) resort estate units will be located in the southern portion of the site.

The plat shows a variety of open spaces; including Natural Area Open Space (NAOS), revegetated NAOS, and landscaped open space (See Attachment #7). Much of the developed open space areas will use desert-like plant materials that will blend into the desert setting. The open spaces being provided include a variety of different functions including perimeter buffering, natural areas, detention facilities, common open space, and drainage corridors.

Traffic

All the necessary access for the individual lots have been dedicated through the plat, and the concurring abandonment will release the existing roadway and public utilities easements.

Water/Sewer

The proposed plat will not affect the existing improvement requirements for the subject area.

Open Space

The subject parcel is required to provide 76 +/- acres of Natural Area Open Space (NAOS). The NAOS requirement is based on the slope category of the site and will not change based on the request.

Policy Implications

This final plat is consistent in density, street alignment, and open space previously approved in the preliminary plat. All stipulations and ordinance requirements have been addressed. Approval of this request will enable the final plat to be recorded, establishing lots, streets, easements and common tracts

OTHER BOARDS & COMMISSIONS

Development Review Board

The Development Review Board heard this case on September 6, 2012 and approved this case , subject to the attached stipulations with a unanimous vote of 5-0.

Recommended Approach:

Staff recommended approval, subject to the attached stipulations.

OPTIONS & STAFF RECOMMENDATION

1. Approve a Final Plat to re-plat an existing 218 +/- acre, 51-lot subdivision, to accommodate for an approved resort community, located on the northeast corner of N. 118th Street and E. Rio Verde Drive; with Single-Family Residential, Environmentally Sensitive Lands (R1-190/ESL) District, Single-Family Residential, Environmentally Sensitive Lands (R1-130/ESL) District, and Resort/Townhouse Residential, Environmentally Sensitive Lands (R-4R/ESL) District zoning

RESPONSIBLE DEPARTMENT(S)

Planning, Neighborhood and Transportation

Current Planning Services

STAFF CONTACTS (S)

Jesus Murillo

Planner

480-312-7849

E-mail: jmurillo@scottsdaleAZ.gov

APPROVED BY

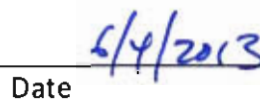

Jesus Murillo, Report Author


Date


Tim Curtis, Current Planning Director
480-312-4210, tcurtis@scottsdaleaz.gov


Date


Randy Grant, Administrator
Planning, Neighborhood and Transportation
480-312-2664, rgrant@scottsdaleaz.gov


Date

ATTACHMENTS

1. Previous Preliminary Plat Stipulations
Exhibit A to Attachment 1 Subdivision Plat
Exhibit B Attachment 1 Unit Locations
2. Applicant's Narrative
- 2A. Final Plat
3. Context Aerial
4. General Plan Map
5. Zoning Map
6. Trails Plan
7. NAOS and Open Space Plan
8. MEDCP
9. Perspective Drawing
10. Citizen Involvement
11. City Notification Map
12. September 6, 2012 Development Review Minutes
13. MAY 23, 2012 PLANNING COMMISSION MINUTES

**Stipulations for Case:
The Reserve
Case: 2-PP-2012**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code, the Design Standards and Policies Manual (DS&PM), and the other stipulations herein, the improvement plans and plat shall substantially conform to the following documents:
 - a. The Preliminary Plat submitted by Wood/Patel, with a city staff date of 7-6-2012.
 - b. The Natural Area Open Space (NAOS) analysis exhibit and plan submitted by The Reserve Development Company, LLC, with a city staff date of 7-6-2012.
 - c. The construction envelope exhibit submitted by The Reserve Development Company, LLC, with a city staff date of 7-6-2012.
 - d. The Master Environmental Design Concept Plan (MEDCP) for The Reserve Eco-Resort, 4-GP-2010, 6-ZN-2010, and 2-PP-2012.
 - e. The conceptual walls design submitted by The Reserve Development Company, LLC, dated 7-6-2012 by city staff.
 - f. The conceptual landscape plan submitted by The Reserve Development Company, LLC, with a city staff date of 7-6-2012.
 - g. Master Drainage Report for The Reserve by Wood Patel and accepted on August 29, 2012.
 - h. Water System Basis of Design Report for The Reserve; submitted by Wood/Patel, accepted on 7-13-2012.
 - i. Wastewater System Basis of Design Report for The Reserve; submitted by INSERT Wood/Patel, accepted on 7-13-2012.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable non-Major General Plan amendments and Zoning cases for the subject site were: 4-GP-2010, 6-ZN-2010, 12-AB-2010, 11-GP-2011, and 17-ZN-2011. (Reference all case numbers that govern the site at the time of review and afterwards. Previous DRB cases are not included here unless there are stipulations referenced herein or there is a master DRB case applicable to the site.).

SUBDIVISION PLAT REQUIREMENTS

SUBDIVISION DESIGN

Ordinance

- B. There shall be a maximum 308 units on the project's northern 137 +/- acres, resulting in a maximum density of 2.24 units per acre.
- C. No building on the site shall exceed 26 feet in height, measured from natural grade. Ornamental features and mechanical appurtenances and screening shall not exceed 29 feet in height.
- D. No structures will be permitted, for lots on the perimeter of the site, within fifty (50) feet of the Preserve boundary. The remaining perimeter lots, as determined by the Zoning Administrator, shall provide a minimum thirty (30) feet setback of another residential parcel with less intensive zoning; the lots shall have rear yard setbacks of not less than a thirty (30) feet to the adjacent lot(s) in the residential parcel with less intensive zoning.

DRB Stipulations

- 2. Parcel shown as Lot "14" shall be dedicated on the final plat as a tract for drainage purposes. This parcel shall be in addition to the currently shown Tract "K," dedicated for the same purposes.

STREETS AND RELATED DEDICATIONS:

DRB Stipulations

- 3. The owner shall dedicate to the city on the final plat the following right-of-way:

Street Name	Street Type	Dedications	Notes
118 th Street	Local Collector	No additional right-of-way dedications required.	Street to be paved to rural/ESL local collector with trail cross section
Rio Verde/ Dynamite	Minor Arterial	No additional right-of-way dedications required.	Half street to be paved to rural/ESL minor arterial cross section.

- 4. The developer shall be responsible for all improvements associated with the development or phase of the development and/or required for access or service to the development or phase of the development. Improvements shall include, but not be limited to washes, storm drains, drainage structures, water systems, sanitary sewer systems, curbs and gutters, paving, sidewalks, streetlights, street signs, and landscaping. The granting of zoning does not and shall not commit the city to provide any of these improvements.

EASEMENTS DEDICATIONS:

Ordinance

- E. The owner shall dedicate to the city on the final plat a sight distance easement over the sight distance triangle(s) in conformance Section 5.3 of the DS&PM.

DRB Stipulations

- 5. Each Vista Corridor, a watercourse with a peak flow rate of 750 cubic feet per second or greater, based on the 100 year – 2 hour rain event, shall be dedicated by the owner to the city as a continuous Vista Corridor easement on the final plat. The minimum width of the easement shall be one hundred (100) feet. Each easement shall include, at a minimum, any existing low flow channels, all major vegetation, and the area between the tops of the banks of the watercourse.
- 6. A Scenic Corridor Setback width along E. Rio Verde Drive shall be a minimum of 100 feet, measured from right-of-way. Unless otherwise approved by the Development Review Board, the Scenic Corridor easement shall be left in a natural condition. The previously approved The Reserve final site plan shall show all 100-foot Scenic Corridor setback easements dedicated to the city. The Scenic Corridor setback easement language shall include language to accommodate for trails and multi-use paths to be located within the entire Scenic Corridor setback easement.

IMPROVEMENT PLANS REQUIREMENTS

GATE HOUSE(S) AND AMENITY FEATURE DESIGNS:

Ordinance

- F. Before any certificate of occupancy is issued for the site, the owner shall make the required dedications and provide the following improvements in conformance with the Design Standards and Policies Manual and all other applicable city codes and policies (exception: the guardhouse approved through case 5-PP-2004)

WALLS AND FENCES:

Ordinance

- G. Walls shall adhere to all ordinances and policies.

DRB Stipulations

- 7. Walls within an Intersection & Driveway Sight Distance Triangle and/or a Traffic Safety Triangle shall conform with Section 5.3 of the DSPM.

NATURAL AREA OPEN SPACE (NAOS):

DRB Stipulations

- 8. NAOS that is dedicated over a Public Utility Easement shall be considered as revegetated NAOS.

EXTERIOR LIGHTING:

Ordinance

- H. The maximum height of any outdoor lighting source shall be sixteen (16) feet above the adjacent finished grade.

DRB Stipulations

- 9. All exterior luminaires shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line, except for sign lighting.
 - a. The individual luminaire lamp shall not exceed 250 watts
 - b. The maximum height from finished graded to the bottom of the any exterior luminiare shall not exceed 15 feet.
 - c. All exterior light poles, pole fixtures, and yokes, including bollards shall be a flat black or dark bronze.
 - d. Incorporate into the project's design, the following.
 - 1) **Parking Lot and Site Lighting:** The maintained maximum horizontal illuminance level, at grade on the site, shall not exceed 1.5 foot-candles. All exterior luminaries shall be included in this calculation.
 - 2) The initial vertical illuminance at 6.0 foot above grade, along the south and west property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed 0.3 foot-candles. All exterior luminaires shall be included in this calculation.
 - e. **Porte Cochere Canopy Lighting:**
 - (1) The maintained average horizontal illuminance level at grade under the canopy shall not exceed 20 foot-candles. The maintained maximum horizontal illuminance level at grade under the canopy shall not exceed 50 foot-candles. However, the Development Review Board may consider a modification of these standards up to plus or minus 25% if the City of Scottsdale Lighting Consultant determines that a greater or lesser amount of lighting is desirable for the task and context.
 - (2) Light fixtures under canopy shall be completely recessed into the canopy with flat lenses that are translucent and completely flush with the bottom surface of the canopy.
 - (3) Bottom of canopy fascia shall be no less than eight inches below the bottom of fixture lenses.
 - (4) Lights shall not be mounted on the top or sides of the canopy.
 - (5) The sides or fascias of the canopy shall not be illuminated.
 - f. **Building Mounted Lighting:**
 - (1) All luminaires shall be recessed or shielded so the light source is not directly visible from property line.

- (2) The maintained maximum horizontal illuminance level at grade within 15 feet of the storefront entries and windows, including any spill light from the store interior, shall not exceed fifteen (15) foot-candles.

DRAINAGE AND FLOOD CONTROL:

Ordinance

- I. Parcel shown as Lot "14" shall be dedicated on the final plat as a tract for drainage purposes. Dedication language for this parcels shall be similar the Tract "K" dedication language.

DRB Stipulations

10. Submit a final drainage report that demonstrates consistency with the DSPM and the master drainage report accepted in concept by the Stormwater Management Director or his designee.
11. Demonstrate consistency with the accepted master drainage plan and report.
- a. For any design that results in a significant modification to the accepted master drainage report, the owner shall submit a site-specific addendum to the final drainage report and plan, subject to review and acceptance by the Stormwater Management Division's Director or designee.
- b. An addendum generated by the final drainage analysis for this site shall be added to the appendix of the final drainage report.

STREETS AND RELATED IMPROVEMENTS:

Ordinance

- J. Prior to the issuance of an encroachment permit, the owner shall submit plans to construct the following street improvements:

Street Name	Street Type	Dedications	Improvements
118 th Street	Local Collector	No additional right-of-way dedications required.	Street to be paved to rural/ESL local collector with trail cross section
Rio Verde/ Dynamite	Minor Arterial	No additional right-of-way dedications required.	Half street to be paved to rural/ESL minor arterial cross section. See Note below.

Note: Before any building permit is issued for the site, if directed by city staff, the owner shall make an in-lieu payment to the city instead of constructing a specified the street

improvement(s), which shall be interpreted to consist of one lane of pavement, curb, gutter, and an 8 foot wide sidewalk along the site frontage. Before any final plan approval, the owner shall submit an engineer's estimate for plan preparation, design and construction costs, subject to city staff approval.

1. **VEHICLE NON-ACCESS EASEMENT.** Owner shall dedicate a one foot wide vehicular non-access easement on Rio Verde Drive, except at the approved driveways before final plans approval.
2. **TURN LANES.** Owner shall construct an eastbound left turn and westbound right turn lane at the both 118th Street and the Main Access Drive to provide entrance to the site with the first development phase, in accordance with the Design Standards and Policy Manual.
3. **SITE ACCESS.** Access to site shall be maintained off of both 118th Street and the Main Access Drive (121st alignment) unless otherwise approved in the Circulation Master Plan.
4. **INTERNAL SITE CIRCULATION.** Access shall be provided to the exception parcels. Provide documentation of access agreement property owners of exception parcels with the Development Review Board submittal

WATER AND WASTEWATER STIPULATIONS

DRB Stipulations

12. Existing water and sewer service lines to this site shall be utilized, or shall be disconnected at the main and removed pursuant to the Water Resources Services Department requirements.
13. Before the improvement plan submittal to the Plan Review and Permit Services Division, the owner shall obtain approval of the master water and wastewater reports. The improvement plans shall be consistent with the approved master water and wastewater reports. Any design that modifies an approved master water or wastewater report requires from the owner a site-specific addendum to the respective master report, subject to review and approval by City staff.



THE RESERVE
PRELIMINARY PLAT
PLAN SHEET



WOOD/PATEL
CIVIL ENGINEER
10000 N. 10TH AVE.
SUITE 100
DENVER, CO 80231
PHONE: 724-1111
FAX: 724-1112
E-MAIL: WOOD/PATEL@AOL.COM
WWW.WOODPATEL.COM

803-PA-2011-0
2 OF 11

MATCH SHEET 2



MATCH SHEET 6

THE RESERVE
PRELIMINARY PLAT
PLAN SHEET

[illegible]

053-F-A-2011-0

MATCH SHEET 7



MATCH SHEET 3

THE RESERVE
PRELIMINARY PLAT
PLAN SHEET



WOOD/PAT

1995

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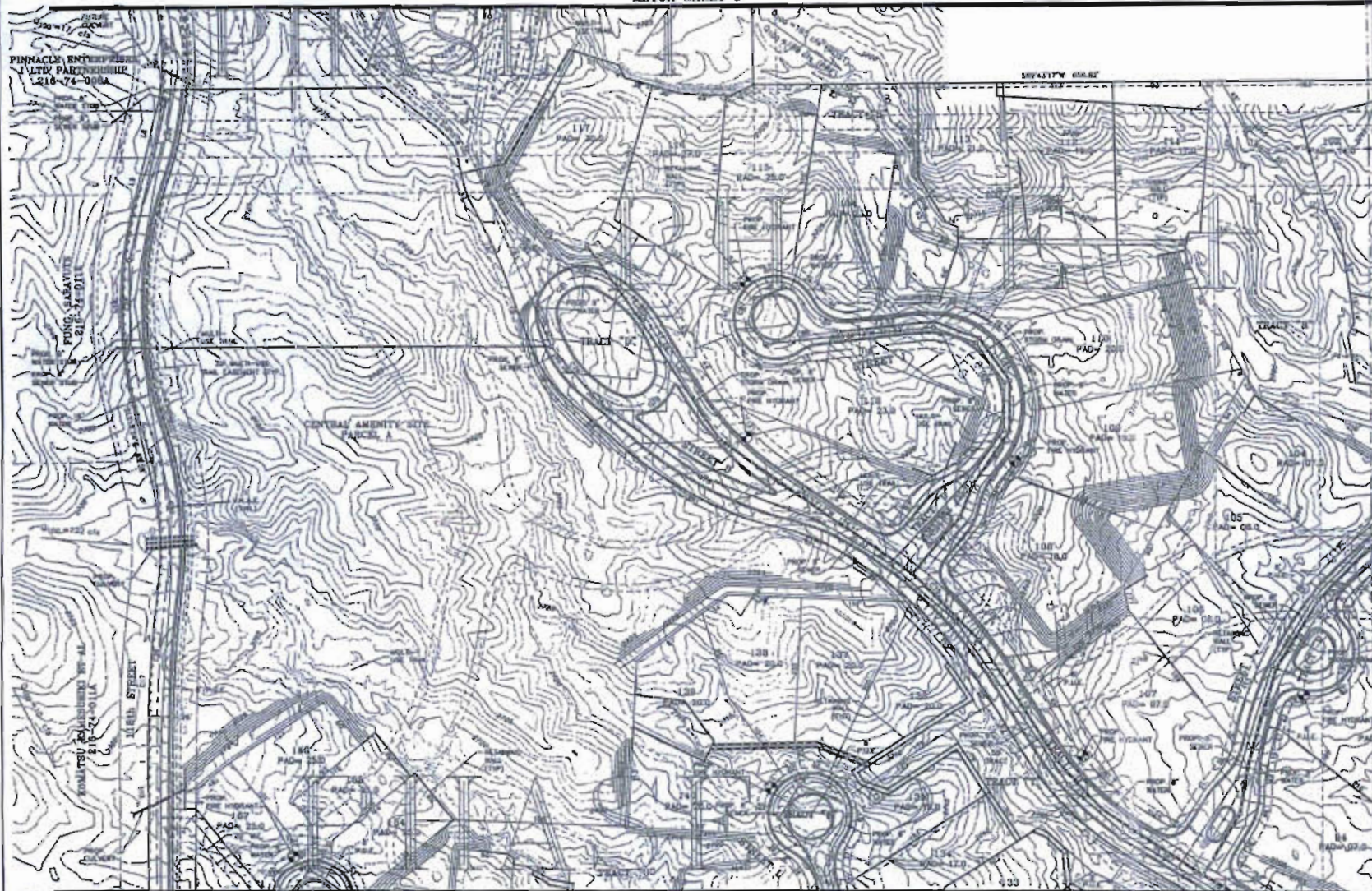
2000

5 00' 1

[illegible]

803-PA-2011-0

MATCH SHEET 8



MATCH SHEET 4



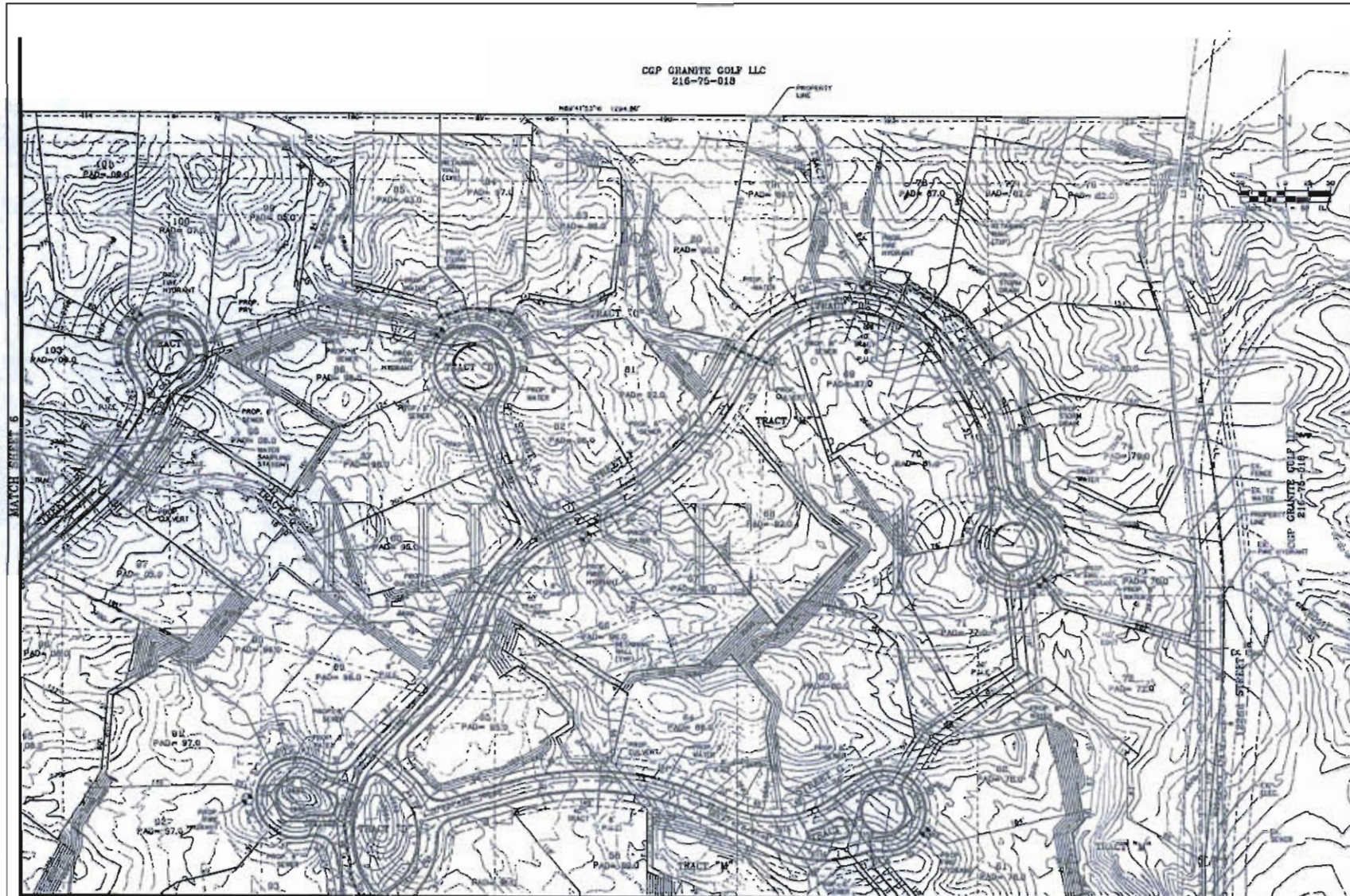
THE RESERVE
PRELIMINARY PLAT
PLAN SHEET



WOOD/PATEL
ENGINEERS
1000 S. Bascom Avenue
Palo Alto, CA 94308
(650) 325-8888
www.woodpatel.com

DATE	11/22/02
BY	OP 11

803-PA-2011-0



CCP GRANITE GOLF LLC
216-75-018

THE RESERVE
PRELIMINARY PLAN
PLAN SHEET

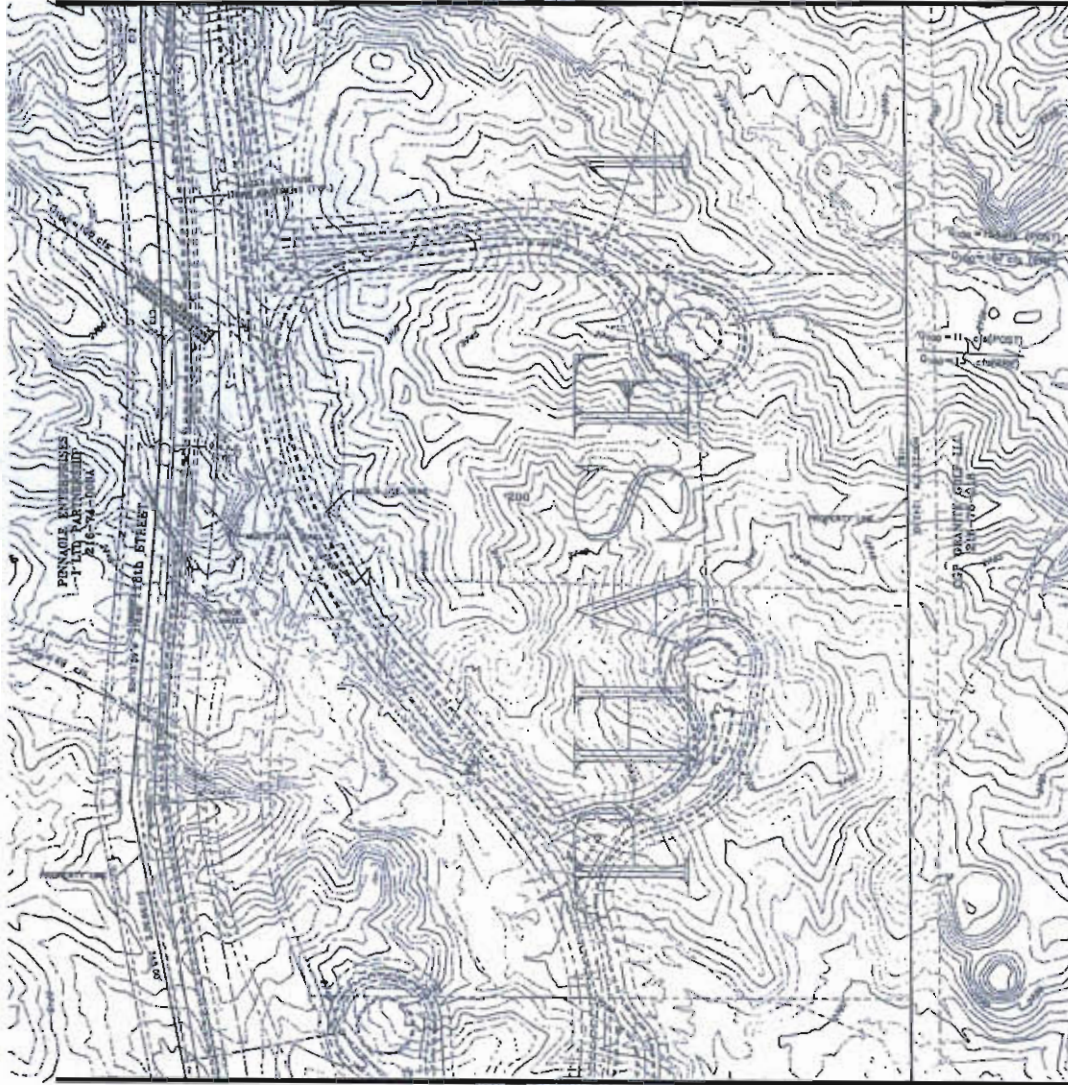


WOOD/PATEL
INCORPORATED IN THE STATE OF NEW YORK
1001 N. Monticello Ave.
Hempstead, NY 11549
(516) 751-0000

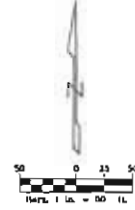
DESIGNED BY	WOOD/PATEL
DRAWN BY	WOOD/PATEL
CHECKED BY	WOOD/PATEL
DATE	01/20/04
SCALE	AS SHOWN
SHEET	2 OF 11

803-PA-2011-0

MATCH SHEET 9



MATCH SHEET 8



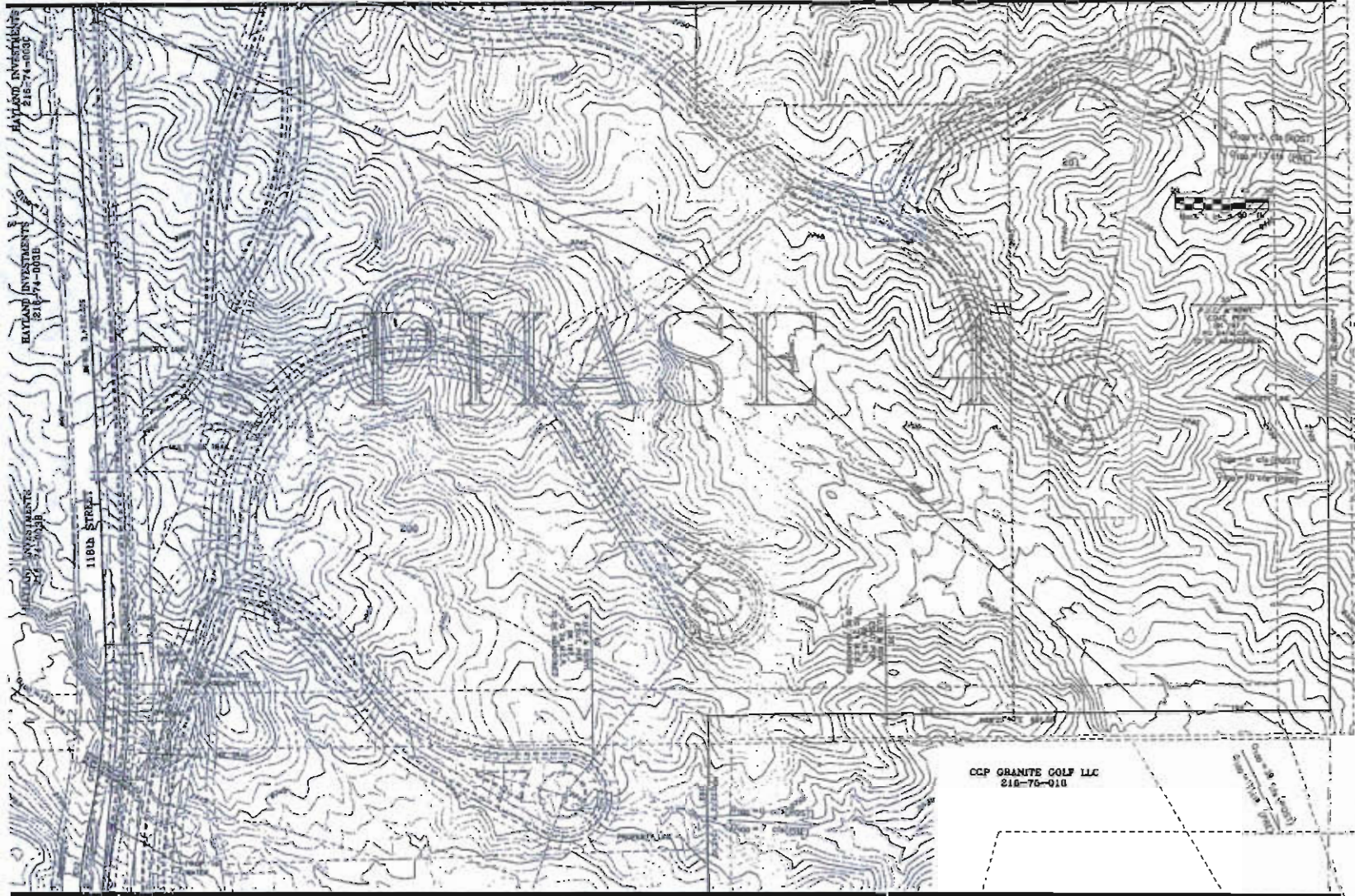
THE RESERVE PRELIMINARY PLAT PLAN SHEET



WOOD/PATEL
CIVIL ENGINEERING
REGISTERED PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO. 12345
EXPIRATION DATE 12/31/2024
PROJECT NO. 12345
SHEET NO. 8 OF 11

803-PA-20H-O

MATCH SHEET 10



MATCH SHEET 8

CCP GRANITE GOLF LLC
216-75-010

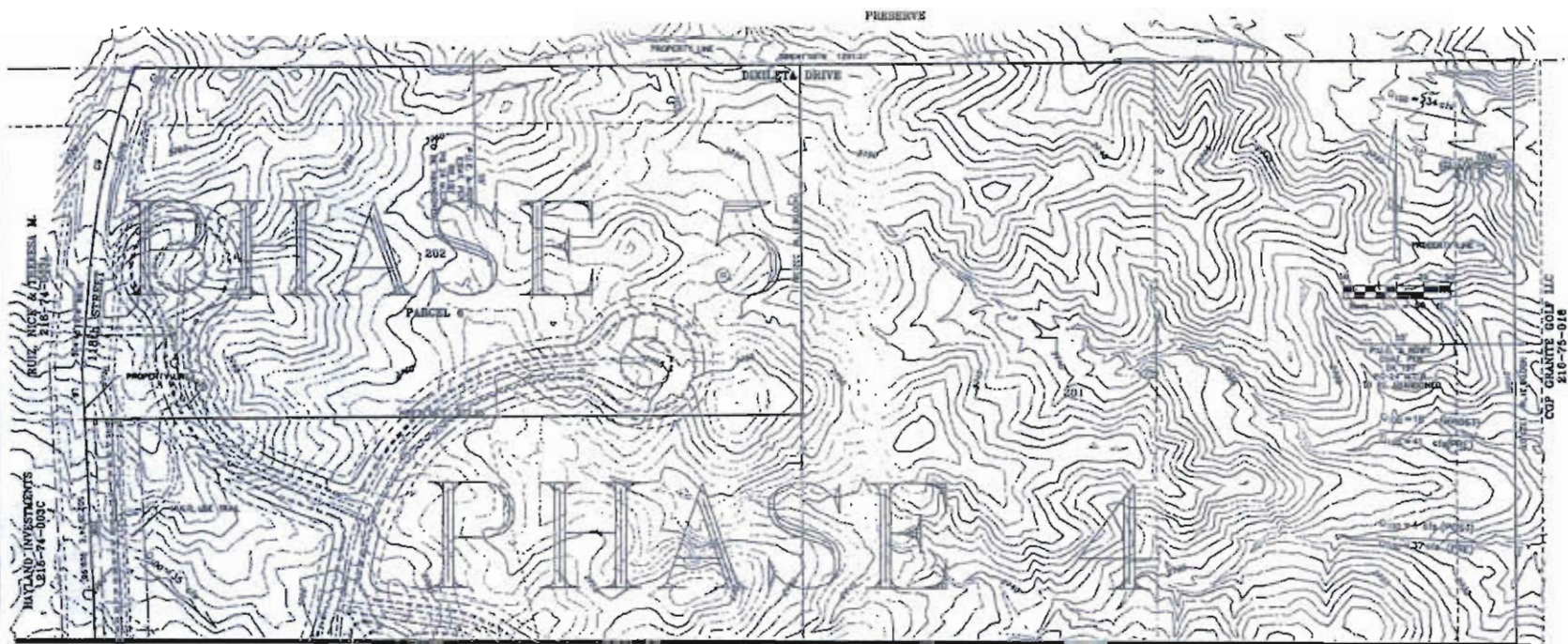
THE RESERVE
PRELIMINARY PLAN
PLAN SHEET

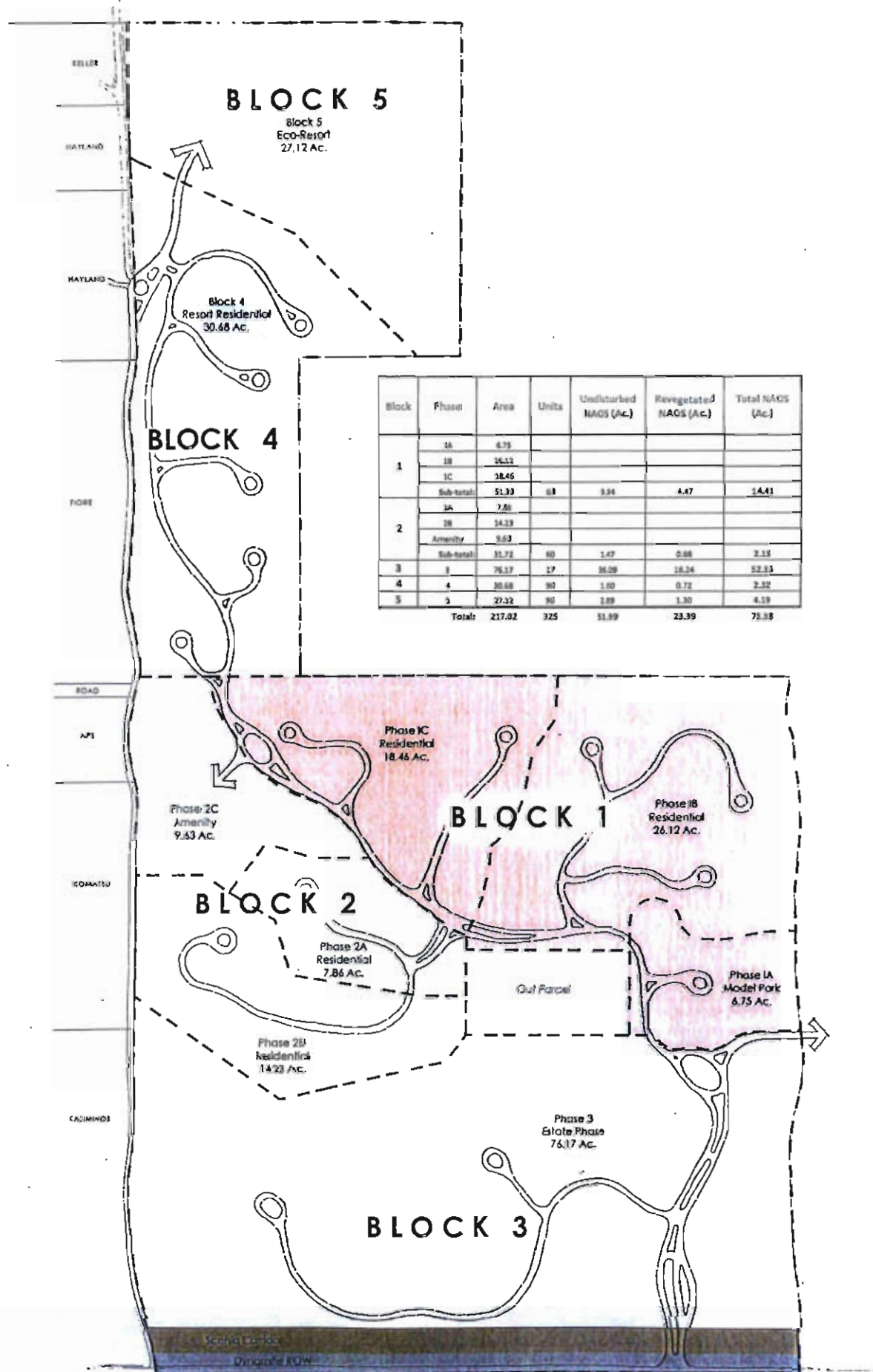


WOOD/PATEL
Professional Engineer
State of Pennsylvania
No. 123456

DATE	01/01/2011
BY	01/01/2011
CHECKED	01/01/2011
SCALE	AS SHOWN
PROJECT	THE RESERVE
SHEET	11
TOTAL	11

803-PA-2011-3





THE RESERVE
CONCEPTUAL SITE PLAN
EXHIBIT B TO ATTACHMENT 1



The Reserve
Project Narrative
7/2/12

The Reserve is being planned and designed to be an Eco-Resort Residential Community presenting the finest quality achievable for the Resort, Resort Units, the homes, and the amenities.

The property is currently subdivided into 51 Estate lots, 49 of the lots are owned by TL 49 Dynamite, LLC, a Lyle Anderson entity. Eighteen of the Estate lots are being retained with adjustments as required to fit minor altered street patterns. One former Estate lot is being converted to a tract to be used as a detention basin.

In November 2010 the City Council approved a re-zoning for 138 acres of the property to R-4R ESL. The retained Estate lot area remained designated R1-190 ESL and R1-130 ESL. Since the re-zoning approval the Owner purchased a five-acre parcel in the northwest corner of The Reserve. It is zoned R1-190 ESL and on the east and south sides is bordered by the Eco-Resort Block. The total number of units previously approved is 324 and one additional for the recently purchased 5-acre parcel provides a total of 325 units. Applications have been filed for the 5-acre parcel for a non-major general plan amendment to "Resort/Townhouse" and re-zoning to "R-4R ESL", Case numbers 11-GP-2011 and 17-ZN-2011 respectively.

The McDowell Sonoran Preserve borders the north boundary of The Reserve. Nearly 80% of the 218 acres was impacted by the Rio Fire in 1995. Only the Resort area's Sonoran vegetation remains in tact. The smaller plants on the burned desert floor are beginning to re-establish but substantial planting will need to be done to bring the area back to its desert beauty.

The property, for planning purposes, has been divided into five planning blocks. Block three is comprised of the retained

Estate lots (18) – two to three acres in size and lies entirely within the fire-damaged area. Block one is being platted as approximately 80' by 130' lots (69) for resort-residential units and lies entirely within the fire-damaged area. Block 2 is being platted as approximately 65' by 110' lots (65) for resort-residential units and also lies entirely within the fire-damaged area. Blocks four and five relate to the proposed Eco-Resort. Each Block (4 and 5) will be platted as one lot and the 5-acre parcel as one lot and then can be designed through the site planning process as are most resorts.

The total number of lots in this preliminary plat is 155.

There are no structures or improvements on the property other than a small amount of sewer and water lines installed in accordance with the entry road shown on the original 51-lot plat. The only adjacent use is the Golf Club Scottsdale, an 18-hole private golf course, its beautifully designed and constructed clubhouse, and a building facility for the golf maintenance operation.

One proposed adjacent use that will affect the proposed development is an APS substation that will be located along the Project's west boundary. APS also intends to construct an overhead 69 KV line from the south boundary of the Preserve, southward along the alignment of 118th Street to the location for the proposed substation.

ACKNOWLEDGMENT

STATE OF ARIZONA
COUNTY OF MARICOPA

THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ 2013.

BY CHARLES DUBOIS FOR AND ON BEHALF OF RESERVE DEVELOPMENT COMPANY, LLC, A DELAWARE LIMITED LIABILITY COMPANY

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

ACKNOWLEDGMENT

STATE OF ARIZONA
COUNTY OF MARICOPA

THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ 2013.

BY PASQUALE POLICASTRO FOR AND ON BEHALF OF PASQUALE POLICASTRO, AS TRUSTEE DUTY DATED DECEMBER 2, 1994.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

BY ANTONIA POLICASTRO FOR AND ON BEHALF OF ANTONIA POLICASTRO, AS TRUSTEE DUTY DATED DECEMBER 2, 1994.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

ACKNOWLEDGMENT

STATE OF ARIZONA
COUNTY OF MARICOPA

THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ 2013.

BY CHARLES DUBOIS FOR TL 48 DYNAMIC, LLC, A DELAWARE LIMITED LIABILITY COMPANY, BY SAGAMORE RESERVE, LLC, A DELAWARE LIMITED LIABILITY COMPANY, BY SV RESERVE, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS MANAGING MEMBER, BY SAGAMORE DYNAMIC, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS MANAGING MEMBER

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

ACKNOWLEDGMENT

STATE OF ARIZONA
COUNTY OF MARICOPA

THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ 2013.

BY CHARLES DUBOIS FOR AND ON BEHALF OF RESERVE S PARCEL, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, BY TL 48 DYNAMIC, LLC, A DELAWARE LIMITED LIABILITY COMPANY, BY SAGAMORE RESERVE, LLC, A DELAWARE LIMITED LIABILITY COMPANY, BY SV RESERVE, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS MANAGING MEMBER, BY SAGAMORE DYNAMIC, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS MANAGING MEMBER

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

ACKNOWLEDGMENT

STATE OF ARIZONA
COUNTY OF MARICOPA

THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ 2013.

BY CHARLES DUBOIS FOR AND ON BEHALF OF RESERVE S PARCEL, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, BY TL 48 DYNAMIC, LLC, A DELAWARE LIMITED LIABILITY COMPANY, BY SAGAMORE RESERVE, LLC, A DELAWARE LIMITED LIABILITY COMPANY, BY SV RESERVE, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS MANAGING MEMBER, BY SAGAMORE DYNAMIC, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS MANAGING MEMBER

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

ACKNOWLEDGMENT

STATE OF ARIZONA
COUNTY OF MARICOPA

THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ 2013.

BY CHARLES DUBOIS FOR AND ON BEHALF OF RESERVE S PARCEL, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, BY TL 48 DYNAMIC, LLC, A DELAWARE LIMITED LIABILITY COMPANY, BY SAGAMORE RESERVE, LLC, A DELAWARE LIMITED LIABILITY COMPANY, BY SV RESERVE, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS MANAGING MEMBER, BY SAGAMORE DYNAMIC, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS MANAGING MEMBER

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

TRACT SUMMARY TABLE	
TRACT	PURPOSE
1A	PRIVATE STREET-SEE P.L. 13-044
1B	DRIVE
1C	PRIVATE STREET-SEE P.L. 13-044
1D	DRIVE
1E	PRIVATE STREET-SEE P.L. 13-044
1F	DRIVE
1G	PRIVATE STREET-SEE P.L. 13-044
1H	DRIVE
1I	PRIVATE STREET-SEE P.L. 13-044
1J	DRIVE
1K	PRIVATE STREET-SEE P.L. 13-044
1L	DRIVE
1M	PRIVATE STREET-SEE P.L. 13-044
1N	DRIVE
1O	PRIVATE STREET-SEE P.L. 13-044
1P	DRIVE
1Q	PRIVATE STREET-SEE P.L. 13-044
1R	DRIVE
1S	PRIVATE STREET-SEE P.L. 13-044
1T	DRIVE
1U	PRIVATE STREET-SEE P.L. 13-044
1V	DRIVE
1W	PRIVATE STREET-SEE P.L. 13-044
1X	DRIVE
1Y	PRIVATE STREET-SEE P.L. 13-044
1Z	DRIVE
2A	PRIVATE STREET-SEE P.L. 13-044
2B	DRIVE
2C	PRIVATE STREET-SEE P.L. 13-044
2D	DRIVE
2E	PRIVATE STREET-SEE P.L. 13-044
2F	DRIVE
2G	PRIVATE STREET-SEE P.L. 13-044
2H	DRIVE
2I	PRIVATE STREET-SEE P.L. 13-044
2J	DRIVE
2K	PRIVATE STREET-SEE P.L. 13-044
2L	DRIVE
2M	PRIVATE STREET-SEE P.L. 13-044
2N	DRIVE
2O	PRIVATE STREET-SEE P.L. 13-044
2P	DRIVE
2Q	PRIVATE STREET-SEE P.L. 13-044
2R	DRIVE
2S	PRIVATE STREET-SEE P.L. 13-044
2T	DRIVE
2U	PRIVATE STREET-SEE P.L. 13-044
2V	DRIVE
2W	PRIVATE STREET-SEE P.L. 13-044
2X	DRIVE
2Y	PRIVATE STREET-SEE P.L. 13-044
2Z	DRIVE

NOTE: THE ABOVE LISTED EASEMENTS MAY OR MAY NOT ENCOMPASS THE ENTIRE TRACT. THERE MAY BE OTHER EASEMENTS THAT ARE DELIVERED ON THIS PLAT THAT ENCOMPASS OTHER PORTIONS OF THESE TRACTS.

N.A.O.S. REQUIREMENTS TABLE (SHOWN IN SQUARE FEET)

BASE TYPE	TOTAL	PARCEL 1	PARCEL 2	PARCEL 3	PARCEL 4	PARCEL 5
ACRES	76.42					
UNDEVELOPED	5,594,000	207,790	60,217	1,348,600	247,636	346,358
REVELOPMENT	882,479	421,888	42,442	133,882	108,878	176,579
TOTALS	6,476,479	729,678	102,659	1,482,482	356,514	522,937

TOTAL N.A.O.S. REQUIRED 18.00 ACRES - 3,150,000 S.F.
TOTAL N.A.O.S. PROVIDED TO BE PROVIDED 76.42 ACRES - 6,476,479 S.F.
REMARKS: N.A.O.S. PROVIDED FOR LOTS 1-10 AND PARCELS 4 & 5 IS NOT DELICATED WITH FUTURE SITE PLANS.

NOTES:

- THE STREETS DESIGNATED AS TRACTS "A" THROUGH "Z" ARE PRIVATE STREETS TO BE OWNED AS COMMON AREA BY THE HOME OWNERS ASSOCIATION AND MAINTAINED BY THE HOME OWNERS ASSOCIATION FOR THE SIERRA RESERVE AND THE GOLF CLUB SCOTTSDALE, RESPECTIVELY. NORMALLY, AFTER THIS PLAT IS RECORDED, THE CITY OF SCOTTSDALE WILL ACCEPT MAINTENANCE OF THE STREETS TO RELIEVE THE HOME OWNERS ASSOCIATION OF STREET MAINTENANCE RESPONSIBILITIES UNLESS ALL STREET IMPROVEMENTS AND RIGHTS-OF-WAY MEET APPLICABLE CITY STANDARDS. AN ACCESS AND MAINTENANCE AGREEMENT WILL BE AGREED TO AND SIGNED BY BOTH THE HOME OWNERS ASSOCIATION AND THE GOLF CLUB SCOTTSDALE.
- THIS PLAT IS LOCATED WITHIN THE CITY OF SCOTTSDALE WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
- CONSTRUCTION WITHIN PUBLIC UTILITY EASEMENTS, EXCEPT BY PUBLIC AGENCIES AND UTILITY COMPANIES, SHALL BE LIMITED TO WOOD, WIRE OR REMOVABLE SECTION FENCING, AND MUST OTHERWISE CONFORM WITH ALL APPLICABLE COVENANTS, CONDITIONS AND RESTRICTIONS.
- ELECTRIC LINES TO BE CONSTRUCTED UNDERGROUND AS REQUIRED BY THE ARIZONA CORPORATION COMMISSION GENERAL ORDER 14-26.
- THE MAINTENANCE OF EASEMENTS WHICH ARE WITHIN THE BOUNDARY OF A SUBDIVISION LIES WITH THE RESPONSIBILITY OF EACH INDIVIDUAL LOT OWNER WHOSE MAINTENANCE OBLIGATIONS MAY, BY SEPARATELY RECORDED INSTRUMENT, BE ASSIGNED BY THE PROPERTY OWNERS ASSOCIATION.
- SUBJECT TO NOTE 1, THOSE AREAS DESIGNATED AS TRACTS "A" THROUGH "Z", "M" THROUGH "P", AND "S" THROUGH "T", "Y", "Z" AND "AA" THROUGH "ZZ" AND "AAA" ARE TO BE CONVEYED AS COMMON AREA TO THE HOME OWNERS ASSOCIATION AND MAINTAINED BY THE HOME OWNERS ASSOCIATION. IN THE ORDINARY COURSE AND SHOULD NOT BE ACCEPTED FOR MAINTENANCE OR CONVEYED BY THE CITY OF SCOTTSDALE WITHOUT EXPRESS ACTION BY THE CITY COUNCIL. BEFORE ANY IMPROVEMENT IS ACCEPTED, IT SHALL MEET CITY STANDARDS, FAILURE TO MAINTAIN THE DESIGNATED COMMON AREAS WOULD RESULT IN A CIVIL ACTION BROUGHT BY THE CITY FOR COSTS INCURRED BY THE CITY FOR SAID MAINTENANCE.
- AREA WITHIN THE SIGHT DISTANCE EASEMENT (S.D.E.) IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER OBSTRUCTIONS WITH A HEIGHT GREATER THAN 3 FEET. TREES WITHIN THE SIGHT DISTANCE EASEMENT SHALL HAVE A CANOPY THAT BEGINS AT 7 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
- EACH OF LOTS 1-10 CONTAIN A MAXIMUM BUILDING CONSTRUCTION ENVELOPE APPROVED BY THE CITY OF SCOTTSDALE'S DEVELOPMENT REVIEW BOARD. THE BUILDING ENVELOPE EXHIBIT IS ON FILE AT THE CITY OF SCOTTSDALE, AND BUILDINGS SHALL BE LOCATED OUTSIDE OF THE CONSTRUCTION ENVELOPE EXCEPT AS MAY BE APPROVED BY THE CITY OF SCOTTSDALE AND THE SIERRA RESERVE DESIGN REVIEW COMMITTEE.
- REFERENCE TO THE "HOME OWNERS ASSOCIATION" NOTES TO THE HOME OWNERS ASSOCIATION CREATED PURSUANT TO THE APPLICABLE COVENANTS, CONDITIONS AND RESTRICTIONS.
- THE HOME OWNERS ASSOCIATION FOR SIERRA RESERVE IS RESPONSIBLE FOR THE CONSTRUCTION AND MAINTENANCE OF THE PERIMETER WALL, DRAINAGE STRUCTURES AND FACILITIES, AND DRAINAGE EASEMENT AREAS.
- ALL EASEMENTS SHOWN ON THIS PLAT AND/OR DEICATED HEREIN ARE NON-EXCLUSIVE.
- CERTAIN EXISTING PUBLIC AND PRIVATE EASEMENTS FOR THE RESERVE, RECORDED IN BOOK 188, PAGE 46, M.C.R., THE GOLF BROWN PHOENIX PLAZA RANCH UNIT THREE, RECORDED IN BOOK 187, PAGE 14, M.C.R. ARE OR WILL BE ABANDONED BY OTHERS.

LEGEND

NOTE: CUSTOM LOTS (1-10) AND PARCELS 4 AND 5.

1/2" BRASS OR P.V. NAIL WITH CAP OR TAG AFFIXED WITH WOODPATEL 1327238 TO BE SET AT ALL PROPERTY CORNERS UPON CITY APPROVAL OF THE PLAT AND PRIOR TO THE PLAT BEING RECORDED.

MADE CRASSED LOTS (20-118 & 120-189) UPON COMPLETION OF GRADING, 1/2" BRASS OR P.V. NAIL TO BE SET AT ALL PROPERTY CORNERS AFFIXED WITH CAP OR TAG BEARING THE REGISTRATION NUMBER OF THE REGISTERED LAND SURVEYOR (R.L.S.) RESPONSIBLE FOR THEIR PLACEMENT. IF SAID RESPONSIBLE R.L.S. IS NOT THE UNDERGROUND ALL THEN RESPONSIBLE R.L.S. MUST PREPARE AND RECORD A RECORD OF SURVEY REFLECTING SAID MONUMENTS.

● SURVEY MONUMENT FOUND AS NOTED

○ SET 1/2" BRASS WITH CAP OR TAG WOODPATEL 1327238

○ SURVEY MONUMENT SET BRASS CAP FLUSH OR OTHER MONUMENT, TYPE AS INDICATED ON THE ASSOCIATED IMPROVEMENT PLANS AT TIME OF CONSTRUCTION. MONUMENT TO BE STAMPED WITH THE YEAR AND THE REGISTRATION NUMBER OF THE RESPONSIBLE REGISTERED LAND SURVEYOR (R.L.S.). IF SAID RESPONSIBLE R.L.S. IS NOT THE UNDERGROUND ALL THEN RESPONSIBLE R.L.S. MUST PREPARE AND RECORD A RECORD OF SURVEY REFLECTING SAID MONUMENTS.

△ CORNER OF THIS SUBDIVISION SET SURVEY MONUMENT W/ TAG OR CAP, WOODPATEL 1327238, UNLESS OTHERWISE NOTED

○ IDENTIFICATION

△ ACCESS EASEMENT

△ ROADWAY EASEMENT

△ DRAINAGE EASEMENT

△ MARICOPA COUNTY

△ MARICOPA COUNTY RECORDS

△ GENERAL LAND OFFICE

△ PUBLIC UTILITY EASEMENT

△ EXISTING

△ 6" INCHES-OF-WAY

△ VEHICLE NON ACCESS EASEMENT

△ E.S.V.A.C. EMERGENCY AND SERVICE-TIME

△ VEHICLE ACCESS EASEMENT

△ T.A.L. TEMPORARY ACCESS EASEMENT

△ P.A.E. PUBLIC ACCESS EASEMENT

△ S.D.E. SIGHT DISTANCE EASEMENT

△ S.C.L. SCENIC CORRIDOR EASEMENT

△ N.A.P. L.A.C. NON-WOODSHEED PUBLIC TRAIL ACCESS EASEMENT

△ M.U.P.T.E. MULTI-USE PUBLIC TRAIL EASEMENT

△ W.C.E. MULTI-USE TRAIL EASEMENT

△ N.A.O.S. NATURAL AREA (OPEN SPACE) EASEMENT

△ W.L.E. WATER LINE EASEMENT

△ W.E. WATER EASEMENT

SIERRA RESERVE
FINAL PLAT



WOOD/PATEL

Civil Engineer
Professional Seal
No. 10000
Exp. 12-31-2015

1001 West McDowell
Suite 100
Phoenix, AZ 85006
Phone: (602) 225-0000
Fax: (602) 225-0000

SIERRA RESERVE

CHECKED BY: CP/THL
DATE: 12-17-13

DATE: 12-17-13

DATE: 12-17-13

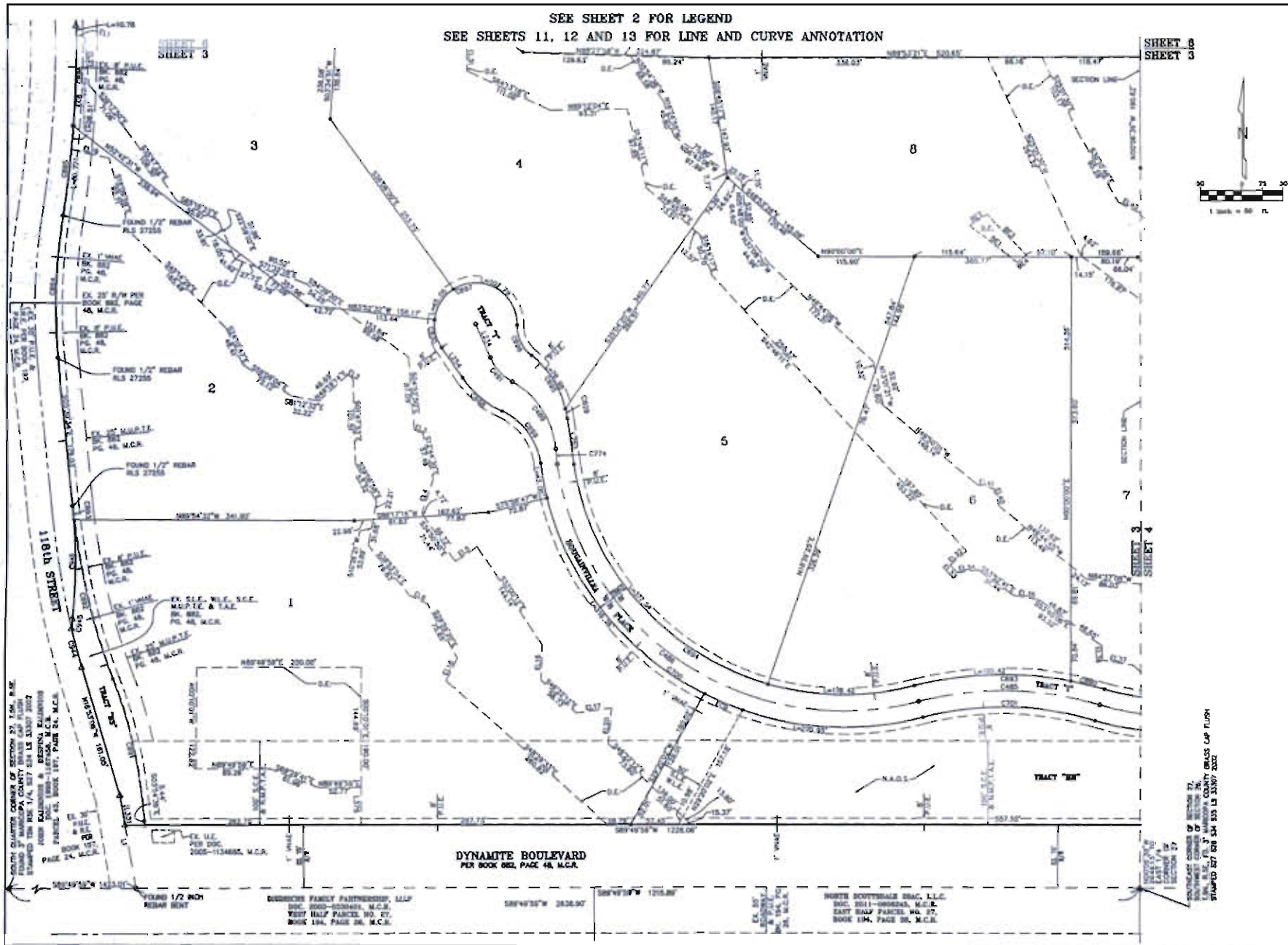
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DATE: 12-17-13

DATE: 12-17-13

DATE: 12-17-13

DATE: 12-17-13



SIERRA RESERVE

FINAL PLAT



WOOD/PATEL

Civil Engineer
License No. 10000
State of California

2004 West Northern
Boulevard, Suite 100
Pasadena, CA 91106

Phone (626) 799-0000
Fax (626) 799-0000

SIERRA RESERVE

TRACED BY

CO. ENGINEER

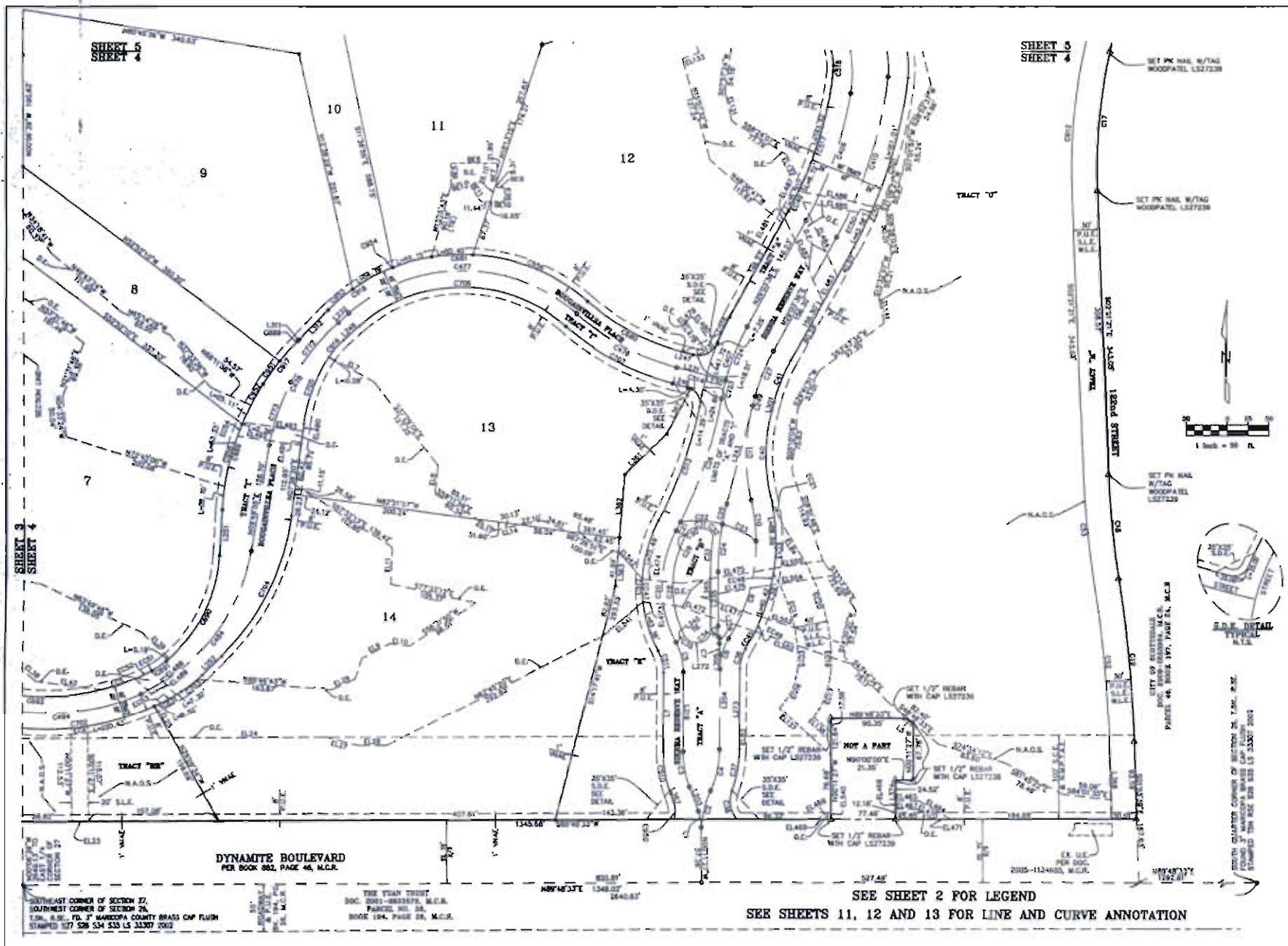
SCALE

DATE

BY

SHEET

3 OF 14



SIERRA RESERVE
FINAL PLAN

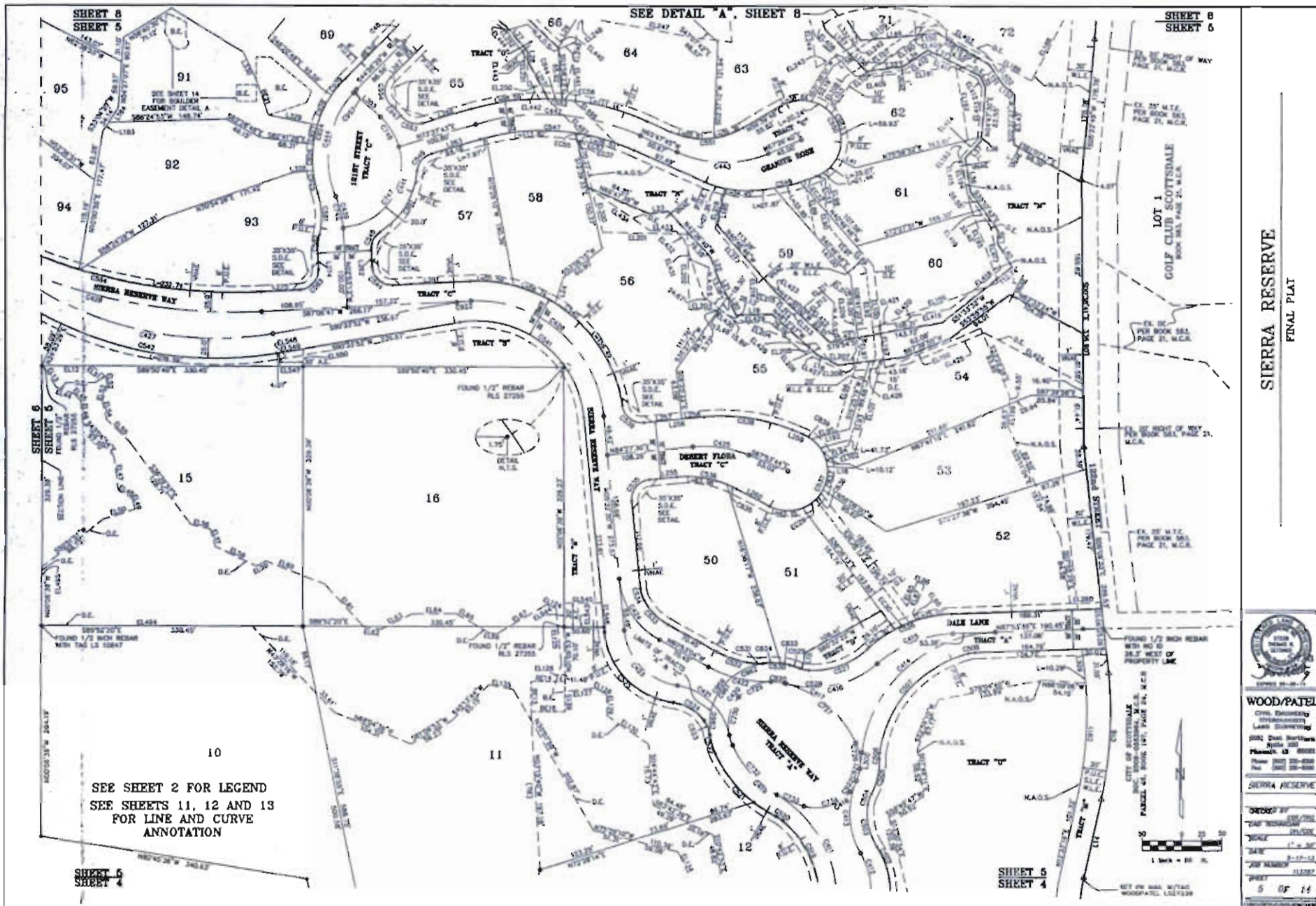


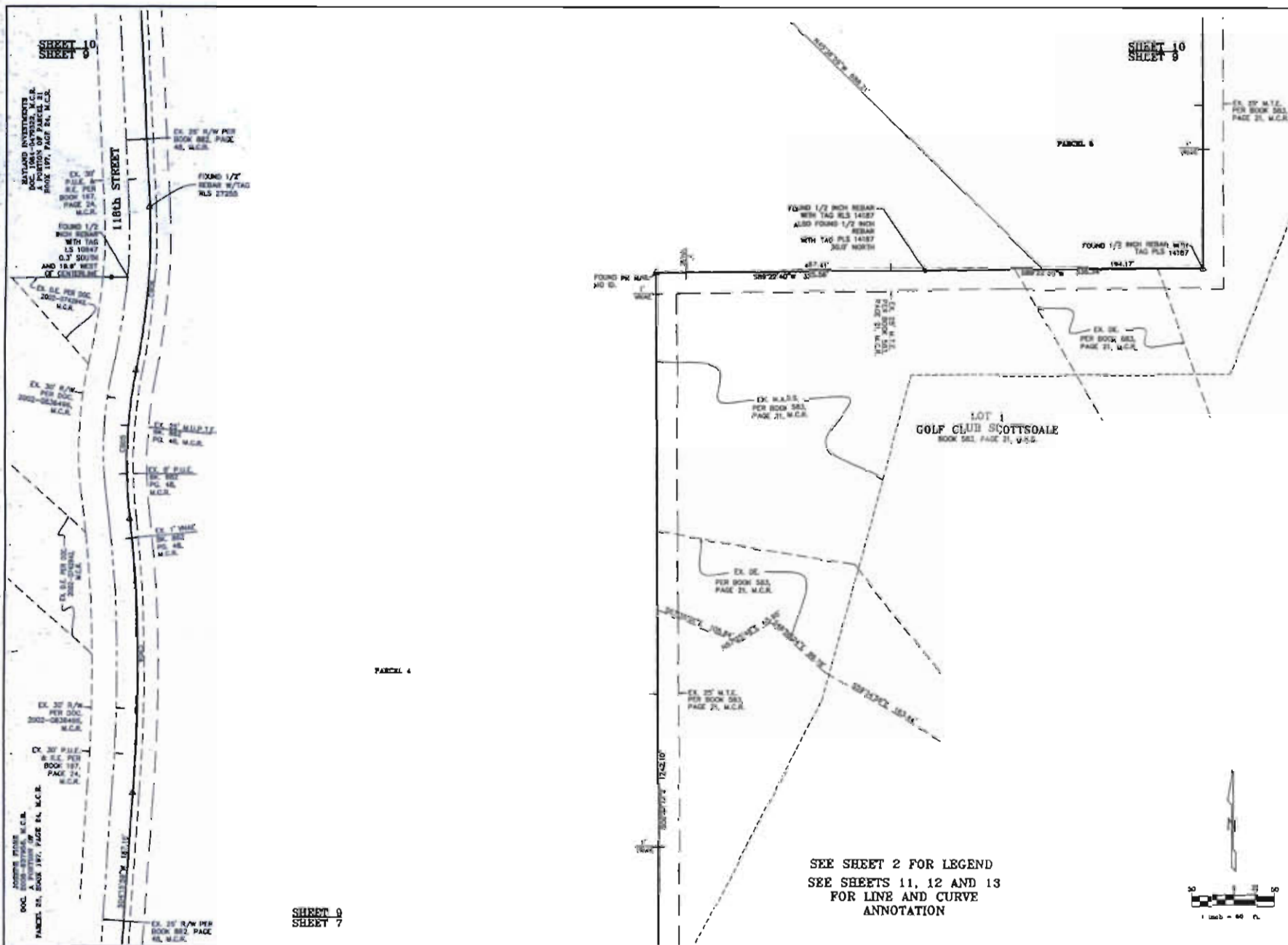
WOOD/PATEL

Civil Engineer
Professional
License No. 12345
State of California
Expiry Date: 12/31/2011

SIERRA RESERVE

DESIGNED BY: [Name]
DRAWN BY: [Name]
CHECKED BY: [Name]
DATE: 12-AB-2010
SHEET 4 OF 14





SIERRA RESERVE
FINAL PLAT

WOOD/PATEL
CIVIL ENGINEERS
118th Street
Phoenix, AZ 85024
Phone: (602) 998-8888
Fax: (602) 998-8888
SIERRA RESERVE
DRAWN BY: JAY HODGSON
CHECKED BY: JAY HODGSON
DATE: 11-17-11
SHEET 11 OF 14

RATIFICATION AND APPROVAL

AS BENEFICIARY UNDER THAT CERTAIN DEED OF TRUST RECORDED IN THE COUNTY RECORDER'S OFFICE, MARICOPA COUNTY, ARIZONA, IN RECORDER'S NUMBER 2003-017034, THE GEORGE FAMILY TRUST, WAYNE E. GEORGE AND DENISE GEORGE AS TRUSTEES, THE UNDERSIGNED HEREBY RATIFIES, APPROVES AND CONFIRMS IS GIVEN TO SAID DESIGNATIONS AS STATED IN THIS PLAT AS TO THE INTEREST OF THE UNDERSIGNED, THE PERSON SIGNING FOR BENEFICIARY WARRANTS AND REPRESENT THEY HAVE POWER AND AUTHORITY TO DO SO.

BY: INDIVIDUAL, PARTNERSHIP, OR FINANCIAL INSTITUTION, AS BENEFICIARY

FILE OR POSITION

INDIVIDUAL, PARTNERSHIP, OR FINANCIAL INSTITUTION, AS BENEFICIARY

FILE OR POSITION

ACKNOWLEDGMENT FOR RATIFICATION AND APPROVAL

STATE OF ARIZONA

COUNTY OF MARICOPA

THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS THE _____ DAY OF _____ 2013, BY THE GEORGE FAMILY TRUST FOR AND ON BEHALF THEREOF.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

RATIFICATION AND APPROVAL

AS BENEFICIARY UNDER THAT CERTAIN DEED OF TRUST RECORDED IN THE COUNTY RECORDER'S OFFICE, MARICOPA COUNTY, ARIZONA, IN RECORDER'S NUMBER 2011-086171, THE ROBERT ALEXANDER AND ANGELA SEMMARA KAPLAN TRUST, DATED MARCH 1, 2008, THE UNDERSIGNED HEREBY RATIFIES, APPROVES AND CONFIRMS IS GIVEN TO SAID DESIGNATIONS AS STATED IN THIS PLAT AS TO THE INTEREST OF THE UNDERSIGNED, THE PERSON SIGNING FOR BENEFICIARY WARRANTS AND REPRESENT THEY HAVE POWER AND AUTHORITY TO DO SO.

INDIVIDUAL, PARTNERSHIP, OR FINANCIAL INSTITUTION, AS BENEFICIARY

FILE OR POSITION

INDIVIDUAL, PARTNERSHIP, OR FINANCIAL INSTITUTION, AS BENEFICIARY

FILE OR POSITION

ACKNOWLEDGMENT FOR RATIFICATION AND APPROVAL

STATE OF ARIZONA

COUNTY OF MARICOPA

THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS THE _____ DAY OF _____ 2013, BY ROBERT ALEXANDER AND ANGELA SEMMARA KAPLAN FOR AND ON BEHALF THEREOF.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

RATIFICATION AND APPROVAL

AS BENEFICIARY UNDER THAT CERTAIN DEED OF TRUST RECORDED IN THE RECORDER'S OFFICE, MARICOPA COUNTY, ARIZONA, IN RECORDER'S NUMBER 2013-118422, RESERVE DEVELOPMENT COMPANY, LLC, A DELAWARE LIMITED LIABILITY COMPANY, THE UNDERSIGNED HEREBY RATIFIES, APPROVES AND CONFIRMS IS GIVEN TO SAID DESIGNATIONS AS STATED IN THIS PLAT AS TO THE INTEREST OF THE UNDERSIGNED, THE PERSON SIGNING FOR BENEFICIARY WARRANTS AND REPRESENT THEY HAVE THE POWER AND AUTHORITY TO DO SO.

BY: SACAMORE RESERVE, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS MANAGING MEMBER

BY: BY RESERVE, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS MANAGING MEMBER

BY: SACAMORE DYNAMIC LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS MANAGING MEMBER

BY: CHARLES DUBROFF, MANAGER

FILE OR POSITION

ACKNOWLEDGMENT FOR RATIFICATION AND APPROVAL

STATE OF ARIZONA

COUNTY OF MARICOPA

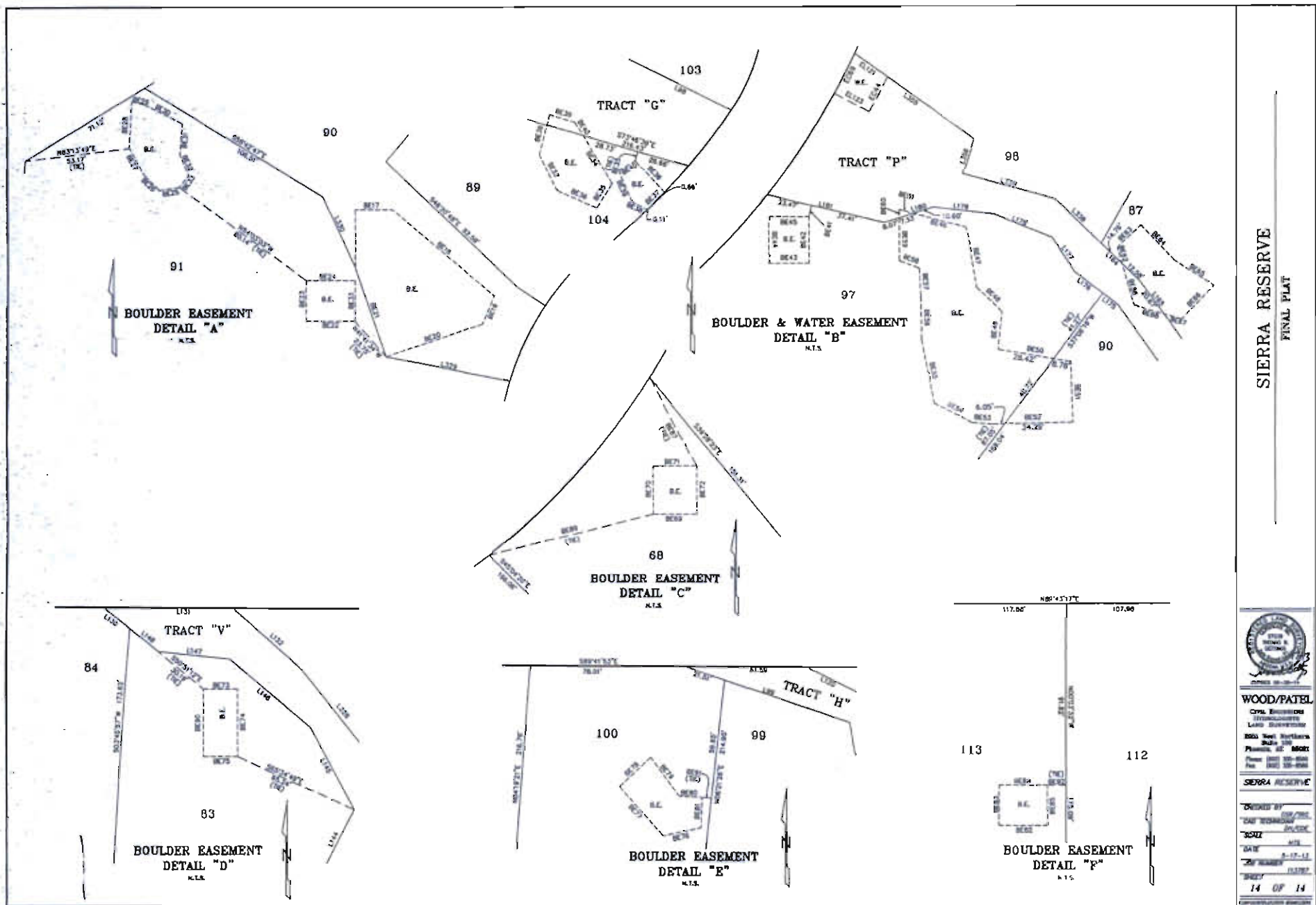
THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS THE _____ DAY OF _____ 2013, BY CHARLES DUBROFF, FOR AND ON BEHALF THEREOF.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

CURVE	DELTA	RADIUS	ARC	CHORD	BEARING	CHORD
C001	18.114	26.00	15.17	33.44	43.49	25.13
C002	24.915	35.00	20.63	46.02	49.34	29.34
C003	32.481	45.00	27.38	51.50	55.17	35.17
C004	40.714	56.00	35.48	59.48	62.80	42.80
C005	49.615	68.00	45.03	69.98	72.24	51.24
C006	59.184	81.00	56.03	82.98	83.59	61.59
C007	69.415	95.00	68.53	98.48	96.94	72.94
C008	80.214	110.00	82.53	116.48	112.29	84.29
C009	91.584	126.00	98.03	136.98	134.64	96.64
C010	103.515	143.00	115.03	159.98	158.99	110.99
C011	116.014	161.00	133.53	185.48	184.54	126.54
C012	129.084	180.00	153.53	213.48	212.54	143.54
C013	142.714	200.00	175.03	243.98	243.04	162.04
C014	156.915	221.00	198.03	276.98	276.00	181.00
C015	171.684	243.00	222.53	312.48	311.54	191.54
C016	187.014	266.00	248.53	350.48	349.54	203.54
C017	202.815	290.00	276.03	390.98	390.04	217.04
C018	219.084	315.00	305.03	433.98	433.04	231.04
C019	235.815	341.00	335.53	479.48	478.54	246.54
C020	253.014	368.00	367.53	527.48	526.54	262.54
C021	270.684	396.00	401.03	577.98	577.04	279.04
C022	288.815	425.00	436.03	630.98	630.04	296.04
C023	307.414	455.00	472.53	686.48	685.54	313.54
C024	326.484	486.00	510.53	744.48	743.54	331.54
C025	346.015	518.00	550.03	804.98	804.04	350.04
C026	366.014	551.00	591.03	867.98	867.04	369.04
C027	386.484	585.00	633.53	933.48	932.54	388.54
C028	407.415	620.00	677.53	1001.48	1000.54	408.54
C029	428.814	656.00	723.03	1071.98	1071.04	429.04
C030	450.684	693.00	770.03	1144.98	1144.04	450.04
C031	473.015	731.00	818.53	1220.48	1219.54	471.54
C032	495.814	770.00	868.53	1298.48	1297.54	493.54
C033	519.084	810.00	920.03	1378.98	1378.04	515.04
C034	542.815	851.00	973.03	1461.98	1461.04	537.04
C035	567.014	893.00	1027.53	1547.48	1546.54	559.54
C036	591.684	936.00	1083.53	1635.48	1634.54	582.54
C037	616.815	980.00	1141.03	1725.98	1725.04	606.04
C038	642.414	1025.00	1200.03	1818.98	1818.04	630.04
C039	668.484	1071.00	1260.53	1914.48	1913.54	654.54
C040	695.015	1118.00	1322.53	2012.48	2011.54	679.54
C041	722.084	1166.00	1386.03	2112.98	2112.04	705.04
C042	749.684	1215.00	1451.03	2215.98	2215.04	731.04
C043	777.815	1265.00	1517.53	2321.48	2320.54	757.54
C044	806.484	1316.00	1585.53	2429.48	2428.54	784.54
C045	835.684	1368.00	1655.03	2539.98	2539.04	811.54
C046	865.415	1421.00	1726.03	2652.98	2652.04	839.04
C047	895.684	1475.00	1798.53	2768.48	2767.54	866.54
C048	926.484	1530.00	1872.53	2886.48	2885.54	894.54
C049	957.815	1586.00	1949.03	3006.98	3006.04	922.54
C050	989.684	1643.00	2027.03	3129.98	3129.04	950.54
C051	1022.015	1701.00	2106.53	3254.48	3253.54	979.04
C052	1054.814	1760.00	2187.53	3381.48	3380.54	1007.54
C053	1088.084	1820.00	2270.03	3510.98	3510.04	1036.54
C054	1121.815	1881.00	2354.03	3642.98	3642.04	1066.04
C055	1156.014	1943.00	2439.53	3776.48	3775.54	1096.54
C056	1190.684	2006.00	2526.53	3912.48	3911.54	1127.54
C057	1225.815	2070.00	2615.03	4050.98	4050.04	1159.04
C058	1261.414	2135.00	2705.03	4191.98	4191.04	1191.04
C059	1297.484	2201.00	2796.53	4335.48	4334.54	1223.54
C060	1334.015	2268.00	2889.53	4481.48	4480.54	1256.54
C061	1371.084	2336.00	2984.03	4629.98	4629.04	1290.04
C062	1408.684	2405.00	3080.03	4780.98	4780.04	1323.54
C063	1446.815	2475.00	3177.53	4933.48	4932.54	1357.54
C064	1485.484	2546.00	3276.53	5088.48	5087.54	1391.54
C065	1524.684	2618.00	3378.03	5245.98	5245.04	1426.04
C066	1564.415	2691.00	3481.03	5405.98	5405.04	1461.04
C067	1604.684	2765.00	3585.53	5568.48	5567.54	1496.54
C068	1645.484	2840.00	3691.53	5733.48	5732.54	1532.54
C069	1686.815	2916.00	3799.03	5900.98	5899.54	1569.04
C070	1728.684	2993.00	3908.03	6070.98	6070.04	1606.04
C071	1771.015	3071.00	4018.53	6243.48	6242.54	1643.54
C072	1813.814	3150.00	4130.53	6418.48	6417.54	1681.54
C073	1857.084	3230.00	4244.03	6595.98	6595.04	1720.04
C074	1900.815	3311.00	4359.03	6775.98	6775.04	1758.54
C075	1945.014	3393.00	4475.53	6958.48	6957.54	1797.54
C076	1989.684	3476.00	4593.53	7143.48	7142.54	1837.04
C077	2034.815	3560.00	4713.03	7330.98	7330.04	1876.54
C078	2080.414	3645.00	4834.03	7520.98	7520.04	1917.04
C079	2126.484	3731.00	4956.53	7713.48	7712.54	1957.54
C080	2173.015	3818.00	5080.53	7908.48	7907.54	1999.04
C081	2220.084	3906.00	5206.03	8105.98	8105.04	2040.54
C082	2267.684	3995.00	5333.03	8305.98	8305.04	2082.54
C083	2315.815	4085.00	5461.53	8508.48	8507.54	2124.54
C084	2364.484	4176.00	5591.53	8713.48	8712.54	2167.04
C085	2413.684	4268.00	5723.03	8920.98	8920.04	2209.54
C086	2463.415	4361.00	5856.03	9130.98	9130.04	2252.54
C087	2513.684	4455.00	5990.53	9343.48	9342.54	2295.54
C088	2564.484	4550.00	6126.53	9558.48	9557.54	2339.04
C089	2615.815	4646.00	6264.03	9775.98	9775.04	2382.54
C090	2667.684	4743.00	6403.03	9995.98	9995.04	2426.54
C091	2720.015	4841.00	6543.53	10218.48	10217.54	2470.54
C092	2772.814	4940.00	6685.53	10443.48	10442.54	2514.54
C093	2826.084	5040.00	6829.03	10670.98	10670.04	2558.54
C094	2879.815	5141.00	6974.03	10900.98	10900.04	2602.54
C095	2934.014	5243.00	7120.53	11133.48	11132.54	2646.54
C096	2988.684	5346.00	7268.53	11368.48	11367.54	2690.54
C097	3043.815	5450.00	7418.03	11605.98	11605.04	2734.54
C098	3099.414	5555.00	7569.03	11845.98	11845.04	2778.54
C099	3155.484	5661.00	7721.53	12088.48	12087.54	2822.54
C100	3212.015	5768.00	7875.53	12333.48	12332.54	2866.54

CURVE TABLE						
CURVE	DELTA	RADIUS	ARC	CHORD	BEARING	CHORD
C001	174.513	586.50	175.31	617.426	175.31	174.611
C002	312.111	723.30	312.67	1142.627	312.67	312.471
C003	314.040	777.00	313.27	1208.071	313.27	313.373
C004	315.984	831.00	313.87	1273.515	313.87	313.873
C005	317.943	885.00	314.47	1338.959	314.47	314.471
C006	320.017	939.00	315.07	1404.403	315.07	315.073
C007	322.107	1000.00	315.67	1469.847	315.67	315.673
C008	324.212	1061.00	316.27	1535.291	316.27	316.273
C009	326.332	1122.00	316.87	1600.735	316.87	316.873
C010	328.467	1183.00	317.47	1666.179	317.47	317.473
C011	330.617	1244.00	318.07	1731.623	318.07	318.073
C012	332.782	1305.00	318.67	1797.067	318.67	318.673
C013	334.962	1366.00	319.27	1862.511	319.27	319.273
C014	337.157	1427.00	319.87	1927.955	319.87	319.873
C015	339.367	1488.00	320.47	1993.399	320.47	320.473
C016	341.592	1549.00	321.07	2058.843	321.07	321.073
C017	343.832	1610.00	321.67	2124.287	321.67	321.673
C018	346.087	1671.00	322.27	2189.731	322.27	322.273
C019	348.357	1732.00	322.87	2255.175	322.87	322.873
C020	350.642	1793.00	323.47	2320.619	323.47	323.473
C021	352.942	1854.00	324.07	2386.063	324.07	324.073
C022	355.257	1915.00	324.67	2451.507	324.67	324.673
C023	357.587	1976.00	325.27	2516.951	325.27	325.273
C024	359.932	2037.00	325.87	2582.395	325.87	325.873
C025	362.292	2098.00	326.47	2647.839	326.47	326.473
C026	364.667	2159.00	327.07	2713.283	327.07	327.073
C027	367.057	2220.00	327.67	2778.727	327.67	327.673
C028	369.462	2281.00	328.27	2844.171	328.27	328.273
C029	371.882	2342.00	328.87	2909.615	328.87	328.873
C030	374.317	2403.00	329.47	2975.059	329.47	329.473
C031	376.767	2464.00	330.07	3040.503	330.07	330.073
C032	379.232	2525.00	330.67	3105.947	330.67	330.673
C033	381.712	2586.00	331.27	3171.391	331.27	331.273
C034	384.207	2647.00	331.87	3236.835	331.87	331.873
C035	386.717	2708.00	332.47	3302.279	332.47	332.473
C036	389.242	2769.00	333.07	3367.723	333.07	333.073
C037	391.782	2830.00	333.67	3433.167	333.67	333.673
C038	394.337	2891.00	334.27	3498.611	334.27	334.273
C039	396.907	2952.00	334.87	3564.055	334.87	334.873
C040	399.492	3013.00	335.47	3629.499	335.47	335.473
C041	402.092	3074.00	336.07	3694.943	336.07	336.073
C042	404.707	3135.00	336.67	3760.387	336.67	336.673
C043	407.337	3196.00	337.27	3825.831	337.27	337.273
C044	410.002	3257.00	337.87	3891.275	337.87	337.873
C045	412.692	3318.00	338.47	3956.719	338.47	338.473
C046	415.407	3379.00	339.07	4022.163	339.07	339.073
C047	418.137	3440.00	339.67	4087.607	339.67	339.673
C048	420.882	3501.00	340.27	4153.051	340.27	340.273
C049	423.642	3562.00	340.87	4218.495	340.87	340.873
C050	426.417	3623.00	341.47	4283.939	341.47	341.473
C051	429.207	3684.00	342.07	4349.383	342.07	342.073
C052	432.012	3745.00	342.67	4414.827	342.67	342.673
C053	434.832	3806.00	343.27	4480.271	343.27	343.273
C054	437.667	3867.00	343.87	4545.715	343.87	343.873
C055	440.517	3928.00	344.47	4611.159	344.47	344.473
C056	443.382	3989.00	345.07	4676.603	345.07	345.073
C057	446.262	4050.00	345.67	4742.047	345.67	345.673
C058	449.157	4111.00	346.27	4807.491	346.27	346.273
C059	452.067	4172.00	346.87	4872.935	346.87	346.873
C060	454.992	4233.00	347.47	4938.379	347.47	347.473
C061	457.932	4294.00	348.07	5003.823	348.07	348.073
C062	460.887	4355.00	348.67	5069.267	348.67	348.673
C063	463.857	4416.00	349.27	5134.711	349.27	349.273
C064	466.842	4477.00	349.87	5200.155	349.87	349.873
C065	469.842	4538.00	350.47	5265.599	350.47	350.473
C066	472.857	4599.00	351.07	5331.043	351.07	351.073
C067	475.887	4660.00	351.67	5396.487	351.67	351.673
C068	478.932	4721.00	352.27	5461.931	352.27	352.273
C069	481.992	4782.00	352.87	5527.375	352.87	352.873
C070	485.067	4843.00	353.47	5592.819	353.47	353.473
C071	488.157	4904.00	354.07	5658.263	354.07	354.073
C072	491.262	4965.00	354.67	5723.707	354.67	354.673
C073	494.382	5026.00	355.27	5789.151	355.27	355.273
C074	497.517	5087.00	355.87	5854.595	355.87	355.873
C075	500.667	5148.00	356.47	5920.039	356.47	356.473
C076	503.832	5209.00	357.07	5985.483	357.07	357.073
C077	507.012	5270.00	357.67	6050.927	357.67	357.673
C078	510.207	5331.00	358.27	6116.371	358.27	358.273
C079	513.417	5392.00	358.87	6181.815	358.87	358.873
C080	516.642	5453.00	359.47	6247.259	359.47	359.473
C081	519.882	5514.00	360.07	6312.703	360.07	360.073
C082	523.137	5575.00	360.67	6378.147	360.67	360.673
C083	526.407	5636.00	361.27	6443.591	361.27	361.273
C084	529.692	5697.00	361.87	6509.035	361.87	361.873
C085	533.002	5758.00	362.47	6574.479	362.47	362.473
C086	536.327	5819.00	363.07	6639.923	363.07	363.073
C087	539.667	5880.00	363.67	6705.367	363.67	363.673
C088	543.032	5941.00	364.27	6770.811	364.27	364.273
C089	546.422	6002.00	364.87	6836.255	364.87	364.873
C090	549.827	6063.00	365.47	6901.699	365.47	365.473
C091	553.247	6124.00	366.07	6967.143	366.07	366.073
C092	556.682	6185.00	366.67	7032.587	366.67	366.673
C093	560.132	6246.00	367.27	7098.031	367.27	367.273
C094	563.597	6307.00	367.87	7163.475	367.87	367.873
C095	567.077	6368.00	368.47	7228.919	368.47	368.473
C096	570.572	6429.00	369.07	7294.363	369.07	369.073
C097	574.082	6490.00	369.67	7359.807	369.67	369.673
C098	577.607	6551.00	370.27	7425.251	370.27	370.273
C099	581.147	6612.00	370.87	7490.695	370.87	370.873
C100	584.702	6673.00	371.47	7556.139	371.47	371.473



ACKNOWLEDGMENT

STATE OF ARIZONA } ss.
COUNTY OF MARICOPA }

THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2013.

BY CHARLES DUBOFF FOR AND ON BEHALF OF RESERVE DEVELOPMENT COMPANY, LLC, A DELAWARE LIMITED LIABILITY COMPANY

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

ACKNOWLEDGMENT

STATE OF ARIZONA } ss.
COUNTY OF MARICOPA }

THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2013.

BY PASQUALE POUGASTRO FOR AND ON BEHALF OF PASQUALE POUGASTRO, AS TRUSTEE LOT DATED DECEMBER 3, 1994.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

BY ANTHONY POUGASTRO FOR AND ON BEHALF OF ANTHONY POUGASTRO, AS TRUSTEE LOT DATED DECEMBER 3, 1994.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

ACKNOWLEDGMENT

STATE OF ARIZONA } ss.
COUNTY OF MARICOPA }

THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2013.

BY CHARLES DUBOFF FOR 49 DYNAMIC, LLC, A DELAWARE LIMITED LIABILITY COMPANY, BY SAGAMORE RESERVE, LLC, A DELAWARE LIMITED LIABILITY COMPANY, BY SV RESERVE, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS MANAGING MEMBER, BY SAGAMORE DYNAMIC, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS MANAGING MEMBER

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

ACKNOWLEDGMENT

STATE OF ARIZONA } ss.
COUNTY OF MARICOPA }

THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2013.

BY CHARLES DUBOFF FOR AND ON BEHALF OF RESERVE 6 PARCEL, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, BY 49 DYNAMIC, LLC, A DELAWARE LIMITED LIABILITY COMPANY, BY SAGAMORE RESERVE, LLC, A DELAWARE LIMITED LIABILITY COMPANY, BY SV RESERVE, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS MANAGING MEMBER, BY SAGAMORE DYNAMIC, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS MANAGING MEMBER

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

ACKNOWLEDGMENT

STATE OF ARIZONA } ss.
COUNTY OF MARICOPA }

THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2013.

BY CHARLES DUBOFF FOR AND ON BEHALF OF RESERVE 6 PARCEL, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, BY 49 DYNAMIC, LLC, A DELAWARE LIMITED LIABILITY COMPANY, BY SAGAMORE RESERVE, LLC, A DELAWARE LIMITED LIABILITY COMPANY, BY SV RESERVE, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS MANAGING MEMBER, BY SAGAMORE DYNAMIC, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS MANAGING MEMBER

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

ACKNOWLEDGMENT

STATE OF ARIZONA } ss.
COUNTY OF MARICOPA }

THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2013.

BY CHARLES DUBOFF FOR AND ON BEHALF OF RESERVE 6 PARCEL, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, BY 49 DYNAMIC, LLC, A DELAWARE LIMITED LIABILITY COMPANY, BY SAGAMORE RESERVE, LLC, A DELAWARE LIMITED LIABILITY COMPANY, BY SV RESERVE, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS MANAGING MEMBER, BY SAGAMORE DYNAMIC, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS MANAGING MEMBER

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

TRACT	PURPOSE
1. PRIVATE STREET, P.U. E.V.A.L.	
2. GATE ROAD	
3. PRIVATE STREET, P.U. E.V.A.L.	
4. GATE ROAD	
5. PRIVATE STREET, P.U. E.V.A.L.	
6. GATE ROAD	
7. PRIVATE STREET, P.U. E.V.A.L.	
8. GATE ROAD	
9. PRIVATE STREET, P.U. E.V.A.L.	
10. GATE ROAD	
11. PRIVATE STREET, P.U. E.V.A.L.	
12. GATE ROAD	
13. PRIVATE STREET, P.U. E.V.A.L.	
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15. PRIVATE STREET, P.U. E.V.A.L.	
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68. GATE ROAD	
69. PRIVATE STREET, P.U. E.V.A.L.	
70. GATE ROAD	
71. PRIVATE STREET, P.U. E.V.A.L.	
72. GATE ROAD	
73. PRIVATE STREET, P.U. E.V.A.L.	
74. GATE ROAD	
75. PRIVATE STREET, P.U. E.V.A.L.	
76. GATE ROAD	
77. PRIVATE STREET, P.U. E.V.A.L.	
78. GATE ROAD	
79. PRIVATE STREET, P.U. E.V.A.L.	
80. GATE ROAD	
81. PRIVATE STREET, P.U. E.V.A.L.	
82. GATE ROAD	
83. PRIVATE STREET, P.U. E.V.A.L.	
84. GATE ROAD	
85. PRIVATE STREET, P.U. E.V.A.L.	
86. GATE ROAD	
87. PRIVATE STREET, P.U. E.V.A.L.	
88. GATE ROAD	
89. PRIVATE STREET, P.U. E.V.A.L.	
90. GATE ROAD	
91. PRIVATE STREET, P.U. E.V.A.L.	
92. GATE ROAD	
93. PRIVATE STREET, P.U. E.V.A.L.	
94. GATE ROAD	
95. PRIVATE STREET, P.U. E.V.A.L.	
96. GATE ROAD	
97. PRIVATE STREET, P.U. E.V.A.L.	
98. GATE ROAD	
99. PRIVATE STREET, P.U. E.V.A.L.	
100. GATE ROAD	

N.A.O.S. REQUIREMENTS TABLE (SHOWN IN SQUARE FEET)

NAO TYPE	TOTAL	PARCEL 1	PARCEL 2	PARCEL 3	PARCEL 4	PARCEL 5
ACRES	76.00					
UNDEVELOPED	2,319,000	367,780	89,317	1,344,825	247,838	348,838
REVEGETATION	892,429	421,888	62,442	132,852	188,878	176,875
TOTALS	3,211,429	789,768	151,759	1,477,677	436,816	525,813

TOTAL N.A.O.S. REQUIRED 76.00 ACRES = 3,211,429 SF.
TOTAL N.A.O.S. PROVIDED TO BE PROVIDED 76.00 ACRES = 3,211,429 SF.
REMARKS: NAO PROVIDED FOR LOTS 1-16 AND PARCELS 1 & 2 TO BE DESIGNATED WITH FUTURE SITE PLANS.

NOTES:

- THE VINEYTS DESIGNATED AS TRACTS "A" THROUGH "I" AND "J" AND PRIVATE STREETS TO BE OWNED AS COMMON AREA BY THE HOME OWNERS ASSOCIATION AND MAINTAINED BY THE HOME OWNERS ASSOCIATION FOR THE SIERRA RESERVE AND THE GOLF CLUB SCOTTSDALE, RESPECTIVELY. AFTER THIS PLAT IS RECORDED, THE CITY OF SCOTTSDALE WILL NOT ACCEPT DEDICATION OF THE STREETS TO THE PUBLIC TO RELIEVE THE HOME OWNERS ASSOCIATION OF STREET MAINTENANCE RESPONSIBILITIES UNLESS ALL STREET IMPROVEMENTS AND RIGHTS-OF-WAY MEET APPLICABLE CITY STANDARDS. AN ACCESS AND MAINTENANCE AGREEMENT WILL BE ADDED TO AND SIGNED BY BOTH THE HOME OWNERS ASSOCIATION AND THE GOLF CLUB SCOTTSDALE.
- THIS PLAT IS LOCATED WITHIN THE CITY OF SCOTTSDALE WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
- CONSTRUCTION WITHIN PUBLIC UTILITY EASEMENTS, EXCEPT BY PUBLIC UTILITIES AND UTILITY COMPANIES, SHALL BE LIMITED TO WOOD, NINE OR REMOVABLE, SECTION FENCING AND MUST OTHERWISE CONFORM WITH ALL APPLICABLE COVENANTS, CONDITIONS AND RESTRICTIONS.
- ELECTRIC LINES TO BE CONSTRUCTED UNDERGROUND AS REQUIRED BY THE ARIZONA CORPORATION COMMISSION GENERAL ORDER U-28.
- THE MAINTENANCE OF EASEMENTS WHICH LIE WITHIN THE BOUNDARY OF A SUBDIVISION LOT IS THE RESPONSIBILITY OF EACH INDIVIDUAL LOT OWNER WHICH MAINTENANCE OBLIGATIONS MAY, BY SEPARATELY RECORDED INSTRUMENTS, BE ASSIGNED BY THE PROPERTY OWNERS ASSOCIATION.
- SUBJECT TO NOTE 1, THOSE AREAS DESIGNATED AS TRACTS "A" THROUGH "I", "J" THROUGH "N", AND "O" THROUGH "Y", "Z" AND "AA" THROUGH "AV" AND "AW", ARE TO BE CONVEYED AS COMMON AREA TO THE HOME OWNERS ASSOCIATION AND MAINTAINED BY THE HOME OWNERS ASSOCIATION IN THE ORDINARY COURSE AND SHOULD NOT BE ACCEPTED FOR MAINTENANCE OR IMPROVEMENT BY THE CITY OF SCOTTSDALE WITHOUT EXPRESS ACTION BY THE CITY COUNCIL. BEFORE ANY IMPROVEMENT IS ACCEPTED, IT SHALL MEET CITY STANDARDS. FAILURE TO MAINTAIN THE DESIGNATED COMMON AREAS WOULD RESULT IN A CIVIL ACTION BROUGHT BY THE CITY FOR COSTS INCURRED BY THE CITY FOR SAID MAINTENANCE.
- AREA WITHIN THE RIGHT DISTANCE EASEMENT (R.D.E.) IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 3 FEET. TREES WITHIN THE RIGHT DISTANCE EASEMENT SHALL HAVE A CANOPY THAT REIGNS AT 7 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
- EACH OF LOTS 1-12 CONTAIN A WARNING BUILDING CONSTRUCTION ENVELOPE APPROVED BY THE CITY OF SCOTTSDALE'S DEVELOPMENT REVIEW BOARD. THE BUILDING ENVELOPE EXHIBIT IS ON FILE AT THE CITY OF SCOTTSDALE. NO BUILDINGS SHALL BE LOCATED OUTSIDE OF THE CONSTRUCTION ENVELOPE EXCEPT AS MAY BE APPROVED BY THE CITY OF SCOTTSDALE AND THE SIERRA RESERVE DESIGN COMMITTEE.
- REFERENCE TO THE "HOME OWNERS ASSOCIATION" REFER TO THE HOME OWNERS ASSOCIATION CREATED PURSUANT TO THE APPLICABLE COVENANTS, CONDITIONS AND RESTRICTIONS.
- THE HOME OWNERS ASSOCIATION FOR SIERRA RESERVE IS RESPONSIBLE FOR THE CONSTRUCTION AND MAINTENANCE OF THE FENCIBLE WALL, DRAINAGE STRUCTURES AND FACILITIES, AND DRAINAGE EASEMENT AREAS.
- ALL EASEMENTS SHOWN ON THIS PLAT AND/OR DEDICATED HEREIN ARE NON-EXCLUSIVE.
- CERTAIN EXISTING PUBLIC AND PRIVATE EASEMENTS FOR THE RESERVE, RECORDED IN BOOK 282, PAGE 45, M.C.R., THE GOLDEN BROWN PRAIRIE PLAIN BARNEN UNIT THREE, RECORDED IN BOOK 197, PAGE 25, M.C.R., ARE OR WILL BE ABANDONED BY OTHERS.

LEGEND

- NOTE: CUSTOM LOTS (1-16) AND PARCELS 1 AND 2.
- 1/2" REBAR OR 3/4" NAIL WITH CAP OR TAG AFFIXED WITH WOODPATEL L327239 TO BE SET AT ALL PROPERTY CORNERS UPON CITY APPROVAL OF THE PLAT AND PRIOR TO THE PLAT BEING RECORDED.
 - MASS GRADED LOTS (180-118 & 120-180) UPON COMPLETION OF GRADING, 1/2" REBAR OR 3/4" NAIL TO BE SET AT ALL PROPERTY CORNERS AFFIXED WITH CAP OR TAG BEARING THE REGENERATION NUMBER OF THE REGISTERED LAND SURVEYOR (R.L.S.) RESPONSIBLE FOR THEIR PLACEMENT. IF SAID RESPONSIBLE R.L.S. IS NOT THE UNDERSIGNED R.L.S., THEN RESPONSIBLE R.L.S. MUST PREPARE AND RECORD A RECORD OF SURVEY REFLECTING SAID MONUMENTS.
 - SURVEY MONUMENT FOUND AS NOTED
 - SET 1/2" REBAR WITH CAP OR TAG WOODPATEL L327239
 - SURVEY MONUMENT SET BRASS CAP FLUSH (OR OTHER MONUMENT, TYPE AS INDICATED ON THE ASSOCIATED MONUMENT PLANS) AT THE TIME OF CONSTRUCTION. MONUMENT TO BE STAMPED WITH THE YEAR AND THE REGENERATION NUMBER OF THE RESPONSIBLE REGISTERED LAND SURVEYOR (R.L.S.). IF SAID RESPONSIBLE R.L.S. IS NOT THE UNDERSIGNED R.L.S., THEN RESPONSIBLE R.L.S. MUST PREPARE AND RECORD A RECORD OF SURVEY REFLECTING SAID MONUMENTS.
 - CORNER OF THIS SUBDIVISION SET SURVEY MONUMENT W/ TAG OR CAP, WOODPATEL L327239, UNLESS OTHERWISE NOTED
 - IDENTIFICATION
 - FO. FENCIBLE
 - A.E. ACCESS EASEMENT
 - R.E. ROADWAY EASEMENT
 - S.E. SEWER EASEMENT
 - M.C. MARICOPA COUNTY
 - M.C.A. MARICOPA COUNTY RECORDS
 - C.L.S. GENERAL LAND OFFICE
 - P.U.E. PUBLIC UTILITY EASEMENT
 - E.A. EXISTING
 - R.O.W. RIGHT-OF-WAY
 - V.M. VEHICLE NON ACCESS EASEMENT
 - E.S.V.A.L. EMERGENCY AND SERVICE-TYPE VEHICLE ACCESS EASEMENT
 - T.A.G. TEMPORARY ACCESS EASEMENT
 - P.A.E. PUBLIC ACCESS EASEMENT
 - S.E.E. SIGHT DISTANCE EASEMENT
 - S.C.E. SIGHT CORRIDOR EASEMENT
 - S.M.P. S.A.G. NON-MOTORIZED PUBLIC TRAIL ACCESS EASEMENT
 - M.U.P.T.E. MULTI-USE PUBLIC TRAIL EASEMENT
 - M.U.E. MULTI-USE TRAIL EASEMENT
 - S.L.E. SEWER LINE EASEMENT
 - N.A.O.S. NATURAL AREA OPEN SPACE EASEMENT
 - N.E. WATER LINE EASEMENT
 - N.W. WATER EASEMENT
 - B.C. BOULDER EASEMENT
 - B.K. BUSH
 - P.S. PAGE
 - D.C. DOCUMENT
 - U.E. UTILITY EASEMENT
 - L.S. LINE DATA IN LINE TABLE
 - C.B. CURVE DATA IN CURVE TABLE
 - E.C.B. EASEMENT CURVE
 - C.B. CURVE DATA IN CURVE TABLE
 - E.B. EASEMENT LINE DATA IN LINE TABLE
 - B.B. BOULDER EASEMENT LINE DATA IN LINE TABLE
 - SUBDIVISION BOUNDARY
 - EASEMENTS AS NOTED
 - SECTION LINE
 - RIGHT OF WAY
 - CONTINUATION

NATIVE PLANT PLAN AND PERMIT NUMBER



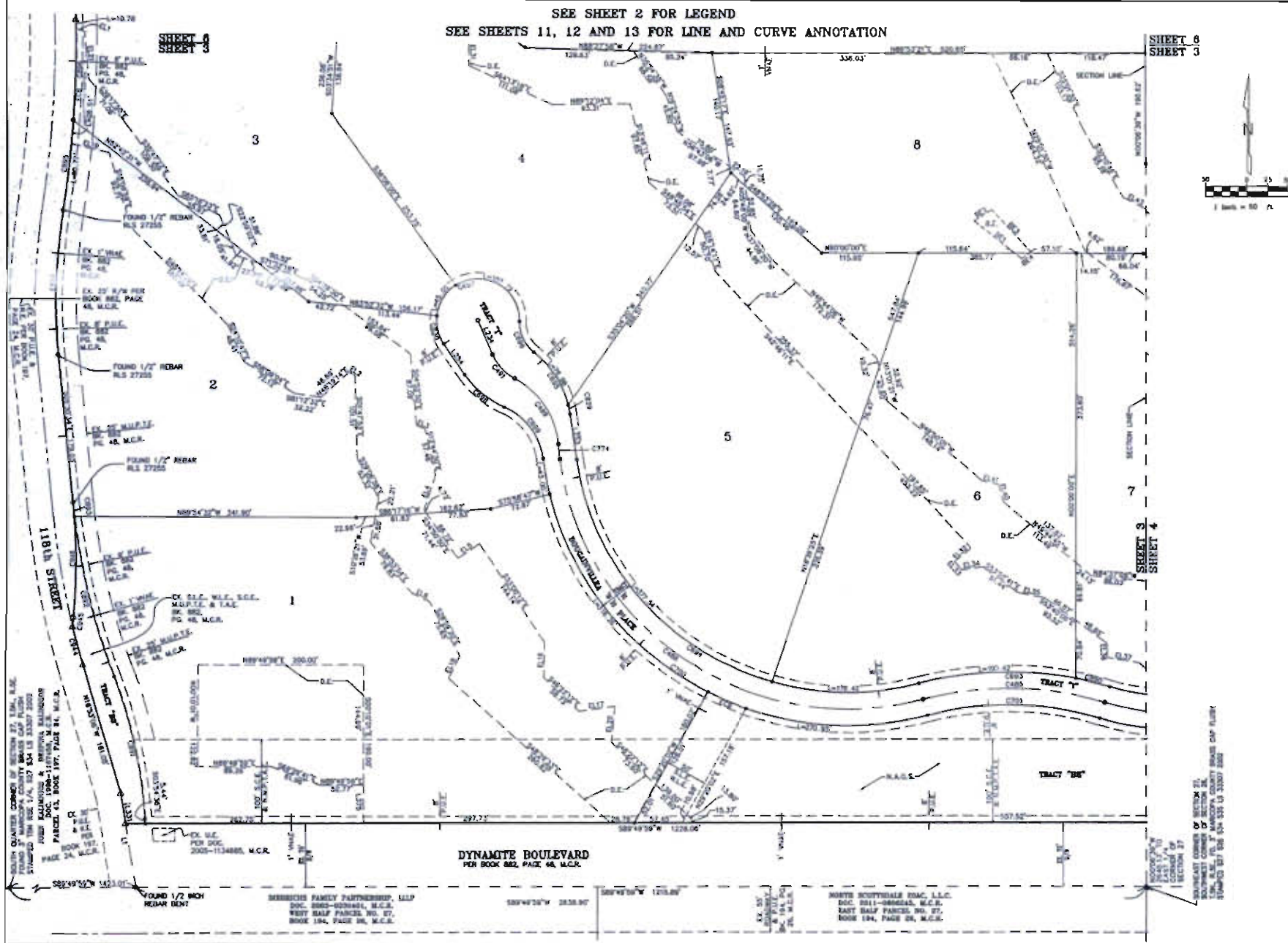
WOOD/PATEL

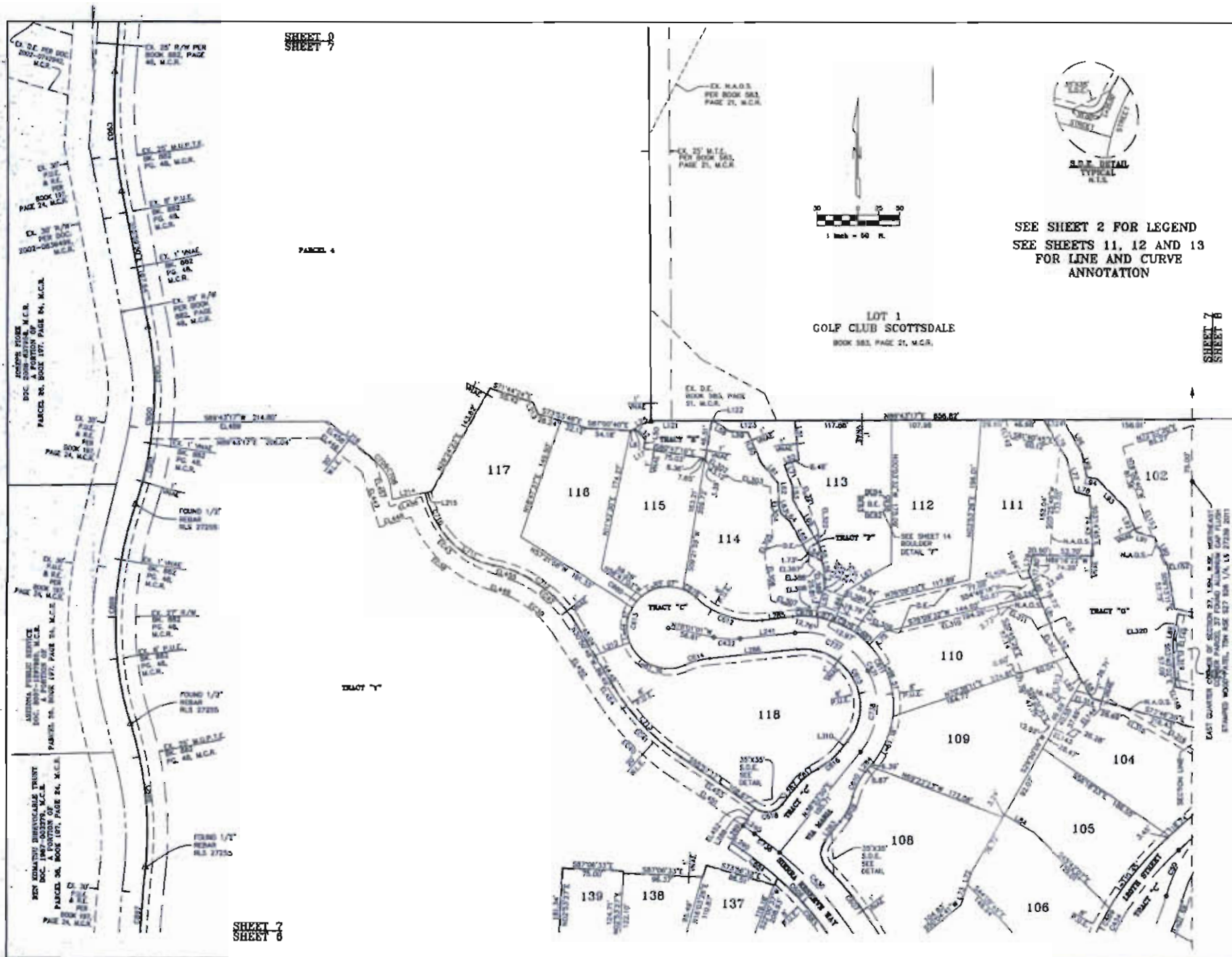
Civil Engineer
Professional Seal
No. 12345
Exp. 12/31/2015

SIERRA RESERVE

CHECKED BY: [Signature]
DATE: 12/12/13
BY: [Signature]
DATE: 12/12/13
SHEET: 2 OF 14

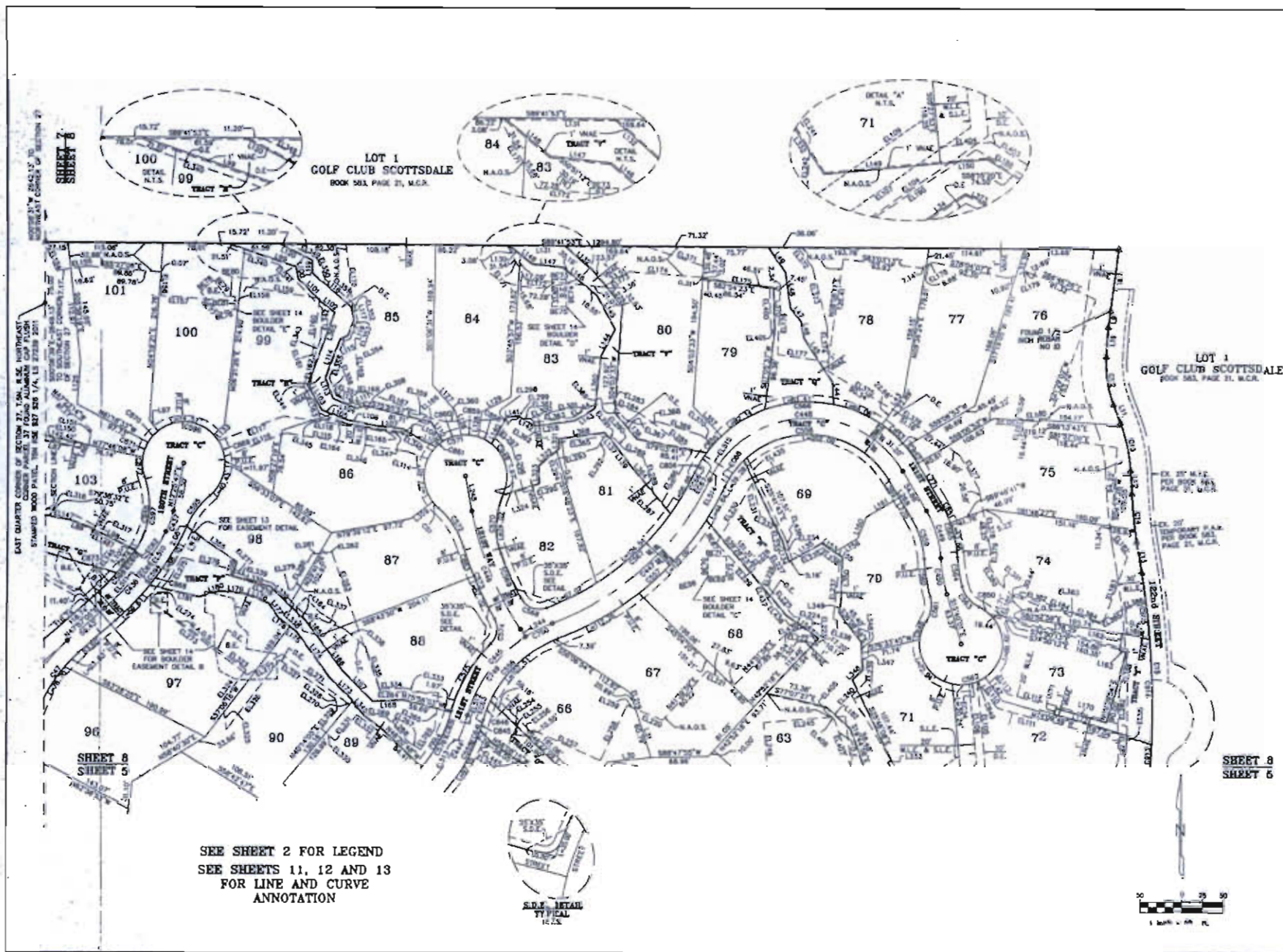
SEE SHEET 2 FOR LEGEND
SEE SHEETS 11, 12 AND 13 FOR LINE AND CURVE ANNOTATION





SIERRA RESERVE
FINAL PLAT

WOOD/PATEL
Civil Engineering
Land Surveyors
2001 West Northshore
Suite 200
Phoenix, AZ 85028
Phone: (602) 998-8888
Fax: (602) 998-8889
SIERRA RESERVE
CHECKED BY: [Signature]
DATE: 12-11-10
7 OF 14

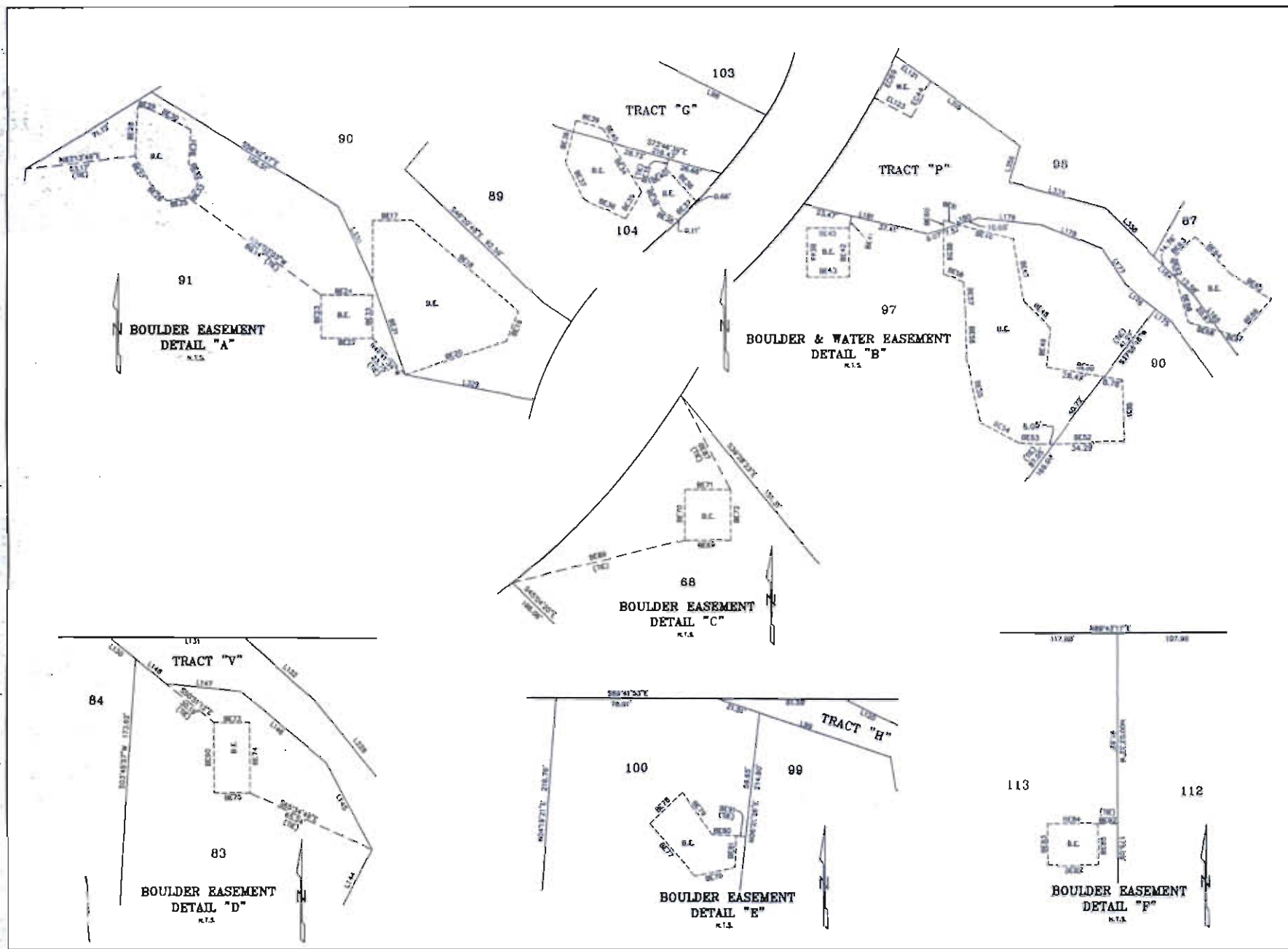


SIERRA RESERVE
FINAL PLAT



WOOD/PATEL
Civil Engineer
License No. 12345
Surveyor License No. 12345
SIERRA RESERVE
CHECKED BY: [Signature]
DATE: 11-17-2011
JOB NUMBER: 11-17-2011
SHEET 8 OF 14

336-12-4 17-2N-2011 11-17-2011 12-AB-2010 6-2N-2010

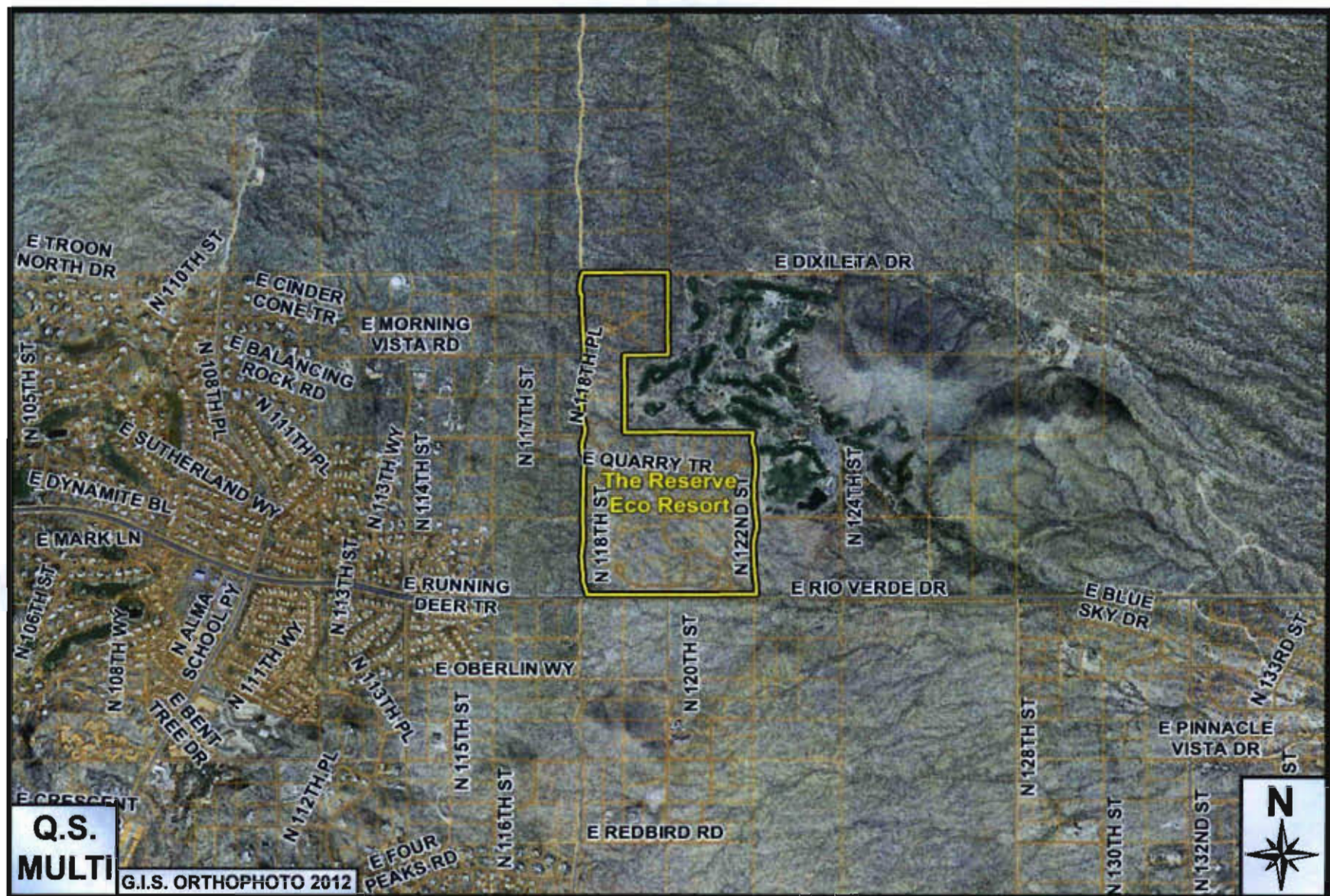


SIERRA RESERVE
FINAL PLAT

WOOD/PATEL
Civil Engineers
Surveyors
1000 West Northshore
Suite 100
Phoenix, AZ 85021
Phone (602) 998-8888
Fax (602) 998-8888

SIERRA RESERVE

DRAWN BY: JWP/JWP
CADD TECHNICIAN: JWP/JWP
SCALE: AS SHOWN
DATE: 8-27-12
JOB NUMBER: 133201
SHEET: 14 OF 14



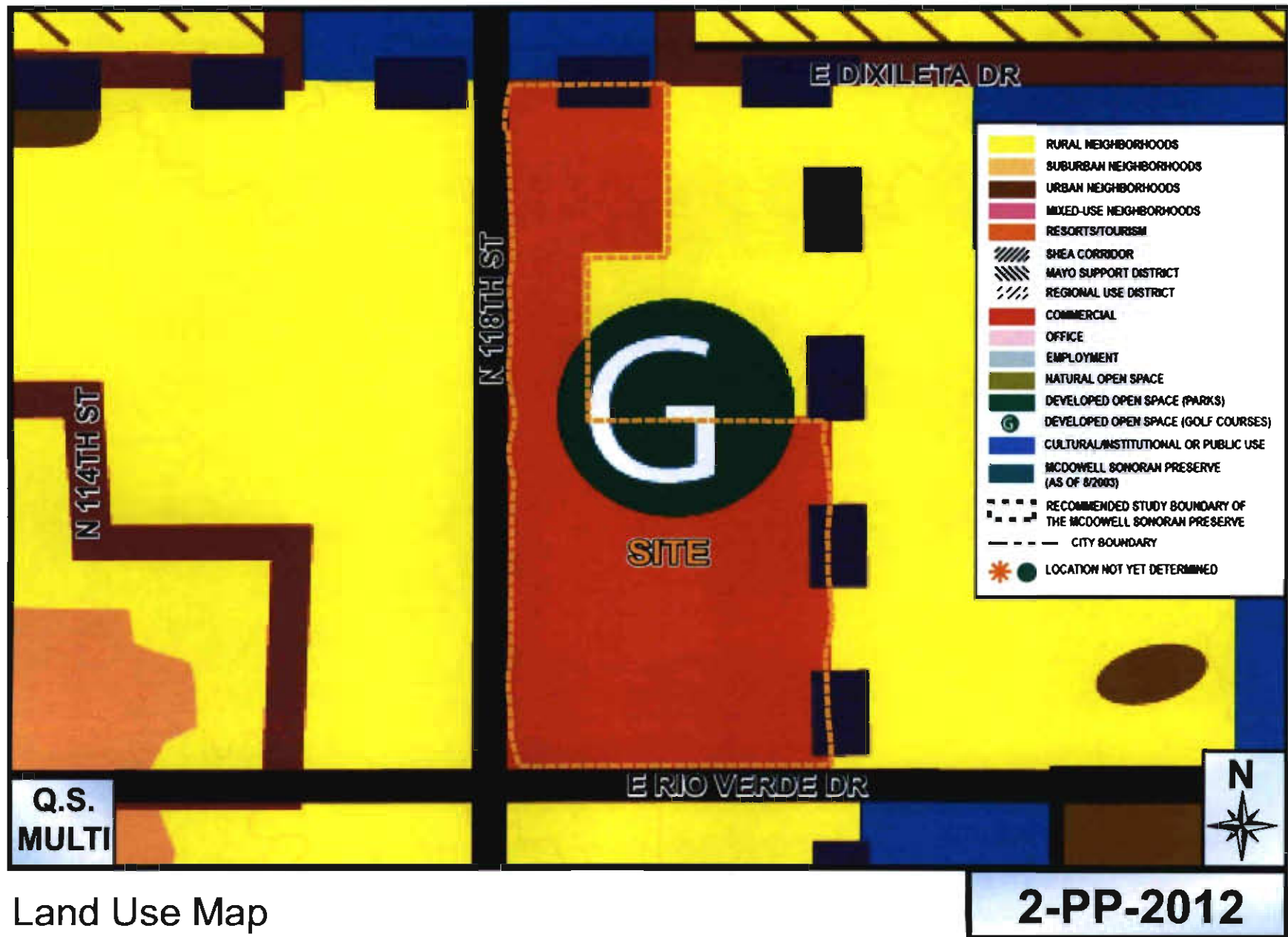
Q.S.
MULTI

G.I.S. ORTHOPHOTO 2012

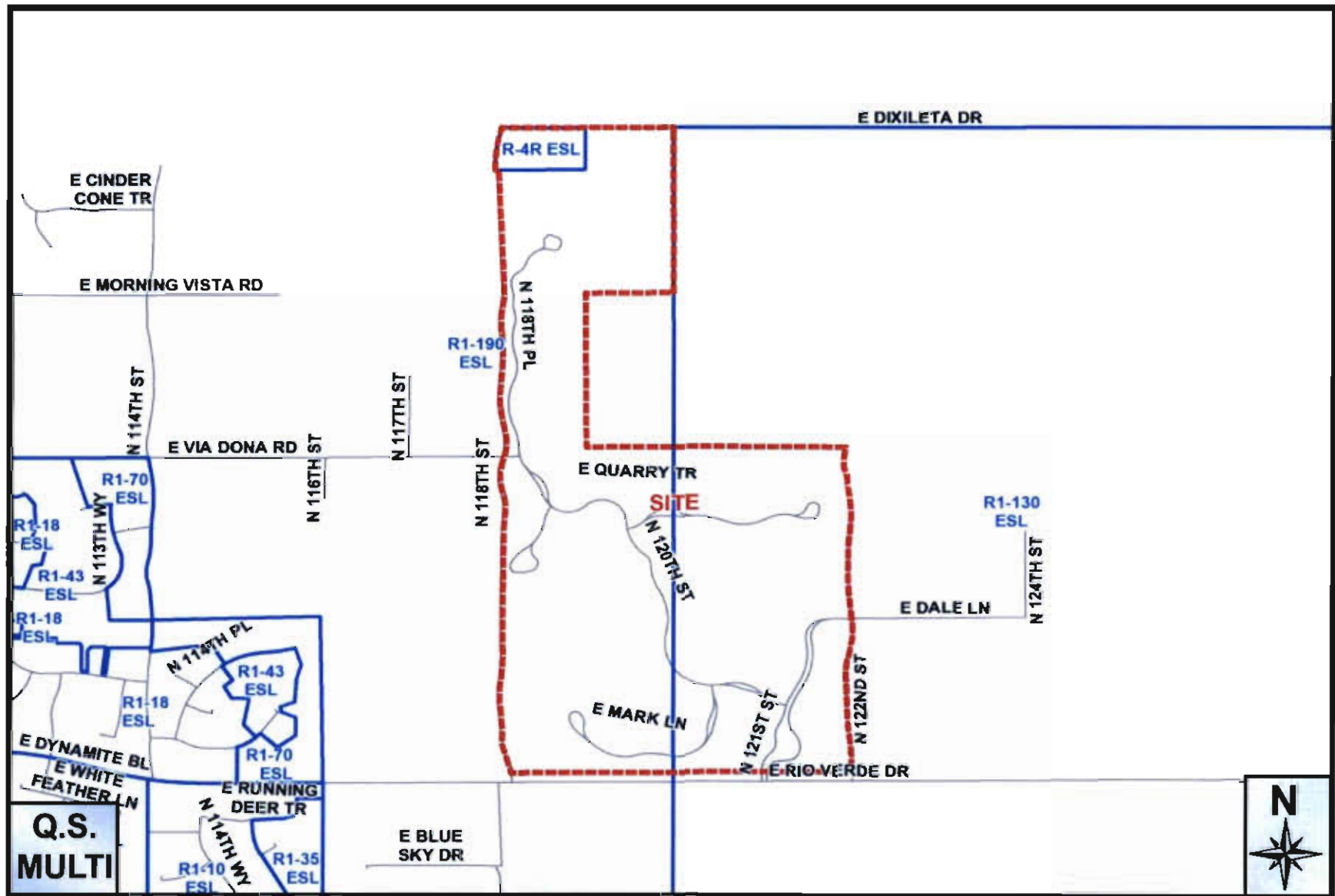
The Reserve Plat

2-PP-2012

ATTACHMENT #3

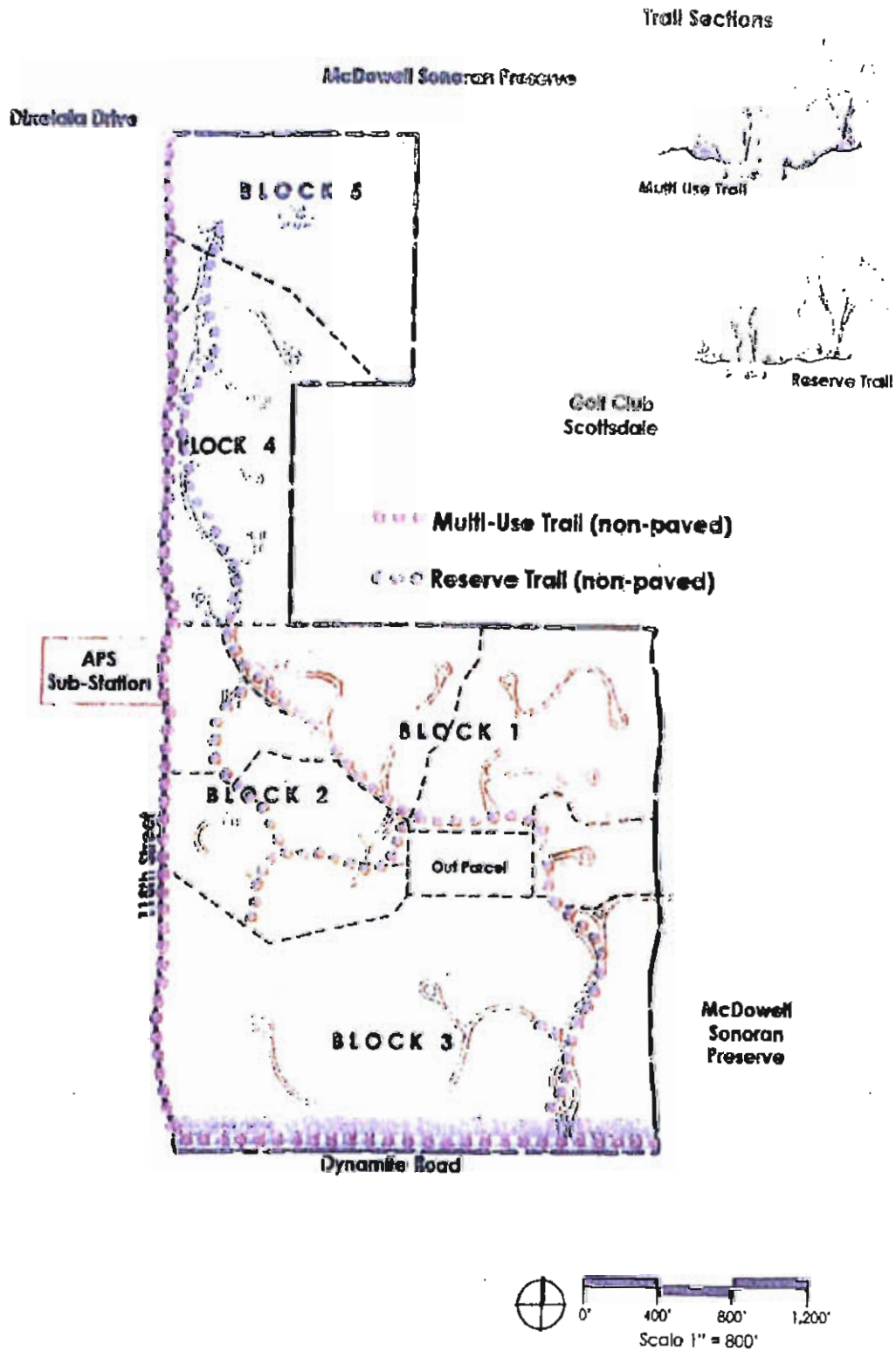


Land Use Map

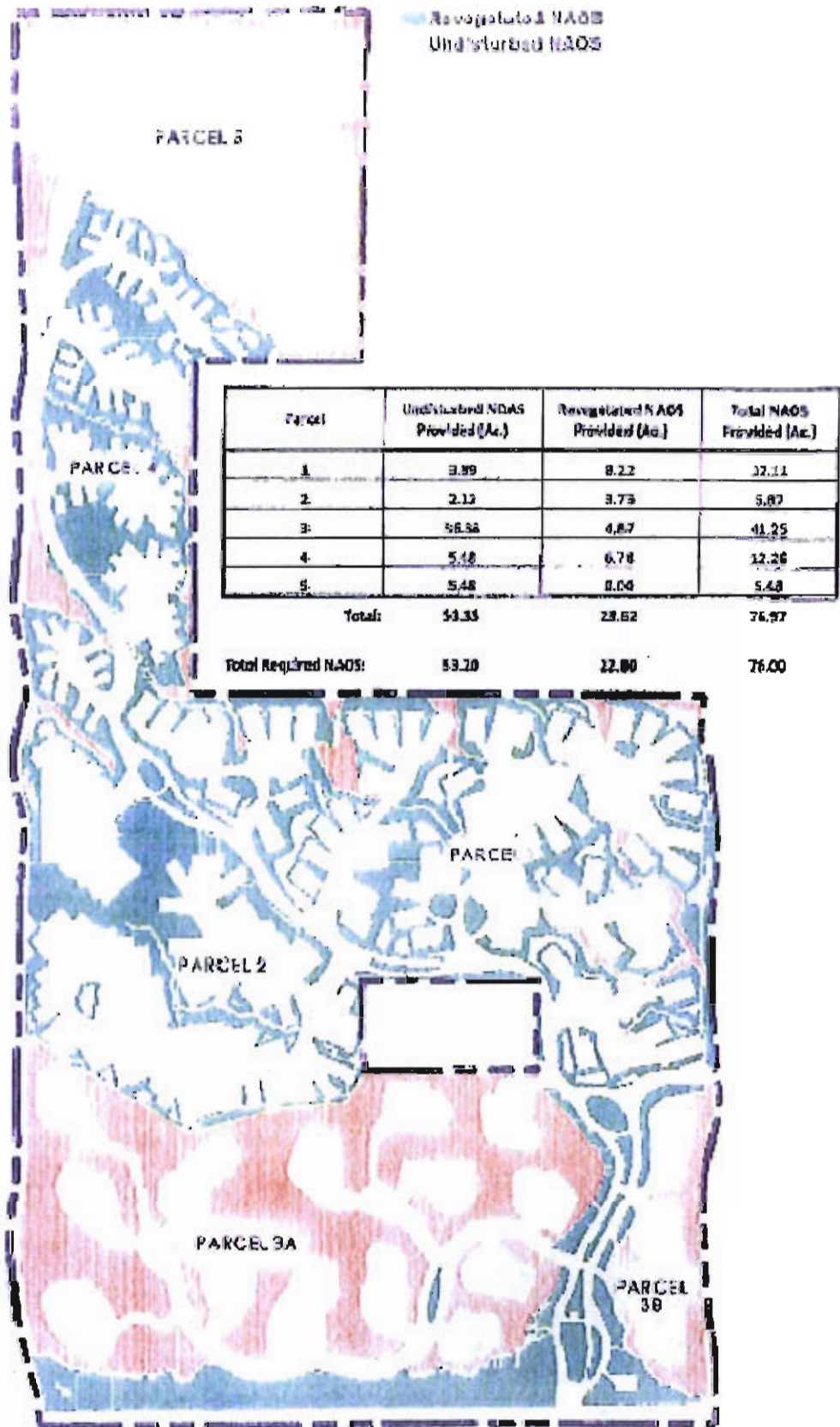


Zoning Map

2-PP-2012



The Reserve - Preliminary Plat **Trails Master Plan**



I. Introduction

A. Vision

The Reserve Eco-Resort will be to the Scottsdale desert what noted eco-lodges are to various rain forests and other sustainable natural environments around the world.

The Vision-

Create the most environmentally sensitive and authentic Sonoran Desert lodging experience and integrated community in Arizona, celebrating the City of Scottsdale's McDowell Sonoran Preserve. A truly unique, "rural" resort experience that is residential in character and consistent with the Dynamite Foothills Character Area.

Imagine a five star environmentally sensitive resort and corporate retreat nestled against some of the most beautiful untouched desert environment in the Southwest. The concept is to merge luxury with sustainability while emphasizing wellness and intellectual and physical exercise for its guests and residents.

Lyle Anderson owns over 200 acres of land nestled between the Golf Club of Scottsdale and the McDowell-Sonoran Preserve which creates the perfect opportunity to create a world-renowned desert eco-lodge and corporate retreat (e.g. Aspen Institute) overlooking such a pristine preserve.



There is a significant rise in eco-travel and the international trend of travelers that pursue destinations that enhance nature rather than destroy it.

The Eco-Resort will incorporate advice from local historians and consultants such as Marshall Trimble to illustrate the true history and nature of the land into the Eco-Resort facility and its operations. It will use advisors with sensitive, environmental design expertise to help ensure limited effects on the environment and the surrounding area. The Reserve is a member of the International Ecotourism Society, Sustainable Travel International, US Green Building Council and the Sustainable Building Industry Council.

The Eco-Resort will create a new standard for environmental excellence in our own backyard. After years of thought and planning, and derived from his company's design legacy, Lyle Anderson is preparing to bring The Reserve to life. The Eco-Resort community represents the "next generation" of the Lyle Anderson communities, addressing population trends, market conditions and consumer needs and preferences.

B. Visionary

Lyle Anderson, a resident of the Northeast Valley, is internationally known for his superior design and impeccable attention to detail in everything he builds. His desert communities feature the preservation and use of native vegetation, scenic vistas, natural area open space and hillside protection. Award winning examples are on display at Desert Highlands and Desert Mountain. Such achievements have earned him a spot in the Scottsdale Hall of Fame and he has won numerous design and environmental awards.



Just as Desert Highlands was a pioneer for environmentally sensitive master-planned communities, so too will The Reserve be the same for eco-resort communities in Arizona. For more than 25 years Lyle Anderson has been committed to delivering exceptional lifestyle experiences in extraordinarily beautiful settings. Mr. Anderson has always strived to maximize the value of his projects by positioning each at the top of its particular market. His steadfast commitment to delivering quality in all that he does and in every aspect of his operations, whether it is the world-class equestrian facilities at Las Campanas, sport fishing at Hokulua or tennis and guided hikes at Superstition Mountain-remain his guiding principles and ensure the finest lifestyle experiences.



This reputation has been achieved in part by engaging talented and experienced planners, architects and landscape designers from around the world. His properties are distinct sanctuaries, blending superior quality amenities with neighborhoods of the highest quality design. While Lyle Anderson works tirelessly to find the most alluring real estate in the world, he also is dedicated to working in concert with the land and the environment. In addition, he strives to be engaged with the citizens wherever he builds.



Lyle Anderson is committed to quality- from community design to amenities built for the way people live.



INTRODUCTION - VISION & VISIONARY -



ATTACHMENT #8



2-PP-2012
2nd: 7/6/2012

I. Introduction (Cont'd)

C. The Reserve: The Eco-Resort for Scottsdale

This will be Scottsdale's first "Eco-Resort" reminiscent of Dunton Hot Springs near Telluride, Longitude 131 near Ayers Rock in Australia or Big Sur California's Post Ranch Inn. The Reserve, a member of the International Ecotourism Society and Sustainable Travel International. The Reserve Eco-Resort will elevate Scottsdale lodging diversity with an ecotourism trophy, celebrating the area's Western heritage that will create new reasons for sophisticated travelers to visit the area.

Combine Longitude 131 near Ayer's Rock in Australia, Big Sur's Post Ranch Inn, Lapa Rios in Costa Rica and Dunton Hot Springs near Telluride and one can begin to understand the aspirations for The Reserve. Social awareness. A sincere environmental ethic and example. A commitment to wildlife. Lyle Anderson pioneered sensitive desert design in the 1980s. This time, he is turning his attention to a resort plan that will create an experience unlike any other in Scottsdale or Arizona.

The 213 acre Eco-Resort Campus features a variety of integrated uses. Including the Resort itself, the Eco-Resort Campus includes 180 Resort keys, 127 Eco-Resort villas, and 17 Resort Estates. By way of comparison, north Scottsdale's Four Seasons Resort offers 210 rooms and 44 Residence Club Casitas on approximately 45 acres.

Although technically not part of the approval application there may be financial and environmental relationship with the nearby Golf Club of Scottsdale. Combined, the two properties could provide over 500 acres for a spectacular eco-lodge and vacation experience.

A wildlife consultant or organization will be retained to animate the property with dramatic touches and an a commitment to nature.

Heritage Consultant and Arizona State Historian Marshall Trimble will provide recommendations on property accents and stories to help further define the experience.

The Eco-Resort will not be visible from Dynamite Road, set back considerably, preserving the existing single-family home profile along the scenic corridor. It will include a world-class spa, health and wellness center that will incorporate individual wellness needs/core while allowing the guests and residents to feel close to nature and the beauty of the Sonoran Preserve. The Reserve Eco-Resort will also house a secluded state of the art think-tank conferencing facility that will cater to community, business and intellectual leaders. This venue will also function as an integral part of the residents' lifestyle program focusing on "Life-Long-Learning".

Scottsdale's first and only eco-resort, proposed by the Lyle Anderson Companies, will protect, preserve and promote the natural environment and the ecosystem of its Sonoran Desert setting, as well as Scottsdale's heritage. Our goal is to ensure that the natural and cultural environment, as well as the new eco-resort itself, will be managed and operated according to the recognized standards, practices and guidelines in sustainable tourism, environmental conservation, biodiversity protection and cultural heritage preservation.

- Promote conservation and recycling
- Educate guests on the flora and fauna unique to the Sonoran Desert
- Provide the opportunity for guests to learn about the rich Western heritage of Scottsdale
- Promote preservation of our Sonoran Desert ecosystem and natural resources
- Allow guests the opportunity to participate in protective and convalescent care programs for indigenous wildlife and vegetation.



Sustainable Building Technology

Sustainable building techniques and materials will be used in order to reduce the carbon footprint. The focus will be on natural resource conservation and minimizing any impacts on the surrounding Sonoran Desert. A priority will be placed on using alternative energy sources. Irrigation water will be supplemented or replaced where possible with reclaimed water. Native desert plants will be salvaged from the site and reused in the landscaping. Natural areas that were damaged from the Rio Fire in 1995 will be augmented with native plants.



INTRODUCTION - THE RESERVE: THE ECO-RESORT - FOR SCOTTSDALE



I. Introduction (Cont'd)

Sustainable Operations & Programs

Resort operations will be structured to minimize the carbon impact, conserve natural resources and promote recycling.

Resort programs will promote environmental awareness and be built around a healthy, nature-focused lifestyle. Education programs will also promote life-long learning focused on the ecology of our Sonoran Desert and the history of our Southwestern culture.

Our guests will be able to experience the beauty of the natural desert in the McDowell Sonoran Preserve and Tonto National Forest. Programs will also make use of the many resources in the Phoenix metro-area such as museums and botanical gardens.

The educational and interactive experiences of the eco-resort will be complemented with alliances with such groups as Liberty Wildlife where birds and animals are rescued, rehabilitated and released back into the wild. Tours of their offsite facilities and releases are truly unique experiences.

Guests will have many recreational opportunities that allow them to experience the outdoor lifestyle enjoyed in the Southwest. World-class spa and fitness programs will promote a healthy lifestyle.



D. Ecotourism

The International Ecotourism Society (TIES), founded in 1990, describes ecotourism as:

"Responsible travel to natural areas that conserves the environment and improves the well-being of local people."

Ecotourism appeals to ecologically and socially conscious individuals. Generally it focuses on volunteering, personal growth and environmental responsibility. Ecotourism typically involves travel to destinations where flora, fauna, and cultural heritage are the primary attractions. One of the goals of ecotourism is to offer tourists insight into the impact of human beings on the environment, and to foster a greater appreciation of natural habitats.

Tourism is an engine of Scottsdale's economy. Ecotourism is expected to outpace the growth of other tourism.

- Sun-and-sand resort tourism has now "matured as a market" and its growth is projected to remain flat. In contrast, "experiential" tourism - which encompasses ecotourism, nature, heritage, cultural and soft adventure tourism, as well as sub-sectors such as rural and community tourism - is among the sectors expected to grow most quickly over the next two decades. (Source: World Tourism Organization)
- The United Nations Environment Programme and Conservation International indicate that most of tourism's expansion is occurring in and around the world's remaining natural areas. (Source: Costas Christ, "Ecotourism is Transforming the Travel Industry," Maine Center for Economic Policy, June 24, 2005)
- In 2004, ecotourism/nature tourism was growing globally 3 times faster than the tourism industry as a whole. (Source: World Tourism Organization)

The Eco-Resort at The Reserve plans to:

- Design landscape and buildings blending with the Sonoran desert.
- Respect indigenous Southwestern design themes.
- Educate guests and residents about the Sonoran desert.
- Share Southwestern culture.
- Encourage hands-on participation by guests and residents in preservation of the Sonoran desert.



The Eco-Resort at The Reserve embraces ecotourism to share with its guests and residents an authentic experience of the Sonoran desert and Southwestern culture. The Eco-Resort will expand tourism offerings in the Scottsdale, Arizona market.



INTRODUCTION ECOTOURISM



I. Introduction (Cont'd)



Fernando de Noronha, Brazil



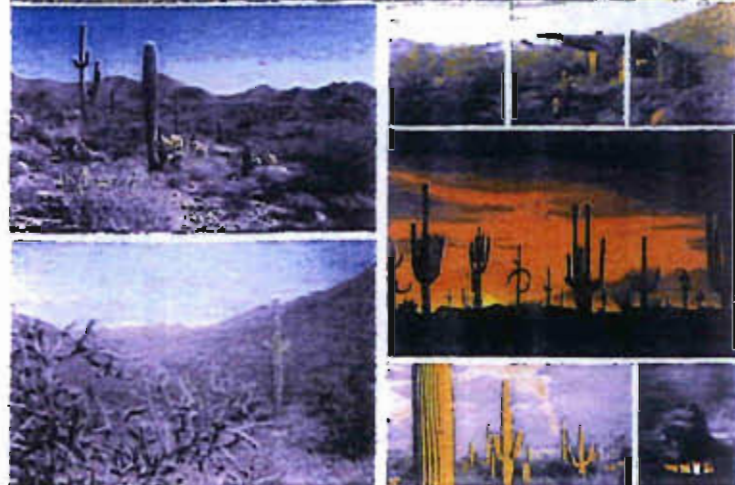
Tapaniti National Park, Costa Rica



Chitwan National Park, Nepal



Masai Mara Park Reserve, Kenya

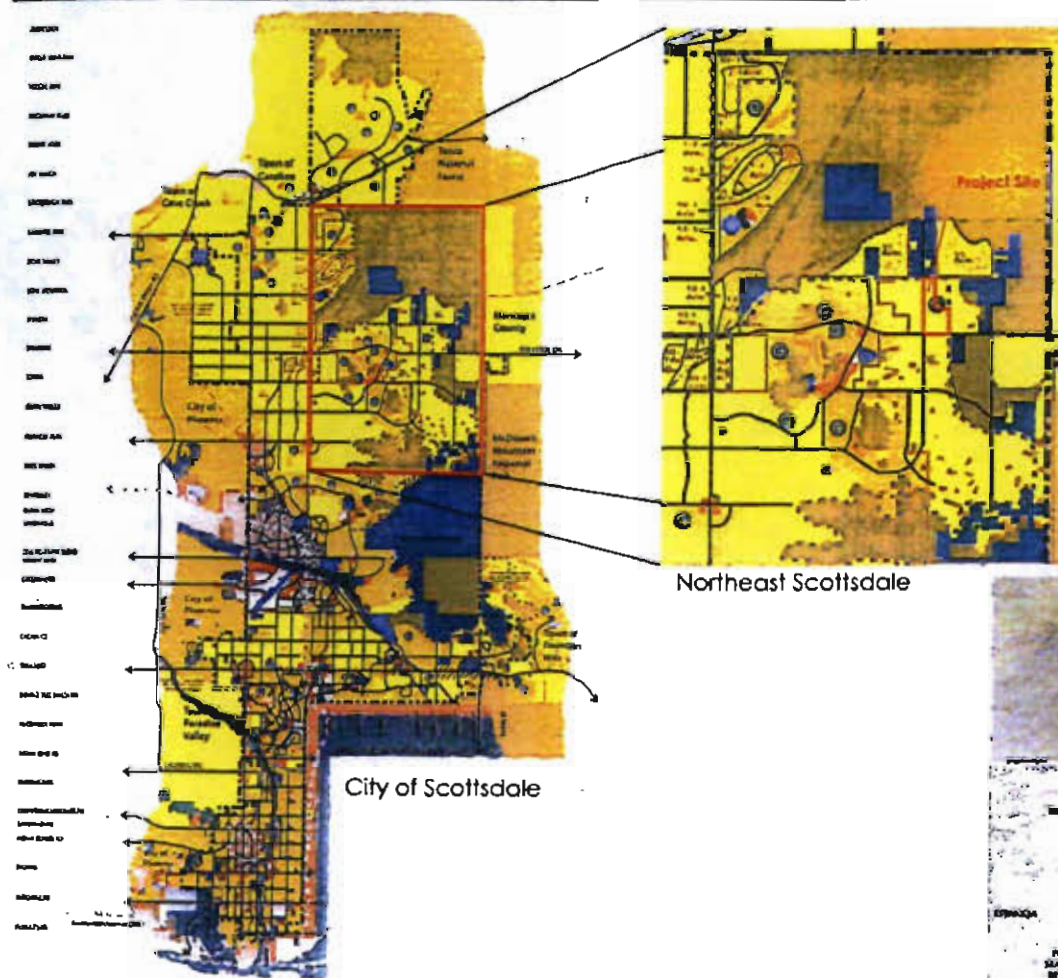


McDowell Sonoran Preserve, Scottsdale



INTRODUCTION ECOTOURISM

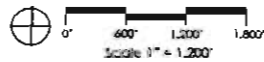
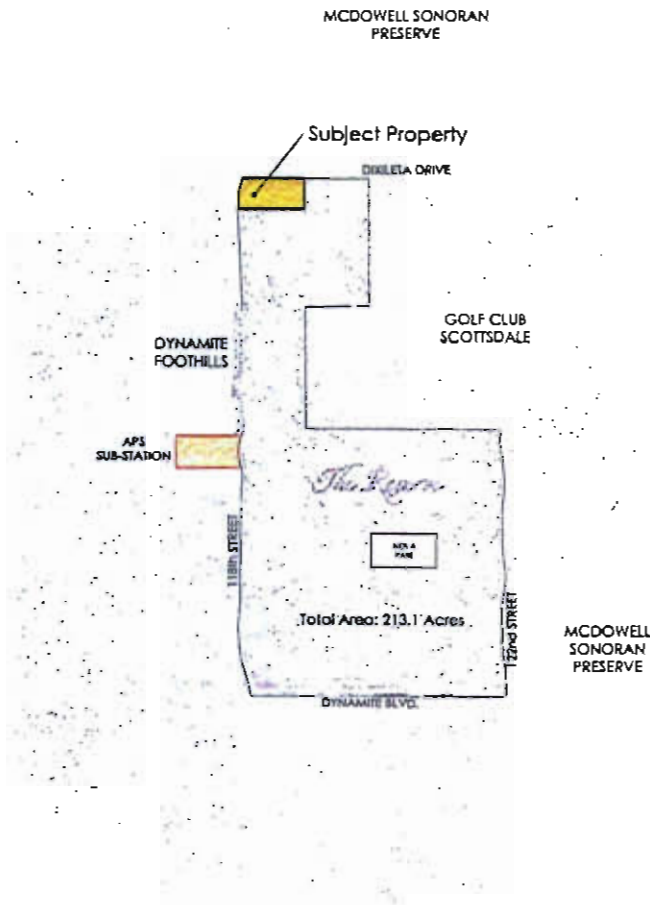




II. Existing Conditions (Cont'd)

B. Context Aerial

As can be seen by the aerial, the Eco-Resort at the Reserve encompasses 213.1 Acres. The Western Boundary sits along 118th Street (currently a dirt road). Along the western boundary the Dynamite Foothills subdivision, the APS sub-station, and other individual land owners can be found. The northern boundary abuts Dixileta Drive (currently a dirt road) and the McDowell Sonoran Preserve. The McDowell Sonoran Preserve provides the perfect neighbor for the Eco-Resort at Scottsdale. The eastern border of the Eco-Resort at Scottsdale sits adjacent to the Golf Club Scottsdale, a world class championship golf club. 122nd street provides the eastern boundary along the southern portion of the project, which also is the boundary for the McDowell Sonoran Preserve. The Southern boundary of the Eco-Resort at Scottsdale is Dynamite Boulevard. There are ample views to the South and East to both the McDowell Mountains to the South, and distant landmarks to the east like Four Peaks and Weavers Needle.



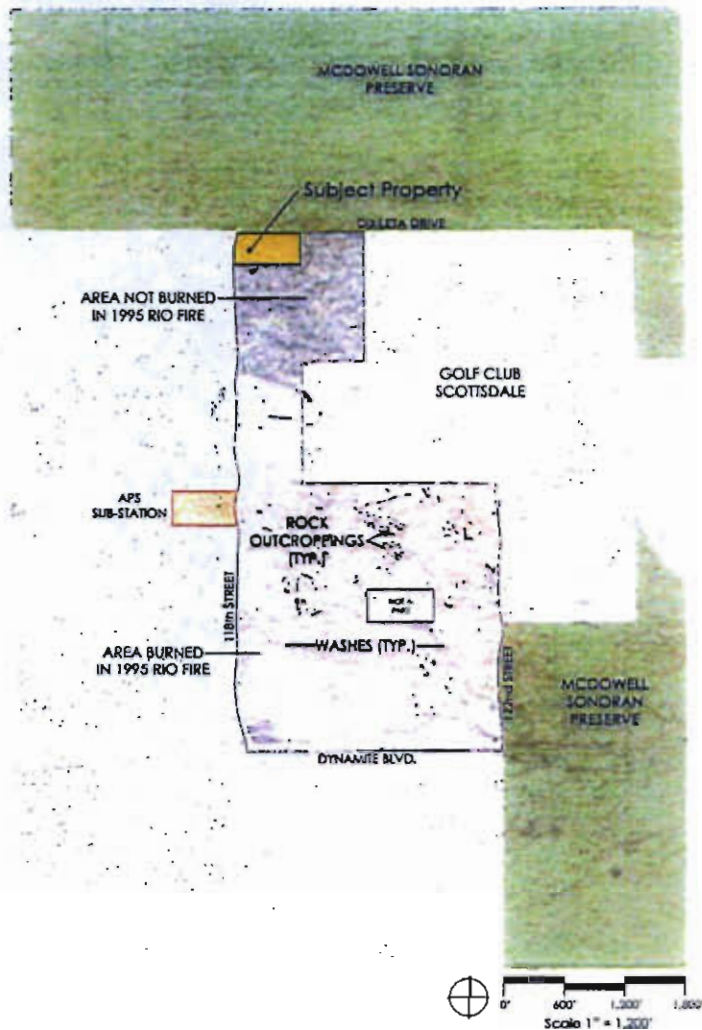
EXISTING CONDITIONS - CONTEXT AERIAL -



II. Existing Conditions (Cont'd)

C. Project Site Features

The Eco-Resort at Scottsdale contains 213.1 acres of rolling Sonoran Desert. Almost the entire property was burned in the 1995 Rio Fire. Most of the vegetation in the burned areas was destroyed in the fire. Only a few plant species survived. Only recently has there been any real growth of native desert material. The northern area that was not burned during the 1995 Rio Fire remains lush with desert vegetation. It provides an ideal location for the Eco-Resort, as it sits directly adjacent to the McDowell Sonoran Preserve. Numerous small rock outcroppings are scattered across the landscape. These features will be incorporated into the design of the community wherever possible. There are numerous small washes that remain dry for the majority of the year. Flows are small and localized. These washes will be features of the community and will be minimally disturbed.



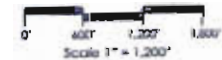
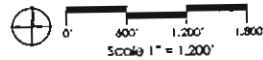
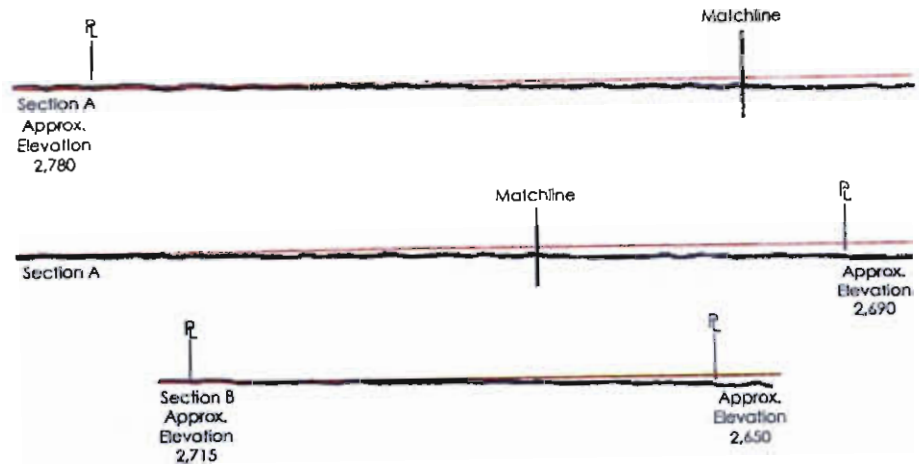
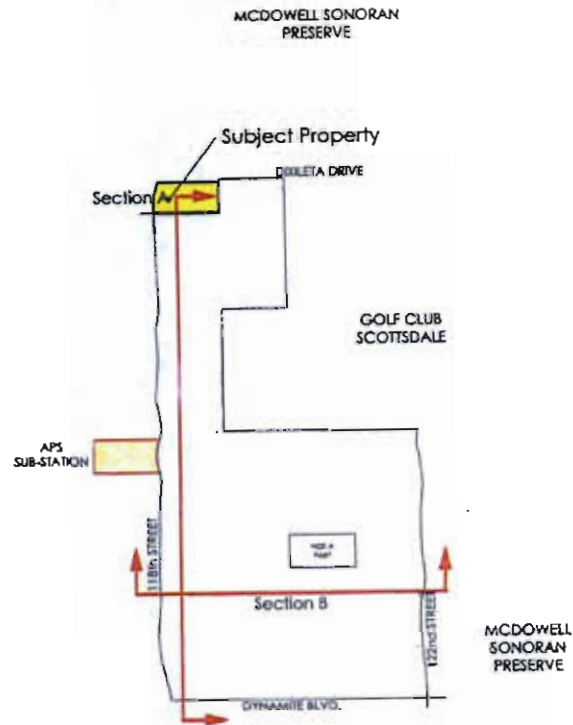
EXISTING CONDITIONS - PROJECT SITE FEATURES -



II. Existing Conditions (Cont'd)

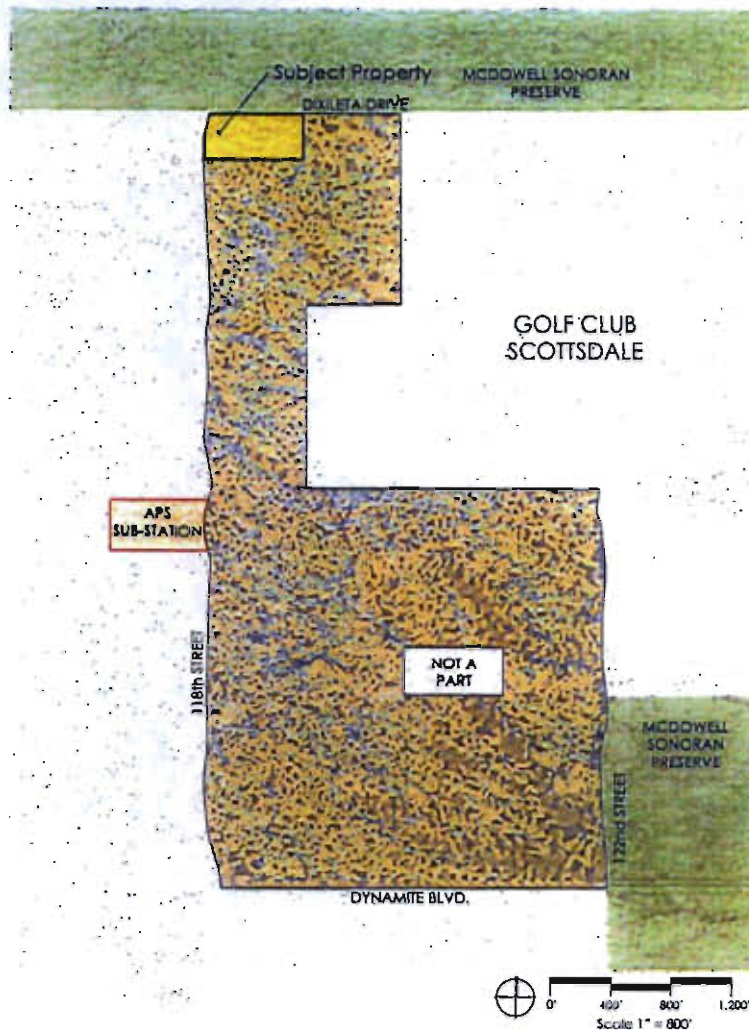
D. Topography Map

The Eco-Resort at Scottsdale sits on 213.1 acres of rolling Sonoran Desert terrain. The topography of the site is gentle in nature. The land slopes downward generally from West to East with the highest elevation on the site being approximately 2,775 (to the northwest) and 2,645 (to the southeast). Slopes on the site range from 0% to over 25%. Over 91% of the project area contains slopes under 15% with the steepest slopes located along the banks of the washes. There are no mountain or hillside features on the site. Small rock outcroppings dot the topography while several small low flow washes traverse the property. The land is very gentle and ideal for development. Cuts and fills should be minimal given the character of the land.



EXISTING CONDITIONS - TOPOGRAPHY MAP -



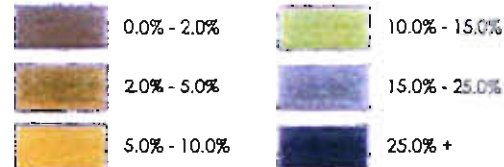


II. Existing Conditions (Con't'd)

E. Natural Area Open Space

The slope analysis of the Eco-Resort indicates that the majority of the site has slopes under 10%. Over 90% of the site contains slopes less than 15%. Slopes greater than 15% are minimal and found only along wash embankments. Per the City of Scottsdale's Environmentally Sensitive Lands Ordinance (ESLO), this site is required to provide 74.2 acres of Natural Area Open Space (NAOS). Per the City of Scottsdale, the ESLO is a set of zoning regulations adopted by the city council in 1991. Its purpose is to guide the development of desert and mountain areas north and east of the Central Arizona Project Canal in Scottsdale. According to ESLO, the lands contained within the ESLO area are divided into three categories based upon landforms. The first category is "Lower Desert Landform". The second is "Upper Desert Landform", and the third is "Hillside Landform". The Eco-Resort is comprised of land entirely categorized as "Upper Desert Landform". As a result, the following is the calculation to determine the required amount of NAOS per the slope analysis that was performed on the Eco-Resort.

Slope Category	Acres	% Req'd for NAOS	Total NAOS Required
0-2%	57.6 Ac.	25%	14.4 Ac.
2-5%	14.5 Ac.	25%	3.6 Ac.
5-10%	72.3 Ac.	35%	25.3 Ac.
10-15%	50.6 Ac.	45%	22.8 Ac.
15-25%	15.8 Ac.	45%	7.1 Ac.
25% +	2.3 Ac.	45%	1.0 Ac.
Total: 213.1 Ac.			74.2 Ac.

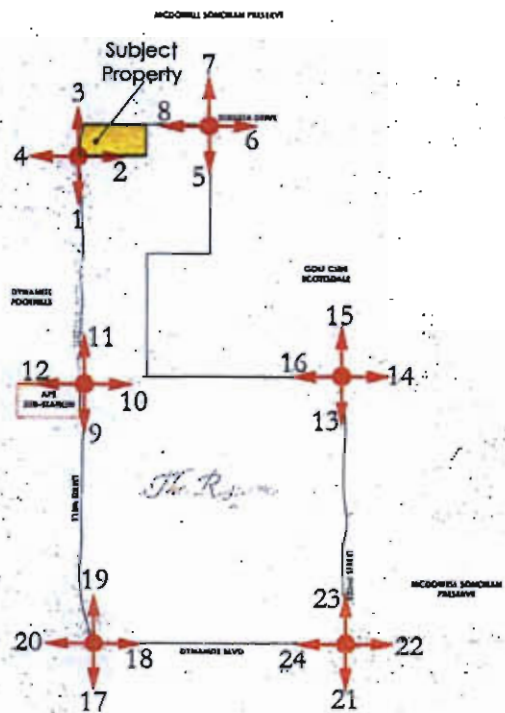


Per ESLO, the Eco-Resort is required to provide 74.2 acres of NAOS. Currently, the Eco-Resort at Scottsdale is committing to 88.3 acres of NAOS (over 41% of the total site). The NAOS provided by the Eco-Resort will be a combination of undisturbed open space, re-vegetated open space, and restored desert open space in areas destroyed by the Rio Fire.



EXISTING CONDITIONS - NATURAL AREA OPEN SPACE -

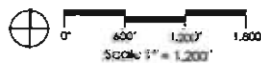
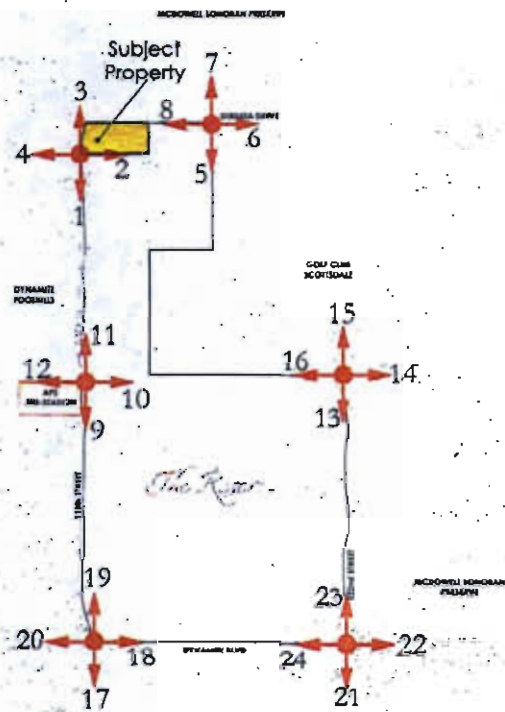




0' 400' 800' 1,200' 1,600'
Scale 1" = 1,200'

EXISTING CONDITIONS - PHOTO EXHIBIT - SHEET 1





EXISTING CONDITIONS - PHOTO EXHIBIT - SHEET 2



III. Planning and Policy Context

A. Scottsdale General Plan

I. Introduction

The Scottsdale General Plan is a tool for guiding the future development of the City. On a daily basis the City is faced with choices about growth, housing, transportation, neighborhood improvement and service delivery. A General Plan provides a guide for making these choices by describing long-term goals for the City's future as well as policies to guide day-to-day decisions.

The General Plan goals and policies guide the community over a 20-25 year period. There is a natural tendency to presume that the General Plan, as adopted, will be applied in its entirety with little change over that period. However, such rigid application would not be responsive to the natural changes and unforeseen opportunities that arise in a community as dynamic as Scottsdale. As a result, long-range decisions need to be periodically read-dressed to reflect new or emerging circumstances. Each succeeding City Council has the discretion and responsibility to reconsider previous long-range policy decisions and may choose to modify them, subject to community discussion in public hearings. The General Plan is a key instrument to reflect changing perspectives, economic conditions and attitudes.



II. Overview

This request is for a Non-Major General Plan Amendment ("GPA") to locate at the Reserve the existing Resort/Tourism use (symbolized by a "star") that is shown on the General Plan in north Scottsdale. The star on the land use map of the General Plan means that an exact location for the use has not yet been determined, but the need for that use has been identified for that general area. The proposed location is within an area on the General Plan that is designated as Rural Neighborhoods.



The Rural Neighborhoods category is defined as neighborhoods where density is a maximum of one house per one acre of land. Clustering is encouraged to preserve desert vegetation, washes, and natural features.

The Resort/Tourism category is designed for hotels and resorts. They can be freestanding or part of a resort community. Resort locations capitalize on good transportation, the physical amenities of the area and recreational or shopping opportunities. In some areas of the community, lower density may be appropriate to preserve desert character and environmental features. Medium density residential uses with a resort character and lifestyle can be integrated into resort uses and may share resort amenities. Resort uses often are places next to open spaces as a key amenity.

The Reserve will create an environmentally sensitive Eco-Resort based on an authentic Sonoran Desert lodging experience that will easily integrate into the rural residential character of the area while celebrating the McDowell Sonoran Preserve. This proposed development will bring for the first time to Scottsdale a resort lodging experience that is solely created around ecologically sensitive principles and celebrates the area's Sonoran Desert and Western heritage. In many ways, incorporating the design ideas brought to Scottsdale previously by such pioneers as Frank Lloyd Wright and Paolo Soleri.

The Developer, Lyle Anderson, has a history of environmental awareness and sensitivity, demonstrated by his portfolio of past accomplishments such as Desert Highlands, where he pioneered environmentally sensitive development in north Scottsdale in the early 1980s, and Desert Mountain, where he teamed up with the renowned architects and planners at Taliesin West. His innovations in environmentally sensitive development are seen in the City's design standards.

PLANNING AND POLICY CONTEXT - SCOTTDALE GENERAL PLAN -



III. Planning and Policy Context (Cont'd)

III. The Guiding Principles of the General Plan

Scottsdale's character based general planning includes three distinct, interrelated levels:

- Level 1 includes Citywide planning
- Level 2 is character area planning
- Level 3 is neighborhood planning

Level 1 - The Property is located in the City's Planning Zone "D" (1 of 5 zones identified throughout the city).

Level 2 - Character Area Plans have been developed by the City on a priority basis over a period of time and speak specifically to the goals and special attributes of an identifiable and functional area such as land use, infrastructure, architecture and transitions. This property falls within the Dynamite Foothills Character Area Plan.

Level 3 - Neighborhood planning identifies and implements efforts to improve specific neighborhoods within the City. There is no neighborhood plan for this Property.

There are a myriad of goals and approaches intended to integrate the City's "Guiding Principles" into the planning process and determine if these Guiding Principles are being achieved in the context of general land use planning. These principles, goals and approaches are not static or inflexible and the General Plan clearly recognizes that the General Plan is a broad and flexible document that changes as the community changes. Given the flexible nature of the General Plan, this proposed Non-Major GPA meets the goals and vision established therein by conforming to the guiding principles, goals and approaches as described in this Application.

This request is for a Non-Major GPA to define the specific location for an Eco-Resort use that is identified on the currently adopted General Plan. There are six Guiding Principles which establish goals and approaches to assess the appropriateness of land use changes to the General Plan. These six Guiding Principles are as follows:

- Value Scottsdale's Unique Lifestyle & Character
- Support Economic Vitality
- Enhance Neighborhoods
- Preserve Meaningful Open Space
- Seek Sustainability
- Advance Transportation

In addition, there are 12 Elements of the General Plan that describe the City's policies on the following sub-categories:

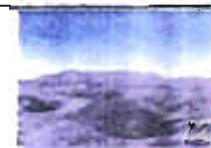
- Character and design
- Land use
- Economic vitality
- Community involvement
- Housing
- Neighborhoods
- Open space and recreation
- Preservation and environmental planning
- Cost of development
- Growth areas
- Public services and facilities
- Community mobility



These elements are further broken down into the Goals and Approaches. The following describes how the subject application and the associated development of the Property satisfies and is commensurate with the Guiding Principles found within the City's General Plan.



PLANNING AND POLICY CONTEXT - SCOTTSDALE GENERAL PLAN -



III. Planning and Policy Context (Cont'd)

a. Guiding Principle: Character & Lifestyle

The Character and Lifestyle Guiding Principle contains two elements, the Character and Design Element and the Land Use Element.

1. Character and Design Element

The Character and Design Element seeks to promote quality development and redevelopment that is sustainable and appropriate in striking a balance between natural desert settings, historically significant sites and structures and the surrounding neighborhood context.

Development should respect and enhance the unique climate, topography, vegetation and historical context of Scottsdale's Sonoran desert environment, all of which are considered amenities that help sustain our community and its quality of life. The City has established a set of design principles, known as Scottsdale's Sensitive Design Principles, to reinforce the quality of design in our community. The following Sensitive Design Principles are fundamental to the design and development of the Property.

1. The design character of any area should be enhanced and strengthened by new development.
2. Development, through appropriate siting and orientation of buildings, should recognize and preserve established major vistas, as well as protect natural features.
3. Development should be sensitive to existing topography and landscaping.
4. Development should protect the character of the Sonoran desert by preserving and restoring natural habitats and ecological processes.
5. The design of the public realm, including streetscapes, parks, plazas and civic amenities, is an opportunity to provide identity to the community and to convey its design expectations.
6. Developments should integrate alternative modes of transportation, including bicycles and bus access, within the pedestrian network that encourage social contact and interaction within the community.



7. Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent developments.
8. Buildings should be designed with a logical hierarchy of masses.
9. The design of the built environment should respond to the desert environment.
10. Developments should strive to incorporate sustainable and healthy building practices and products.
11. Landscape design should respond to the desert environment by utilizing a variety of mature landscape materials indigenous to the arid region.
12. Site design should incorporate techniques for efficient water use by providing desert adapted landscaping and preserving native plants.
13. The extent and quality of lighting should be integrally designed as part of the built environment.
14. Signage should consider the distinctive qualities and character of the surrounding context in terms of size, color, location and illumination.



PLANNING AND POLICY CONTEXT - SCOTTSDALE GENERAL PLAN -



III: Planning and Policy Context (Cont'd)

In addition to the character and design factors discussed above, this Non-Major General Plan Amendment is consistent with the following Goals and Approaches contained within the Character and Design Element:

Page 43

- 1) Determine the appropriateness of all development in terms of community goals surrounding area character and the specific context of the surrounding neighborhood.

Response: The Character and Types Map of the General Plan designates the property as a Rural/Rural Desert Character Type. The General Plan identifies Rural/Rural Desert Character types as containing relatively low-density and large lot development, including horse privilege neighborhoods and low-density resorts. These districts provide a rural lifestyle that includes preservation of the desert character. Special care will be taken to preserve the natural character of the land and natural drainage corridors. The impacts of development on desert preservation will be minimized through clustering, preserving washes, and the use of natural buffers on the perimeter of developments such as the existing 100' Scenic Corridor which is already in place along Dynamite Boulevard. The site plan will be sensitive to topography, vegetation and natural features such as washes and rock outcroppings. The proposed land use amendment from Rural Neighborhoods to Suburban Neighborhoods is consistent and compatible with the Rural/Rural Desert Character type.

Character Areas are sets of neighborhoods that share the same overall character type and often have other unifying elements that distinguish the area. The subject Property falls within the Dynamite Foothills Character Area Plan. The proposed Eco-Resort fulfills the goals and strategies of the Dynamite Foothills Character Area Plan in the following ways:

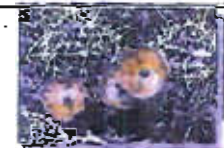
- Preserve the existing rural desert character of the Dynamite Foothills resulting in a unique desert community distinguished from other parts of Scottsdale and the Valley.
- Recognize the topographic diversity of the Dynamite Foothills area and providing distinct guidelines for balancing the relationship of different development types to the unique environmental nature of the area.
- Promote open space in accordance with CityShape 2020 Guiding Principles and the recommendations of the Desert Preservation Task Force. Support the efforts of the McDowell Sonoran Preserve Commission to provide open space.



As such, the goals and strategies of the Dynamite Foothills Character Area Plan will be implemented by 1) preserving natural, visual qualities of the Sonoran Desert by using desert-sensitive building techniques that blend with the natural desert character; 2) promoting connected areas of desert open spaces and trails through visual and functional linkages; 3) identifying and celebrating the rural desert character experienced in the Dynamite Foothills study areas that will result in or maintain a unique desert community.



PLANNING AND POLICY CONTEXT - SCOTTSDALE GENERAL PLAN -



III. Planning and Policy Context (Cont'd)

- 2) Review the design of all development proposals to foster quality design that enhances Scottsdale as a unique southwestern desert community.

Response: Special attention to site planning and building aesthetic under this development proposal will uphold the distinctive character of Scottsdale and this area. The design envisioned for the property will respect and enhance the unique climate, topography, vegetation and historical context of the local desert environment to help sustain our community and quality of life and represent the rural and rustic character and design quality typically associated with this area.

The applicant's approach to the proposed development is in harmony with the visions and framework of the Dynamite Foothills Character Area Plan.

- 4) Encourage "streetscapes" for major roadways that promote the City's visual quality and character and blend into the character of the surrounding area.

Response: The General Plan Streetscapes Map designates "Natural Streetscapes" adjacent to the Property. A 100-foot Scenic Corridor is designated on Dynamite Boulevard.

- 5) Recognize the value and visual significance that landscaping has upon the character of the community and maintain standards that result in substantial material landscaping that reinforce the character of the City.

Response: The development proposal will preserve significant amounts of natural desert. Significant portions of this property were severely damaged by the 1995 Rio fire. This project creates an opportunity to mitigate this damage through augmentation of the burned areas with native desert landscape as part of the overall landscaping of the site. The applicant is committed to creating a specially designed environment that has superior architecture as well as distinctive landscaping. The vision for the property is a desert garden setting that celebrates the unique character and quality of the Sonoran Desert. With all landscape design initiatives, sustainable practices such as water conservation and the protection/ relocation of mature plant material will be followed.

- 6) Encourage sensitive outdoor lighting that reflects the needs and character of different parts of the City.

Response: Lighting will be commensurate with the surrounding residential development and will be designed in manner to minimize glare and lighting intrusion into adjacent residential properties and promote "dark skies" in keeping with the Dynamite Foothills Character Area Plan.

2. Land Use Element

The Land Use Element section of the Character and Lifestyle Guiding Principle embraces the concept that land uses complement each other visually, aesthetically, socially, and economically, and to avoid conflicting, damaging or otherwise unwanted land uses from compromising the overall character of a site, a neighborhood, or the community. In addition, the General Plan uses "asterisked" or "starred" land uses that identify land uses for general areas with exact locations to be determined.

Per the General Plan, There is a Resort/Tourism land use star in the general area of this property and in accordance with the General Plan this application is to locate this use on the subject property to allow the development of an Eco-Resort.

This Non-Major General Plan Amendment is consistent with the following Goals and Approaches contained within the Land Use Element:

Page 65

- 3) Encourage the transition of land uses for more intense, regional and Citywide activity areas to less intense activity areas within local neighborhoods.

Response: The location of the Property adjacent to the McDowell Sonoran Preserve provides an excellent transition from the surrounding mix of land uses in the immediate area, including master plan communities, private and public golf courses and the Four Seasons resort. Densities range from 1 lot per 1/2 acre up to 1 lot per 3-acres. The proposed land uses are commensurate with those already in the area.

- 4) Maintain a balance of the land uses that support a high quality of life, a diverse mixture of housing and leisure opportunities and the economic base needed to secure resources to support the community.

Response: The mix of land uses and residential product encourages a sustainable high quality of life by providing choices and amenities to future residents and guests. The General Plan encourages a diversity of residential uses and supporting services that provide for the needs of the community and of the neighborhoods. Maintaining a Citywide balance of land uses is an important planning goal that supports community needs by providing a wider array of housing options.



PLANNING AND POLICY CONTEXT - SCOTTSDALE GENERAL PLAN -



III. Planning and Policy Context (Cont'd)

- 5) Develop land use patterns that are compatible with and support a variety of mobility opportunities/choices and service provisions.

Response: A rich mix of lifestyles that enhance the values that make each place unique is a core Scottsdale value. As such, the proposed development plan provides an environmentally sensitive residential opportunity. Additionally, the development plan will maintain an interconnected open space system through the 100' Scenic Corridor along Dynamite.

- 7) Sensitive integrate land uses into the surrounding physical and natural environments, the neighborhood setting and the neighborhood itself.

Response: This unique ecologically-themed, low-intensity Eco-Resort and resort residential community provide an excellent transition from Dynamite Boulevard to the McDowell Sonoran Preserve.

- 8) Encourage land uses that create a sense of community among those who work, live, and play within local neighborhoods.

Response: The proposed Resort/Tourism land use provides a unique opportunity of a scale and intensity that is appropriate with the existing adjacent land uses and reinforces the area's rural character.



b. Guiding Principle: Economic Vitality

1. Economic Vitality Element

The Economic Vitality Guiding Principle is intended to secure Scottsdale's future as a desirable place to live, work and visit based on the foundation of a dynamic, diversified and growing economic base that complements the community. While highlighted in the Housing and Neighborhoods elements of the General Plan, the Economic Vitality Element recognizes that variety and quality of housing is crucial to the stability of the local economy. In addition, tourism is an integral part of Scottsdale's identity and it serves as one of the community's economic engines. It is essential to provide and preserve appropriate natural, social and cultural environments as well as elevated guest services to maintain and enhance the tourism experience in Scottsdale. The health of the tourism market is dependent upon the quality and character of the local resorts and preservation of Scottsdale's tourism market is critical to the continued economic health of the city. Indeed, the Eco-Resort will result in new substantial bed, sales and property tax revenue for the City of Scottsdale. There will also be significant benefits to the Cave Creek Unified School District including an increase in property tax revenue.



PLANNING AND POLICY CONTEXT - SCOTTSDALE GENERAL PLAN -



III. Planning and Policy Context (Cont'd)

c. Guiding Principle: Neighborhoods

1. Housing Element

Scottsdale has historically been a community that embraces a variety of housing opportunities to enhance the character, diversity, and vitality of the City, as well as respect and conserve the Sonoran Desert. The General Plan states "Our vision is to incrementally, but steadfastly expand housing opportunities for current and future citizens." Scottsdale encourages housing options that provide a wide range of opportunities for people living and working in the community.

This General Plan Amendment is consistent with the following Goals and Approaches contained within the Housing Element:

Page 98

2) Seek a variety of housing options that blend with the character of the surrounding community.

Response: The proposed project speaks to this general planning goal in two ways. First, it will integrate housing alternatives for the existing and new residents of Scottsdale who desire to downsize their current residences and live in a highly amenitized Eco-Resort setting. Second, its architecture will be residential in character and include environmentally sensitive building and site design.



4) Encourage housing development that provides for "live, work, and play" relationships as a way to reduce traffic congestion, encourage economic expansion and increase overall quality of life for our residents.

Response: The Reserve provides for highly amenitized living through the availability of Eco-Resort services to the residential portions. This will translate to a centralized, self-contained & sustainable life-style.



2. Neighborhood Element

The Neighborhood section of the General Plan focuses on Scottsdale's vision to preserve, reinforce, and where appropriate, revitalize the characteristics and stability of neighborhoods. This is accomplished by making sure that neighborhoods are in harmony with their existing character and defining features. Particular attention is paid to the unique character and special qualities of each individual neighborhood within the City.

The term "neighborhood" is best characterized as a diverse mix of use typically consisting of retail, office and residential development. Given the physical location of the Property, the Resort/Tourism land use is appropriate in the context of the General Plan's Guiding principle for sustainable neighborhoods.

The Neighborhood's Guiding Principle of the General Plan identifies several goals and approaches intended to ensure that Scottsdale is a desirable place to live, work and visit and, in conjunction with a stable economic base, the General Plan recognizes that neighborhood viability and sustainability is as equally important as a strong economic base.

This Non-Major General Plan Amendment is consistent with the following Goals and Approaches contained within the Neighborhood Element:

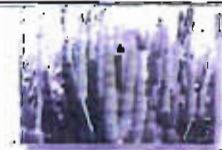
Page 105

5) Promote and encourage context appropriate new development in established areas of the community.

Response: The proposed development is within an existing developed area in Scottsdale and will use existing infrastructure while supporting the developed area in a manner that is complementary and sustainable.



PLANNING AND POLICY CONTEXT - SCOTTSDALE GENERAL PLAN -



III. Planning and Policy Context (Cont'd)

D. Guiding Principle: Open Space

1. Open Space and Recreation Element

It has long been a priority of the City to conserve significant natural areas and open spaces for both recreational and the preservation purposes.

The Open Space and Recreation guiding principle found within the General Plan specifically addresses the significance of the McDowell Sonoran Preserve, Scenic Corridors, natural and urban open spaces and recreational opportunities. A well managed system that provides active and passive open space/recreational opportunities is considered an indispensable community feature, one that should be available to all ages on a year-round basis in the City of Scottsdale. By maintaining connected open space corridors, such as the 100' Scenic Corridor along Dynamite Boulevard, continuous visual and functional linkages within and between local neighborhoods reinforce the regional open space network. The Reserve will provide substantial meaningful open space throughout the Eco-Resort Campus, and to provide open space connections throughout the Reserve. In addition, the central theme of life-long educational opportunities for guests and residents provides a synergy that will benefit the City's Preservation effort.

This Non-Major General Plan Amendment is consistent with the following Goals and Approaches contained within the Open Space and Recreation Element:

Page 113

- 1) **Protect and improve the quality of Scottsdale's natural and urban environments as defined in the quality and quantity of its open space.**

Response: The Property contains several natural elements in the context of the surrounding environment and will provide ample opportunity for people to experience and enjoy the native Sonoran Desert through the preservation a 100' Scenic Corridor along Dynamite Boulevard. In addition, the development will mitigate fire damage from the 1995 Rio Fire by augmenting NAOS areas with native desert plants.

- 2) **Manage a comprehensive open space program that is responsive to public need, delivers high quality customer service, and exemplifies the City's commitment to leadership in environmental affairs.**

Response: In the context of the development plan and the preservation of the Scenic Corridor as mentioned above, the goal of providing a comprehensive open space program that is responsive to the greater public need is upheld. Further, the open space network preserved through this development strengthens the City's desire to promote environmental sensitivity, especially in northern Scottsdale.

2. Preservation and Environmental Planning Element

The preservation of our community relies on a built environment that is sustainable and in harmony with the natural environment. There are several ways to accomplish this goal which include (but are not limited to) reducing vehicle trips to minimize congestion and pollution, encouraging green building standards and environmentally sensitive design philosophies, and maintaining meaningful, connective open space. The overlying theme is to bring a close and supportive relationship between natural resources, environmental quality and the economy of the area. In addition, the central theme of life-long educational opportunities for guests and residents provides a synergy that will benefit the City's Preservation efforts.

This Non-Major General Plan Amendment is consistent with the following Goals and Approaches contained within the Preservation and Environmental Planning Element:

Page 132

- 2) **Enhance the quality of life in Scottsdale by safeguarding the natural environment.**

Response: The development plan will retain Scottsdale's image and heritage of the Sonoran Desert through exemplary environmental building design, site layout and landscape planning considerations. As previously mentioned the Eco-Resort will preserve local plants, wildlife, natural resources, scenic views and the overall aesthetic value of Scottsdale.

- 4) **Reduce energy consumption and promote energy conservation.**

Response: From the planning phase through the construction and into the management phase of the Eco-Resort community, all efforts will be evaluated in terms of their environmental sensitivities. The development program will focus on utilizing natural properties (sun, shade, thick walls, insulation) for building cooling and heating systems, implementing solar energy opportunities, utilizing landscaping that contributes to energy conservation, providing alternative hardscape surfaces, and implementing natural and man-made shading elements for parking and pedestrian areas in keeping with building techniques indigenous to the Sonoran Desert thereby reducing the "heat island" effect.



PLANNING AND POLICY CONTEXT - SCOTTSDALE GENERAL PLAN -



III. Planning and Policy Context (Cont'd)

7) Promote local and regional efforts to improve air quality.

Response: One of the greatest ways to improve air quality is by reducing vehicle trips and automobile emissions. Promoting neo-traditional planning methods which includes a balance of land uses appropriately woven together falls closely in line with the City's goals of improving air quality, reducing traffic congestion and promoting the live, work, play philosophy.

10) Encourage environmentally sound "green building" alternatives that support sustainable desert living.

Response: From the planning phase through the construction and into the management phase of the Eco-Resort community, all efforts will be evaluated in terms of their environmental sensitivities. The proposed development will incorporate resource and energy efficient materials and design methods for new building construction. The above mentioned development program will focus on utilizing natural properties and low impact building materials, implementing solar energy opportunities, protecting and enhancing the natural features of the site, and integrating water harvesting techniques all of which contribute to an environmentally sound and sustainable built environment and "green building" ideology.



e. Guiding Principle: Sustainability

The issue of sustainability is addressed within three chapters of the General Plan that include 1) cost of development; 2) growth areas; and 3) public services and facilities. These chapters and the discussion of "sustainability" (for the purposes of the General Plan discussion) relates to effective management of Scottsdale's finite and renewable environmental, economic, social, and technological resources to ensure that they serve future needs. The City has long held the philosophy that new development should "pay for itself" and not burden existing residents and property owners with the provision of infrastructure and public services and facilities. Through the zoning process and development review process the City can evaluate appropriate dedications, development fees and infrastructure provisions.

f. Guiding Principle: Transportation

1. Community Mobility Element

This section of the General Plan addresses mobility choices to provide alternatives to the automobile and to increase accessibility, improve air quality, enrich the community and its neighborhoods, and contribute to the community's quality of life. In general, the Community Mobility Element relates to protecting the function and form of regional air and land corridors, protecting the physical integrity of regional networks to reduce the number, length and frequency of automobile trips. Additionally, this section of the General Plan seeks to prioritizing regional connections to safely and efficiently move people and goods beyond City boundaries, to relieve traffic congestion, to optimize mobility, maintain Scottsdale's aesthetics, emphasize live, work and play opportunities, and to protect neighborhoods from the negative impact of regional and Citywide networks. Finally, the General Plan recognizes that there is diversity throughout neighborhoods and that each neighborhood may, in fact, have different mobility needs. This General Plan Amendment is consistent with the following Goals and Approaches contained within the Community Mobility Element:

Page 177

2) Protect the physical integrity of regional networks to help reduce the number, length, and frequency of automobile trips, to improve air quality, reduce traffic congestion, and enhance quality of life and the environment.

Response: Air quality is improved, by encouraging live, work, and play relationships through land use decisions that reduce the distance and frequency of automobile generated trips. This Non-Major General Plan Amendment request for Resort/Tourism provides an excellent opportunity to place a low-intensity resort along with all of its services in a residential setting thus providing shorter trip alternatives to the residents of the area.

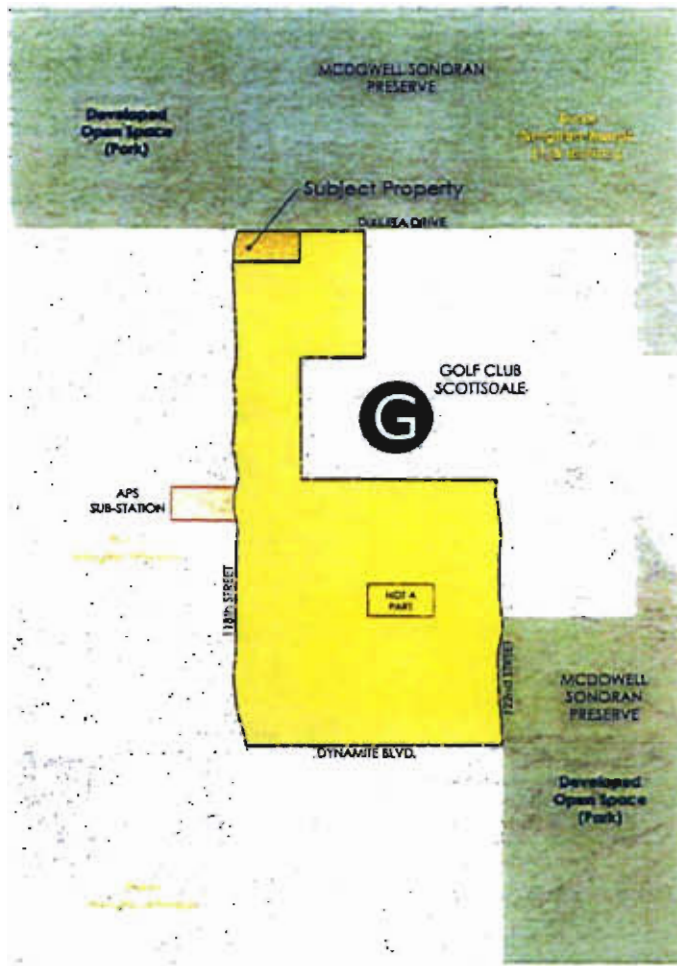
iv. Conclusion

In summary, the General Plan promotes the community's vision by establishing policies, goals and strategies for each of its twelve elements. These elements when satisfied, provide the basis for change and adjustment in the Land Use Map of the General Plan. This application is not seeking to change the Land Use Map but, instead, locate the existing Resort/Tourism use which has already been adopted on the current General Plan at the Reserve.



PLANNING AND POLICY CONTEXT - SCOTTSDALE GENERAL PLAN -



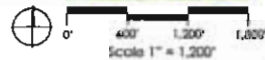


City of Scottsdale General Plan

Adopted by City Council October 30, 2001
 Ratified by Scottsdale voters March 12, 2002
 revised to show McDowell Sonoran Preserve as of November 2005
 revised to reflect General Plan amendments through November 2005

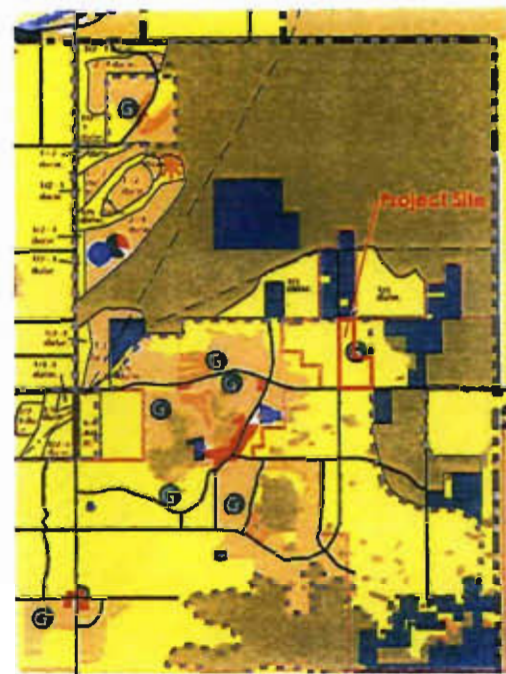
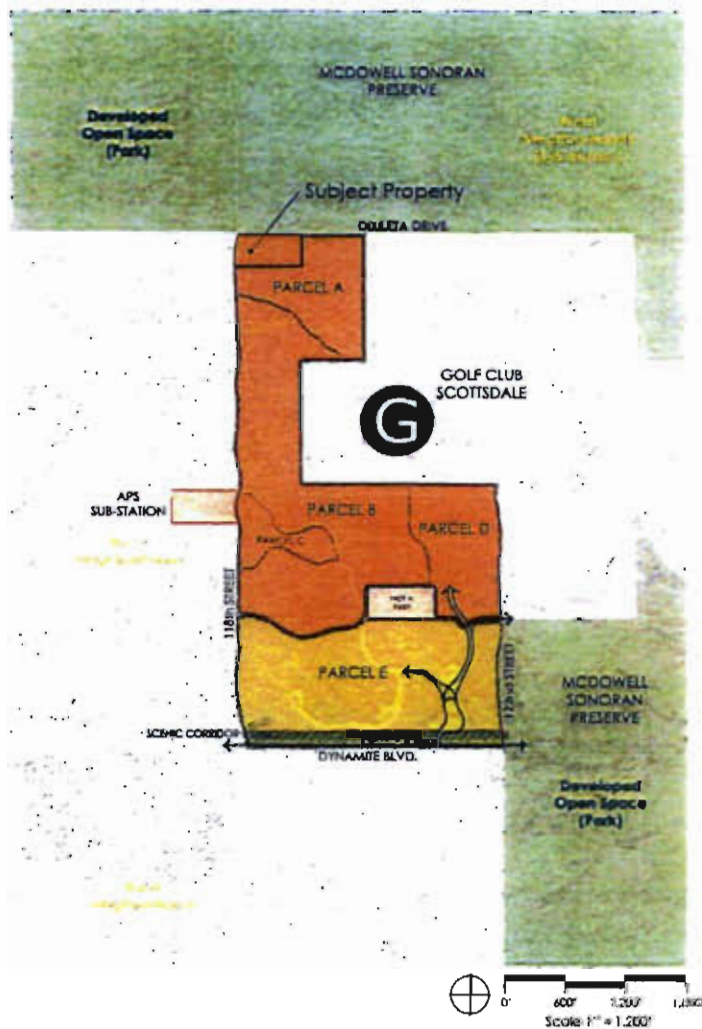
RURAL NEIGHBORHOODS 213.1 Ac.

- Rural Neighborhoods
- Suburban Neighborhoods
- Urban Neighborhoods
- Mixed-Use Neighborhoods
- Resorts/Tourism
- Shea Corridor
- Mayo Support District
- Regional Use District
- Commercial Office
- Employment
- Natural Open Space
- Developed Open Space (Parks)
- Developed Open Space (Golf Courses)
- Cultural/Institutional or Public Use
- McDowell Sonoran Preserve (as of 8/2003)
- Recommended Study Boundary of the McDowell Sonoran Preserve
- City Boundary
- Location not yet determined



PLANNING AND POLICY CONTEXT - EXISTING GENERAL PLAN -





City of Scottsdale General Plan

Adopted by City Council October 30, 2001
 Ratified by Scottsdale voters March 12, 2002
 revised to show McDowell Sonoran Preserve as of November 2003
 revised to reflect General Plan amendments through November 2003

	RURAL NEIGHBORHOODS	76.7 Ac.
	RESORT/TOURISM	136.4 Ac.

PLANNING AND POLICY CONTEXT - PROPOSED GENERAL PLAN -



III. Planning and Policy Context (Cont'd)

B. Zoning

1. Overview

Two decades ago the Lyle Anderson Companies changed the way we think of residential development with environmentally-sensitive and award winning design and construction at Desert Highlands and Desert Mountain. The company seeks to pioneer again with not only Scottsdale's first-ever, but also Arizona's first-ever Eco-Resort.



The Lyle Anderson Companies (the "Applicant") intend to create Scottsdale's first-ever Eco-Resort with the primary goal of protecting, preserving and promoting the natural environment, biodiversity and ecosystem of this Sonoran Desert property, as well as celebrating Scottsdale's heritage. The Applicant's goal is to ensure that the new Eco-Resort, in concert with its natural and cultural environment, will be operated according to recognized standards and practices in sustainable tourism, environmental conservation, biodiversity protection and cultural heritage preservation. The following are key elements of this development proposal:

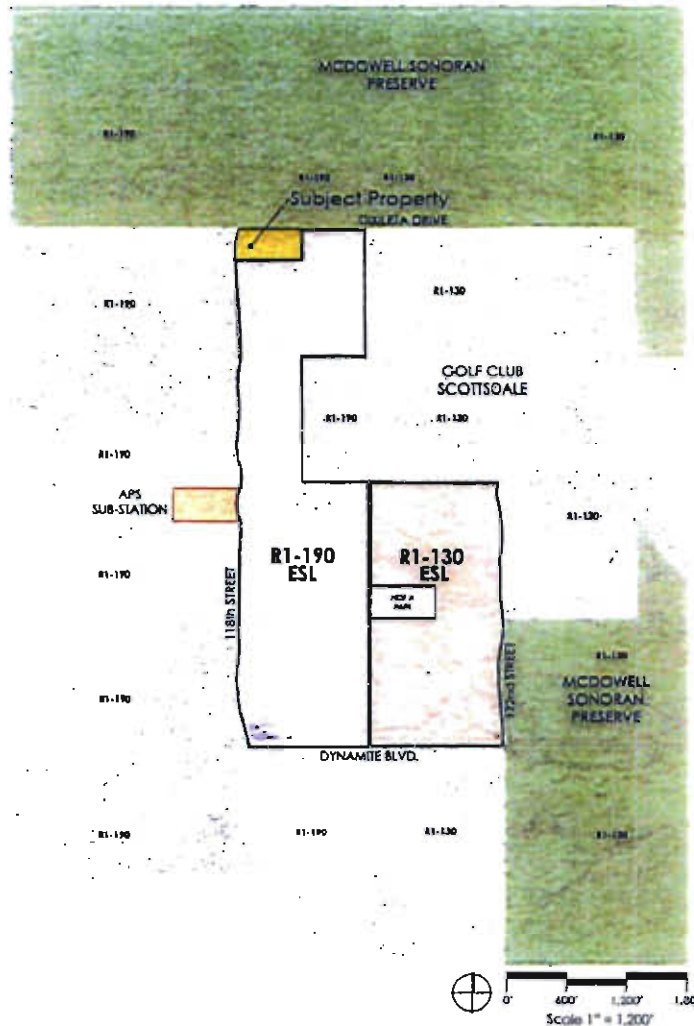
- Design and construction will minimize the impact on the environment and promote the use of sustainable materials;
- Promote conservation and recycling;
- Educate guests on the flora and fauna unique to the Sonoran Desert;
- Educate guests about the Western heritage of Scottsdale;
- Promote preservation of our Sonoran Desert ecosystem and natural resources; and
- Allow guests the opportunity to participate in protective and convalescent care programs for indigenous wildlife.

The Eco-Resort is an exceptional and exciting neighbor for The Golf Club Scottsdale, widely considered to be one of the finest golf clubs in Arizona. The development plan will preserve a significant amount of natural open space (88.3 acres will be dedicated as NAOS) in accordance with the project's vision of protecting the native desert environment. The Eco-Resort will not be visible from Dynamite Boulevard, maintaining the existing large lot single-family residential character along Dynamite Boulevard's Scenic Corridor. Additionally the Eco-Resort will facilitate restoration of native desert landscape damaged by the 1995 Rio Fire, enhancing and preserving the natural ecosystem of the area. The architecture will be residential in character and in harmony with environmentally sensitive building and site design principles.



PLANNING AND POLICY CONTEXT - ZONING -





	EXISTING R1-130 ESL ZONING	77.5 Ac.
	EXISTING R1-190 ESL ZONING	135.6 Ac.

III. Planning and Policy Context (Cont'd)

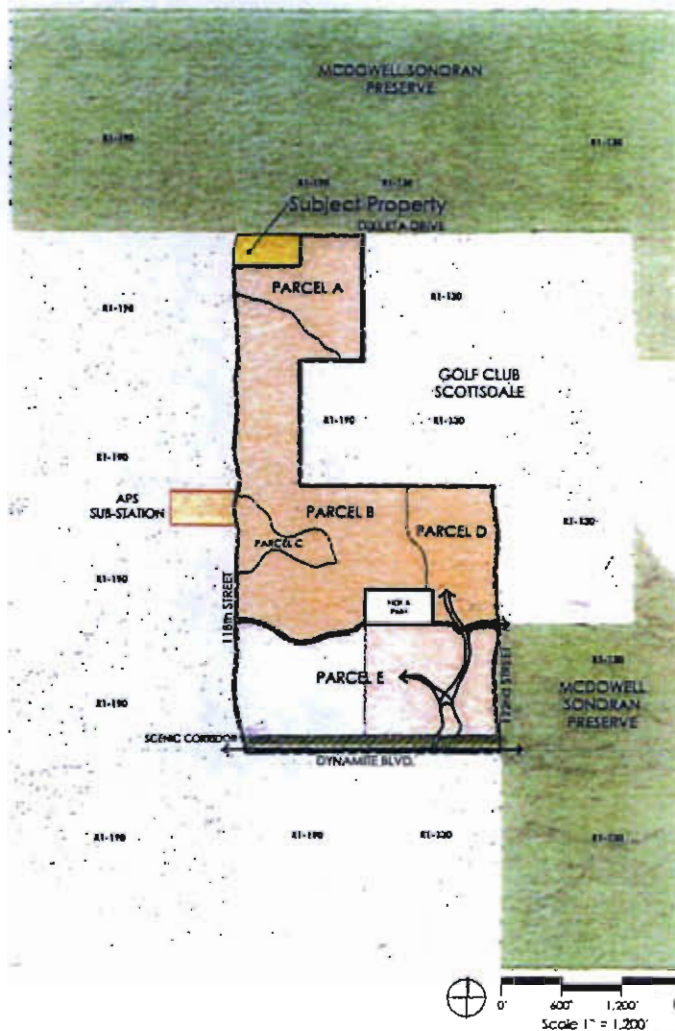
II. Request

This request is for rezoning from Single Family Residential District 190,000 square feet per lot – Environmentally Sensitive Lands (R1-190 ESL) and Single Family Residential District 130,000 square feet per lot – Environmentally Sensitive Lands (R1-130 ESL) to Resort/Townhouse Residential District – (R-4R) on approximately 136.4 gross acres located at the northeast corner of 118th Street and Dynamite Boulevard (the "Property"). A companion Non-Major General Plan Amendment is being filed in conjunction with this rezoning request. The development plan includes a total of 213.1 acres of land. The rezoning request is for the northern 136.4 gross acres, while the southern 76.7 acres will remain R1-190 ESL and R1-130 ESL for the development of residential estate lots.



PLANNING AND POLICY CONTEXT - EXISTING ZONING PLAN -





III. Planning and Policy Context (Cont'd)

III. Resort/Townhouse Residential District (R-4R)

The request for R-4R zoning on the subject Property was selected to accommodate the unique collection of Eco-Resort amenities proposed within the development plan. The R-4R district is intended primarily for self-contained accommodations which include recreational amenities and services customarily furnished at resorts including those in Scottsdale and Paradise Valley. Additionally, the district provides for associated resort residential uses. The low intensity Eco-Resort proposes resort residential densities commensurate with those established in the area. The Eco-Resort Campus features a variety of integrated uses, including the Resort itself, the 213 acre Eco-Resort Campus includes 180 Resort keys, 127 Eco-Resort villas, and 17 Eco-Resort Estates. By way of comparison, north Scottsdale's Four Seasons Resort offers 210 rooms and 44 Residence Club Casitas on approximately 45 acres. The proposed resort village units will not be typical residential lots. Rather, they will be part of the Eco-Resort community with access to resort services and amenities including, but not limited to room service, cleaning, concierge, and spa services. Additionally, some of the residential units will be managed by the Eco-Resort and available for guest use. Overall, the Eco-Resort Campus will be low-density and buildings and structures within 100 feet of the west boundary (118th Street), the south boundary (Dynamite Boulevard), and the Preserve will not exceed 24 feet in height. All other buildings and structures will not exceed 29 feet in height, except for special features such as chimneys and towers which shall not exceed 35 feet in height as required by the R-4R zoning regulations.



PLANNING AND POLICY CONTEXT - PROPOSED ZONING PLAN -



iv. Sustainable Development

a. Sustainable Planning and Design Principle

Planning and design of the Eco-Resort will seek to minimize the impact on the environment for both the construction and ongoing operations. LEED (Leadership in Energy and Environmental Design) principles will be used in the architecture to create a development appropriate for the Sonoran Desert environment. The design of the buildings and landscaping will focus on utilizing passive solar and passive cooling designs and water conservation techniques. The desert design will create expansive indoor/outdoor spaces to offer unique interaction with the environment.



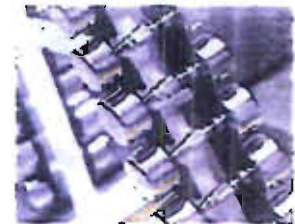
b. Sustainable Building Technology

Sustainable building techniques and materials will be used in order to reduce the overall carbon footprint. The focus will be on natural resource conservation and minimizing any impacts on the surrounding Sonoran Desert. A priority will be placed on using alternative energy sources. Solar energy will be utilized. Rainwater and greywater will be captured for use in landscaping.

c. Sustainable Operations & Programs

Eco-Resort operations will be structured to minimize the carbon impact, conserve water use, and promote recycling. Eco-Resort programs will promote environmental awareness and be built around a healthy, nature-focused lifestyle. Education programs will also promote life-long learning focused on the ecology of our Sonoran Desert and the history of our Southwestern culture.

Guests will be able to experience the beauty of the natural desert in the McDowell Sonoran Preserve and Tonto National Forest. Programs will also make use of the many resources in the Valley such as museums and botanical gardens. The educational and interactive experiences of the Eco-Resort will be complemented with alliances with such groups as Liberty Wildlife. Additionally, the Eco-Resort will offer world-class spa and fitness programs to promote healthy lifestyles.



PLANNING AND POLICY CONTEXT - ZONING -



III. Planning and Policy Context (Cont'd)

v. Scottsdale's Sensitive Design Principles

The City has established a set of design principles, known as the Scottsdale's Sensitive Design Principles, to reinforce the quality of design in our community. The following Sensitive Design Principles are fundamental to the design and development of the proposed Eco-Resort. A more detailed analysis of the Scottsdale Sensitive Design Principles is provided in the community Design Elements section of this booklet.

1. The design character of any area should be enhanced and strengthened by new development.
 - Building design should consider the distinctive qualities and character of the surrounding context and, as appropriate, incorporate those qualities in its design.
 - Building design should be sensitive to the evolving context of an area over time.
2. Development, through appropriate siting and orientation of buildings, should recognize and preserve established major vistas, as well as protect natural features such as:
 - Scenic views of the Sonoran desert and mountains.
 - Archaeological and historical resources.
3. Development should be sensitive to existing topography and landscaping.
 - A design should respond to the unique terrain of the site by blending with the natural shape and texture of the land while minimizing disturbances to the natural environment.
4. Development should protect the character of the Sonoran desert by preserving and restoring natural habitats and ecological processes.
5. The design of the public realm, including streetscapes, parks, plazas and civic amenities, is an opportunity to provide identity to the community and to convey its design expectations.
 - Streetscapes should provide continuity among adjacent uses through use of cohesive landscaping, decorative paving, street furniture, public art and integrated infrastructure elements.

6. Developments should integrate alternative modes of transportation, including bicycles and bus access, within the pedestrian network that encourage social contact and interaction within the community.
7. Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent developments.
 - Design elements should be included to reflect a human scale, such as the use of shelter and shade for the pedestrian and a variety of building masses.
8. Buildings should be designed with a logical hierarchy of masses:
 - To control the visual impact of a building's height and size.
 - To highlight important building volumes and features, such as the building entry.
9. The design of the built environment should respond to the desert environment:
 - Interior spaces should be extended into the outdoors both physically and visually when appropriate.
 - Materials with colors and coarse textures associated with this region should be utilized.
 - A variety of textures and natural materials should be used to provide visual interest and richness, particularly at the pedestrian level. Materials should be used honestly and reflect their inherent qualities.
 - Features such as shade structures, deep roof overhangs and recessed windows should be incorporated.



PLANNING AND POLICY CONTEXT - ZONING -



III. Planning and Policy Context (Cont'd)

10. Developments should strive to incorporate sustainable and healthy building practices and products.
 - Design strategies and building techniques, which minimize environmental impact, reduce energy consumption, and endure over time, should be utilized.
11. Landscape design should respond to the desert environment by utilizing a variety of mature landscape materials indigenous to the arid region.
 - The character of the area should be emphasized through the careful selection of planting materials in terms of scale, density, and arrangement.
 - The landscaping should complement the built environment while relating to the various uses.
12. Site design should incorporate techniques for efficient water use by providing desert adapted landscaping and preserving native plants.
 - Water, as a landscape element, should be used judiciously.
 - Water features should be placed in locations with high pedestrian activity.
13. The extent and quality of lighting should be integrally designed as part of the built environment.
 - A balance should occur between the ambient light levels and designated focal lighting needs.
 - Lighting should be designed to minimize glare and invasive overflow, to conserve energy, and to reflect the character of the area.
14. Signage should consider the distinctive qualities and character of the surrounding context in terms of size, color, location and illumination.
 - Signage should be designed to be complementary to the architecture, landscaping and design theme for the site, with due consideration for visibility and legibility.

vi. Dynamite Foothills Character Plan

The proposed Eco-Resort fulfills the goals and strategies of the Dynamite Foothills Character Area Plan in the following ways:

- Preserving the existing rural desert character of the Dynamite Foothills resulting in a unique desert community distinguished from other parts of Scottsdale and the Valley.
- Recognizing the topographic diversity of the Dynamite Foothills area and providing distinct guidelines for balancing the relationship of different development types to the unique environmental nature of the area.
- Promoting open space in accordance with CityShape 2020 Guiding Principles and the recommendations of the Desert Preservation Task Force, and supporting the efforts of the City and its citizens to provide open space.

A more detailed analysis of the Dynamite Foothills Character Area Plan is on page 71.

vii. Conclusion

The proposed development plan creates a unique environmentally sensitive, ecologically-themed, low-intensity Eco-Resort for Scottsdale. Sustainable planning principles will be implemented to minimize the impact on the environment from construction and ongoing operations of the Eco-Resort as well as create a development that is appropriate and respectful of the natural desert setting. Additionally, the Applicant will implement Scottsdale's Sensitive Design Principles and the goals and policies of the Dynamite Foothills Character Area Plan through sustainable building practices and the preservation of natural desert open space.



The rezoning request for R-4R applies to the northern 136.4 gross acres of the site, while the southern 76.7 acres of the development will remain R1-190 ESL and R1-130 ESL for the development of residential estate lots and to provide a meaningful buffer from Dynamite Boulevard to the Eco-Resort. The R-4R district is intended to accommodate a unique collection of resort amenities including recreational amenities, resort services as well associated resort-residential development.

Additionally Please see the following Addendum regarding "Scottsdale's First Eco-Resort." (next page)



PLANNING AND POLICY CONTEXT - ZONING -



III. Planning and Policy Context (Cont'd)

Addendum to Zoning Narrative

SCOTTSDALE'S FIRST ECO-RESORT

By the Lyle Anderson Companies

Desert Highlands
Desert Mountain
Member, Scottsdale Hall of Fame
Member, International Ecotourism Society

Scottsdale's first-ever eco-resort, proposed by the Lyle Anderson Companies, will protect, preserve and promote the natural environment, biodiversity and ecosystem of its Sonoran Desert property, as well as our area's heritage. Our goal is to ensure that the new Eco-Resort, in concert with its natural and cultural environment, will be operated according to recognized standards and practices in sustainable tourism, environmental conservation, biodiversity protection and cultural heritage preservation.

How?

- Design and construction will minimize the impact on the environment and promote the use of sustainable materials
- Promote energy and water conservation
- Educate guests on the flora and fauna unique to the Sonoran Desert
- Provide the opportunity for guests to learn about the rich Western heritage of Scottsdale
- Promote preservation of our Sonoran Desert ecosystem and natural resources
- Offer guests the opportunity to participate hands-on in rehabilitation and preservation of the flora and fauna of the Sonoran Desert

Sustainable Planning and Design Principle

Planning and design of the resort will seek to minimize the impact on the environment from the construction and the ongoing operations at the resort. LEED (Leadership in Energy and Environmental Design) principles will be used in the architecture to create a development appropriate for the desert environment. The design of the buildings and landscaping will focus on

utilizing designs for passive solar, passive cooling and water conservation. The desert design will create expansive indoor/outdoor spaces to offer unique experience with the environment.

Sustainable Building Technology

Sustainable building techniques and materials will be used in order to reduce the overall carbon footprint. The focus will be on energy and water conservation, reducing the impact on the fragile Sonoran Desert. Solar energy will be used to the extent possible. Rainwater and greywater will be captured to use in landscaping. Native desert plants will be salvaged from the site and reused in the landscaping.

Sustainable Operations & Programs

Resort operations will be structured to limit their carbon impact, minimize water use, and promote recycling.

Resort programs will promote environmental awareness and be built around a healthy, nature-focused lifestyle. Education programs will promote life-long learning focused on the ecology of our Sonoran Desert and the history of our Southwestern culture.

Our guests will be able to experience the beauty of the natural desert in the McDowell Sonoran Preserve and Tonto National Forest. Programs will also make use of the many resources in the Phoenix metro-area such as museums and botanical gardens.

Educational and interactive experiences of the eco-resort will be complemented by alliances with groups like Liberty Wildlife. Liberty Wildlife rescues, rehabilitates and releases into the wild, injured birds and animals. Tours of their offsite facilities and participation in releases are inspiring experiences.

Guests will have many recreational opportunities that allow them to experience the outdoor lifestyle enjoyed in the Southwest. World-class spa and fitness programs will promote a healthy lifestyle.

Making It Happen

Two decades ago, the Lyle Anderson Companies changed the way we think of residential development by creating environmentally-sensitive, award-winning designs at Scottsdale's Desert Highlands and Desert Mountain. The company seeks to pioneer again by creating Scottsdale's, and indeed Arizona's, first-ever Eco-Resort.

PLANNING AND POLICY CONTEXT - ZONING -



III. Planning and Policy Context (Cont'd)

C. Environmentally Sensitive Lands Ordinance (ESLO)

The Reserve exists within lands covered by the Environmentally Sensitive Lands Ordinance (ESLO). The purpose of the ESLO is to identify and protect environmentally sensitive lands in the city and to promote the public health, safety and welfare by providing appropriate and reasonable controls for the development of such lands. The Reserve lays entirely within a sub-category of ESL areas called the Upper Desert Landform, which brings specific criteria unique to that designation that affects certain aspects of development of the property.

The project conforms to the most recent update to the ESL ordinance. The applicant has included all significant rock outcropping and washes in the areas to be preserved by the NAQS dedication.

ESLO contains twelve general statements as to its purpose and goals. The Reserve implements these goals in the following ways (Paragraph references are to the corresponding paragraphs of City Code, Section 6.1010, Environmentally Sensitive Lands Ordinance.)

1. Protect people and property from hazardous conditions characteristic of environmentally sensitive lands and their development. Such hazards include rockfalls, rolling boulders, other unstable slopes, flooding, flood-related mud slides, subsidence, erosion, and sedimentation (Section 6.1011, Paragraph A.)

Response: In large part due to The Reserve's location within the Upper Desert Landform where there are not no steep hillsides, objective hazards due to rockfalls, rolling boulders, and other unstable slopes are minimal. The planning of the site will minimize flooding, subsidence and erosion through careful design considerations as to grading and drainage and geotechnical investigations to guide construction.

2. Protect and preserve significant natural and visual resources. Such resources include, but are not limited to, major boulder outcrops and large boulders, major ridges and peaks, prime wildlife habitat and corridors, unique vegetation specimens, significant washes, and significant riparian habitats. (Section 6.1011, Paragraph B.)

Response: The site planning emphasizes the beauty of the existing landscape and its proximity to the McDowell Sonoran Preserve. Existing prominent rock outcroppings will be accentuated as design features. The existing washes provide a desired wildlife habitat. Restoration of lands damaged by the 1995 Rio Fire will bring the natural and visual resources back to historic levels. Development practices will include use of native materials as well as plant salvaging and reuse as appropriate.

3. Protect renewable and nonrenewable resources such as water quality, air quality, soils, and natural vegetation from incompatible land uses. (Section 6.1011, Paragraph C.)

Response: The Reserve, as an Eco Resort, will highlight living with the land and the maintenance of a low carbon footprint. As detailed addressed elsewhere, green building techniques will be employed in the planning, construction and management of the property. During construction, common protection techniques will be employed to minimize adverse impacts on the natural resources. There should be no adverse impact on water quality and air quality. Air quality and erosion control practices will be employed as required by State, Federal, and local regulations. Soils and geo-technical testing will be used to guide design and construction of sensitive slope areas. Hardscape and plant materials will be salvaged from disturbed areas and reused on the site. As part of its environmentally sensitive principles, conservation and recycling will be implemented throughout.

4. Minimize the public costs of providing public services and facilities in ESL areas such as streets, water, sewer, emergency services, sanitation services, parks, and recreation. Costs associated with the design and development of infrastructure in environmentally sensitive areas can be higher than costs in other areas of the city due to the unique and fragile nature of such lands. (Section 6.1011, Paragraph D.)

Response: The Reserve will be a gated community with the onsite costs of construction and maintenance borne by the The Reserve community. Public infrastructure will be brought to points adjacent to the property at the owner's expense. Green building techniques will be utilized, at additional cost to the owner, at each stage of the life of the property, from planning through construction to long term management.

5. Conserve the character of the natural desert landscape. Guide the location and distribution of meaningful on-lot and common tract open space and protect sensitive environmental features to sustain the unique desert character found in ESL areas. (Section 6.1011, Paragraph E.)

Response: The natural desert landscape and surroundings are the reason for being basis of The Reserve as an Eco Resort community. Residents and visitors will enjoy an experience guided by integration of human and natural environments. Careful sensitivity to protecting the natural flora and fauna, as well as natural desert landscape will be employed. Required open space standards will be met or exceeded. Linked, contiguous, and continuous open space will be designed into the project.



PLANNING AND POLICY CONTEXT - ENVIRONMENTALLY SENSITIVE - LANDS ORDINANCE



III. Planning and Policy Context (Cont'd)

C. Environmentally Sensitive Lands Ordinance (ESLO)

6. Recognize and conserve the economic, educational, recreational, historic, archaeological, and other cultural assets of the environment that provide amenities and services for residents and visitors. (Section 6.1011, Paragraph F.)

Response: It is the goal of The Reserve to set the highest standards for providing economic, educational, historical, and cultural contributions to the larger community. Partnerships with local historical, conservation and wildlife organizations will offer on-going programmatic experiences for visitors and residents alike. Guests will leave with a greater understanding of both the rich Western heritage as well as the beautiful Sonoran Desert and of Scottsdale itself.

7. Assure that decisions regarding development in environmentally sensitive areas are based on complete and accurate information about the environmental conditions including drainage features and probable development impacts. (Section 6.1011, Paragraph G.)

Response: Throughout the process of detailed site planning, drainage, grading and open space reports will be conducted to guide the development. The existing drainage courses will be maintained to the maximum extent possible consistent with quality development. The goal will be to maintain and highlight the natural desert environment and to ensure wildlife and visual corridors and uninterrupted pre-construction drainage flows.

8. Minimize the impacts of development by controlling the location, intensity, pattern, design, construction techniques, and materials of development and construction. (Section 6.1011, Paragraph H.)

Response: The entire site will be planned to meet or exceed the standards laid out in the ESLO and the Dynamite Foothills Character Area Plan. The existing terrain will often dictate many of the decisions concerning location of buildings, roads and pathways. Buildings will be interlaced around with rock outcroppings, washes and view corridors. Existing natural materials will be used and where applicable reused. Drainage pathways will be left undisturbed to the extent possible. Soils reports will be used to ensure slope stability consistent with quality development.

10. Maintain significant open spaces which provide view corridors and land use buffers, protect landmarks and large boulders, and prime wash habitats, by preserving these features in their natural state to maintain the city's unique desert setting. (Section 6.1011, Paragraph J.)

Response: ESL Open Space requirements will be met or exceeded. Preservation of view corridors, washes and wild life habitats will guide development. There will be land use buffers along Dynamite (Scenic Corridor) and along 118th Street. The location of the Eco-Resort at the north end of the property and away from transportation corridors was chosen in part to maintain the unique characteristics of the Upper Desert Landform and the Dynamite Foothills Character Area Plan.

11. Protect environmentally sensitive lands, while also recognizing the legitimate expectations of property owners and the city's overall economic goals. (Section 6.1011, Paragraph K.)

Response: The Reserve will strike the appropriate balance of strict environmental protection with prudent business decision making that will lead to a successful project. A greater appreciation of the desert environment will come from the protection of ESL while allowing reasonable human integration. Lyle Anderson has a long track record of producing communities that achieve that goal. The Reserve will be Scottsdale's first Eco-Resort and will tap into the emerging market for eco-tourism. This would not be possible without Environmentally Sensitive Lands. The owner and the City will reap the benefits of increased tourism and visitors taking home a rich experience and new knowledge about the beautiful Sonoran Desert. The potential corporate retreat will attract individuals with far reaching capabilities to multiply that learning.

12. Encourage innovative planning, design, and construction techniques for development in environmentally sensitive areas. (Section 6.1011, Paragraph L.)

Response: The Reserve will incorporate innovative green building principles throughout its planning, design, construction and management. Sustainable building techniques and materials will reduce its overall carbon footprint, LEED standard and appropriate techniques ranging from solar energy sourcing to the use of reclaimed wastewater to thicker walls and shading structures to naturally regulate heat will be employed. The project will blend into with the environment and reflect the environment, with a merging of indoor and outdoor spaces as well as a blending of human and natural experiences.



PLANNING AND POLICY CONTEXT - ENVIRONMENTALLY SENSITIVE - LANDS ORDINANCE



III. Planning and Policy Context (Cont'd)

D. Dynamite Foothills Character Area Plan

The Property falls within the Dynamite Foothills Character Area. The Dynamite Foothills Character Area Plan (DFCAP) is a Policy document containing guidelines on how future planning and development can unfold in the designated area of the City. It was developed based on a number of studies and citizen involvement processes to maintain the lifestyle and character of the Area.

The DFCAP lays out Goals and Strategies for the Area. The Reserve: The Eco-Resort For Scottsdale ("The Reserve") implements the Goals and Strategies of the DFCAP by:

1. Preserving natural, visual qualities of the Sonoran Desert by using desert-sensitive building techniques that blend with the natural desert character;
2. Promoting connected areas of desert open spaces and trails through visual and functional linkages;
3. Identifying and celebrating the rural desert character experienced in the Dynamite Foothills study area that will result in or maintain its unique desert community.

The Reserve will meet the key DFCAP Goals and Strategies in the following ways:
The following strategies will promote the three goals of the Dynamite Foothills Character Area Study.

DFCAP Goal 1: Preserve the existing Rural Desert character for the Dynamite Foothills which will result in a unique desert community distinguished from other parts of Scottsdale and the Valley. (Page 13 – Page references are to the Dynamite Foothills Character Area Character Area Plan)

Strategies:

1. Existing allowable densities (under current zoning and General Plan designations) are appropriate for all but a few areas on the fringes of the character area as identified on the accompanying map. (Page 13)

Response: The Reserve maintains traditional low density on 164.0 acres but proposes using the Resort Designation in the City's General Plan to be assigned to this project on the remaining 49.1 acres.

2. Use infrastructure to preserve the Rural Desert character. (Page 13)

Streets/Transportation and Infrastructure

Street design must provide for the safe movement of vehicles, bicyclists and pedestrians and provide for adequate drainage as well as emergency and maintenance vehicle access. In general, design guidelines from the Environmentally Sensitive Lands Ordinance (ESLO) should be used to minimize impacts on the natural environment.

Response: The Reserve will use design principles for Streets and Infrastructure in full compliance with ESLO.

The Reserve will design street alignments that respond to the natural terrain where possible and it will maintain the "dark skies" in the area by discouraging street lights on local and collector streets. It will allow the use of ribbon curbs on collector and residential streets where rolled or vertical curbs are not required for drainage mitigation.

The Reserve will design a connected public trail system, separate from the streets. Where appropriate, it will use stabilized decomposed granite for sidewalks consistent with city standards.

The Reserve will use appropriate colors and textures on man-made elements to blend into the surrounding natural desert environment.

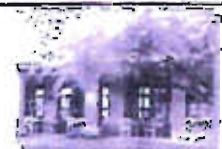
Drainage Infrastructure

Response: The Reserve will restrict development in watercourses, i.e. floodplains and washes, and it will provide adequate drainage design for roads to minimize erosion and maintenance.

The Reserve will use native plant species appropriate to riparian areas and correspond to the plant densities of the surrounding areas according to the ESLO and the Landscaping Ordinance, in its drainage infrastructure as appropriate.



PLANNING AND POLICY CONTEXT - DYNAMITE FOOTHILLS - CHARACTER AREA



III. Planning and Policy Context (Cont'd)

D. Dynamite Foothills Character Area Plan

Public Safety

Response: The Reserve will design all roads to accommodate emergency vehicle access and will encourage environmental design of development which reduces opportunities for crime and enhances emergency response.

In recognition of its proximity to the McDowell Sonoran Preserve, it will promote protection for wildlife through appropriate landscape design and standards.

Water/Wastewater

Response: The Reserve will comply with the City's master plans for water and wastewater systems and it will avoid, where possible, the disturbance of sensitive desert environments with water and wastewater infrastructure.

Utilities

Response: The Reserve will utilize underground placement of all new onsite electric utilities. In addition, the Reserve supports and encourages APS to underground their proposed 69Kv facilities that are planned in 118th Street as Part of the Northeast Valley Project. (Is this an APS or Scottsdale project)

3. Promote the use of Site Planning Techniques which minimize the visual impact of development and promote a Rural Desert Character. (Page 16)

Response: The Reserve will use native or desert landscaping and discourage turf grass in areas visible from surrounding properties or public roadways. It will also discourage the use of perimeter walls.

Where walls are used (yard enclosures) they will be encouraged to undulate with the natural terrain, use desert tone colors to blend into adjacent natural desert, provide breaks or gaps for indigenous wildlife migration routes, and maintain open vista corridors.

The Reserve will designate grading and construction envelopes during the development of a site to protect the surrounding natural desert areas from construction encroachment. It will promote building envelopes to minimize disturbance of the natural site, to create a sense of openness, and to provide meaningful open space.

The Reserve will comply with the natural area open space (NAOS) and design requirements of the ESLO.

In particular with regard to the Eco-Resort, the Reserve will consider cluster development as a means to provide a range of building types. Net density and character of clustered areas shall remain consistent with the Rural Desert character of the Dynamite Foothills area.

4. The city will consider a larger Scenic Corridor along Dynamite Boulevard to provide a more open feel from the roadway and a larger open view corridor. (Page 18)

Response: The Reserve will maintain the Scenic Corridor along Dynamite Boulevard by maintaining a buffer of large estate lots within proximity to the street alignment and the Eco-Resort will be set back from Dynamite Boulevard so as not to change the Scenic Corridor.

5. Use native vegetation in streetscapes. Hardscapes should assume a rustic style appropriate to the area. (Page 19)

Response: The Reserve will utilize native vegetation in all design elements.

6. Provide multiple street and trail access into and throughout residential neighborhoods. Gated communities that restrict vehicular and trail access are discouraged. (Page 19)

Response: The Reserve will be a private resort community. Transition development adjacent to conservation areas at the McDowell Sonoran Preserve by using appropriate setbacks, building scale, building massing, and open space. (Page 19)

Response: The Reserve with its Eco-Resort capitalizes on the McDowell Sonoran Preserve (MSP) in a way that optimizes the benefits to both. It maintains the Rural Character and feel of the DFCAP by placing the large estate lots along Dynamite, and then moves the Eco-Resort into the northern portion of the parcel closest to the Preserve. However, by keeping the integrity of the MSP intact and not allowing public access, the net experience is one of protection and appreciation that provides a sincere transition and buffer to the MSP.

PLANNING AND POLICY CONTEXT - DYNAMITE FOOTHILLS - CHARACTER AREA



III. Planning and Policy Context (Cont'd)

D. Dynamite Foothills Character Area Plan

Goal 2: Recognize the topographic diversity of the Dynamite Foothills area and provide guidelines for balancing the relationship of different types of development to the unique environmental nature of the area. (Page 19)

Strategies:

1. The city should develop guidelines for residential development through this Character Plan which incorporates site planning, open space, building massing, and construction techniques which preserve the Rural Desert character. (Page 19)

Response: The Design Guidelines for The Reserve (provided elsewhere in this application) provide for design and construction techniques that preserve the Rural Desert Character and appropriate architectural style and material of the Area. The Rural Desert Character is a predominant feature of this Character Area. The Reserve, in order to reinforce that rural character, maintains a low overall density of less than 1.6 units per acre. Locations for buildings and other development uses, such as roads, trails, open space and other resort amenities will be carefully located to blend with the existing desert, provide adequate spacing and separation from use to use, and maintain existing views to the surrounding environment as much as reasonably possible. These development strategies promote the rural character which is a feature of this area. In addition to these development strategies, the architecture of the Eco Resort will complement the existing desert by keeping a low profile, utilizing similar materials that are found naturally in the desert, and by using colors that both match and complement the desert landscape. Aside from the built environment, the landscape palette for the Reserve draws from the Sonoran desert, which will reinforce the rural character of the Eco Resort.

2. The City may consider low-scale and low-intensity non-residential uses similar in character to residential development with a low profile, a rural southwestern feel, and preservation of meaningful open space. (Page 20)

Response: The Eco-Resort will be designed with a low profile, meaningful open space, and a rural southwestern feel. These are guiding principles to the design and development of the Eco-Resort. The topography at The Reserve is predominantly gently rolling desert terrain. There are no steep hillsides or mountains on the site. Therefore careful attention will be paid to the heights of the buildings in order to ensure that the buildings blend in with the existing desert. The layout and buildings of the Eco-Resort will naturally roll and undulate with the terrain, instead of sitting on top of it. The architecture of the Reserve will have a strong rural southwestern feel, further enhancing the character of the area, and all of the buildings will be residential in scale. Open space will feature many types, all serving an important purpose. Open space will be utilized for desert preservation, passive activities, trail corridors, drainage and animal migration, community connections, and visual buffers.

3. The City may consider resorts in the Dynamite Foothills area if all structures maintain a rural southwestern feel, maintain a low profile, and preserve meaningful desert open space. Specialty resorts (dude ranches or health resorts) surrounded by large areas of open space to further the desert theme of the Dynamite Foothills will be considered. (Page 20)

Response: The Eco-Resort will be designed with a low profile, meaningful open space, and a rural southwestern feel. The individual resort units will be residential in scale and will be spaced with ecological and topographical sensitivity around the Eco-Resort. Their orientation will be shifted to maximize individual views and to minimize the chance that one could visually impact another. It is likely that the architecture will involve materials derived from naturally occurring and appropriate Southwestern Themes e.g., desert rock, adobe, rough hewn wood. Open space is a key component of the Dynamite Foothills Character Area. By utilizing a low profile for development, long distance views to scenic features like Weavers Needle and Four Peaks can be maintained. Careful positioning of buildings and roads, utilization of adequate setbacks, appropriate separation of uses, and proper orientation provides even further opportunities for both short and long range views.



PLANNING AND POLICY CONTEXT - DYNAMITE FOOTHILLS - CHARACTER AREA



III. Planning and Policy Context (Cont'd)

D. Dynamite Foothills Character Area Plan

4. Encourage property developers to provide meaningful open space following the guidelines of the Desert Preservation Task Force. For example, connect open spaces like wash corridors/floodplains, natural area open space (NAOS), conservation open space (COS), etc. (See meaningful open space definitions in Appendix D -Desert Preservation Task Force Strategic Plan and Standards report.) (Page 20)

Response: The Reserve will be planned, designed and constructed within the guidance of the principles of NAOS and ESLO requirements. Numerous washes traverse the The Reserve and will be used as NAOS wherever possible. In addition to containing drainage, washes provide ideal locations for animal migration. These wash corridors will also serve as pedestrian connections between different areas of the Eco-Resort at Scottsdale as they are excellent trail opportunities. Washes provide ideal natural connections between all of the resort uses. Paths and trails will be carefully planned and located as not to disturb the washes or associated flows, and to ensure meaningful open space for guests and residents alike. Other areas of NAOS that are not associated with wash corridors also make great open space pedestrian connections within the Reserve. These areas will also be utilized to provide pedestrian connectivity between resort uses. Providing abundant trail and pedestrian connection opportunities helps reduce the overall use of automobiles, which in turn reduces physical and noise pollution, and further enhances the environmental quality of the Eco-Resort. Wash and open space corridors not only provide great pedestrian connections within the Eco-Resort, but they also provide great natural buffering between resort uses, further enhancing the rural character of the Eco-Resort.

5. The city may consider golf course developments in this area if they are target-type courses, integrated into the existing desert environment, use native plant material, and follow the natural topography of the area. Golf courses should maintain the Rural Desert character of the Dynamite Foothills by including enough land area to minimize the visual impacts of the golf course itself and permit residential development at a low net density. Golf course development should comply with the City's approved Golf Course Policy. (Page 20)

Not Applicable.

6. The City may consider the development of neighborhood services such as professional offices, grocery stores, and churches, when population and market conditions justify and in appropriate locations. These services should be located near street intersections and/or near each other. (Page 21)

Not Applicable.

7. Non-commercial equestrian uses are an appropriate fit in the Dynamite Foothills Rural Desert character. The City encourages the location of non-commercial equestrian uses in less environmentally sensitive areas within the district and/or on the development parcel. Access should be provided to shared-use trails which connect into the citywide and regional trail system. (Page 21)

Response: The Reserve will encourage guests and residents to utilize the extensive trail systems associated with the nearby McDowell Sonoran Preserve (utilizing established nearby and future trails and trail-heads.) The Eco-Resort is unique in its proximity to the McDowell Sonoran Preserve. The Preserve provides opportunities for hiking along with incredible and expansive views of beautiful desert open space. The Reserve is committed to creating a resort community that complements the existing character of the Preserve, and fully appreciates the opportunities the Preserve has to offer.

8. Encourage an orderly development pattern extending from existing development. Development that negatively impacts the city's ability to provide and maintain infrastructure and services is discouraged (based on the Cost of Services Study and Valley wide standards for service and infrastructure). (Page 21)

Response: The Developer of the Eco-Resort will be expanding the surrounding water and sewer systems to provide service to this project. As part of these improvements, additional capacity will be created thus improving service to the surrounding property owners. In addition, this project will be constructing a sewer lift station at 122nd street and Dynamite. This lift station will make city sewer available to the surrounding area and eliminate the need for septic systems.



PLANNING AND POLICY CONTEXT - DYNAMITE FOOTHILLS - CHARACTER AREA



III. Planning and Policy Context (Cont'd)

D. Dynamite Foothills Character Area Plan

Goal 3: Promote open space in accordance with the CityShape 2020 Guiding Principles and the recommendations of the Desert Preservation Task Force, and support the efforts of the McDowell Sonoran Preserve Commission to provide open space. (Page 22)

Strategies:

1. The City should consider developer donation, density transfer, purchase, county acquisition, state land leasing, the Arizona Preserve Initiative and other methods where funding will allow, to provide meaningful open space as defined in the Desert Preservation Task Force Strategic Plan and the goals of the McDowell Sonoran Preserve Commission. (Page 22)

Response: The Reserve is fully committed to and wishes to partner with the appropriate entities to fulfill the goals of the McDowell Sonoran Preserve (MSP). In particular given its proximity to the connection between the southern and northern halves of MSP and the great importance of Interconnectivity of those halves in order to achieve a full functioning eco-system within the MSP, The Reserve will be an active participant working with entities that can help facilitate the protection and preservation of wild life habitat and wild life corridors in the general area.

The Reserve will also be developing partnerships with local conservation entities that will work with The Reserve to offer conservation oriented programs to Eco-Resort guests. Those opportunities will allow for mutually beneficial results in terms of learning experiences for guests and potential enhancement of the local conservation entities' outreach efforts and success.

2. Designate and sign appropriate public access to the McDowell Sonoran Preserve and other conservation/ preservation areas. (Page 22)

Response: The Reserve in consultation with members of the McDowell Sonoran Preserve Commission and City Staff has agreed not to provide public access through the Reserve to the MSP. Instead, the guests and residents of The Reserve will utilize the extensive network of planned trails and facilities in the area, including planned MSP trail heads of Fraesfield Mountain, Tom's Thumb and 104th Street north of Dynamite, all of which are within easy transportation from The Reserve.

3. Use open space and conservation/preservation areas to preserve a Rural Desert character. (Page 22)

Response: The Reserve will provide visual open space amenities along and near streets and use natural open space between new developments and existing roadways to minimize the impact on existing views. The Reserve is providing 100 feet of open space along Dynamite Boulevard as part of a desert Scenic Corridor. In addition, The Reserve will feature a landscape buffer along 118th St, to help screen vehicular traffic.

The Reserve will encourage the use of Natural Area Open Space in site planning and resort residential layout to ensure an overall openness to subdivisions, individual development, and the planning area. It is the goal of The Reserve to provide open space connections into every part of the Eco-Resort. The use of open space and pedestrian connectivity is a virtual signature of The Reserve.

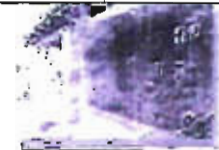
The Reserve will restrict access to sensitive habitats and it will sustain natural flora and fauna resources and systems through the provision of natural area open space. It will encourage the integration of natural area open space throughout development projects and on the perimeter of projects to ensure open space connections and a feel of openness throughout the area.

These connections will be enjoyed by guests and residents alike to utilize a trail system which connects to open spaces.

The Reserve will provide building setbacks which are not all in a straight line and avoid giving the image of being in a straight line along the edges of projects and open space buffers.

The Reserve will work with and support the efforts of appropriate entities in the preservation effort to seek an open space connection between the Tonto National Forest and the McDowell Mountains to provide for wildlife migration and movement and drainage and floodplain management.

PLANNING AND POLICY CONTEXT - DYNAMITE FOOTHILLS - CHARACTER AREA



III. Planning and Policy Context (Cont'd)

D. Dynamite Foothills Character Area Plan

4. Encourage open spaces throughout development projects and on the perimeter of projects where appropriate, to promote an open space transition from development to development, to ensure open space connections and a feel of openness throughout the area. (Page 24)

Response: The Reserve, through its own design elements and standards, and in particular provision of the Scenic Corridor along Dynamite Boulevard, provides the requested openness. Open space and pedestrian connectivity are key features of The Reserve. The Reserve will connect not only internally, but to pedestrian connections along Dynamite Boulevard and 118th Street as well.

5. The city should study and define continuous floodplains and wash corridors prior to development. (Page 24)

Response: The Reserve's engineers and planners have undertaken such requested efforts.

6. Use parks and recreation areas to enhance and preserve a Rural Desert character. (Page 24)

Response: The amenities of The Reserve and Eco-Resort will not need separate recreation facilities because these open spaces will be incorporated within the design itself.

The Reserve will use drought tolerant plant material in landscaped areas and will provide lighting systems to ensure participant safety and to minimize glare and trespass light into adjacent neighborhoods and streets.



PLANNING AND POLICY CONTEXT - DYNAMITE FOOTHILLS - CHARACTER AREA



III. Planning and Policy Context (Cont'd)

E. Scottsdale's Design Standards & Policy Manual

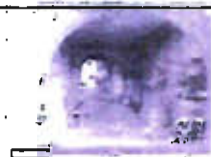
Scottsdale has established a set of guidelines for the design of public and private projects within the city. These guidelines are contained within the Design Standards and Policy Manual, commonly known as the DS&PM. The DSPM is made up of 12 chapters all dealing with various areas of public and private development issues and is intended to provide direction during the design of and construction document preparation for development activities within the City.

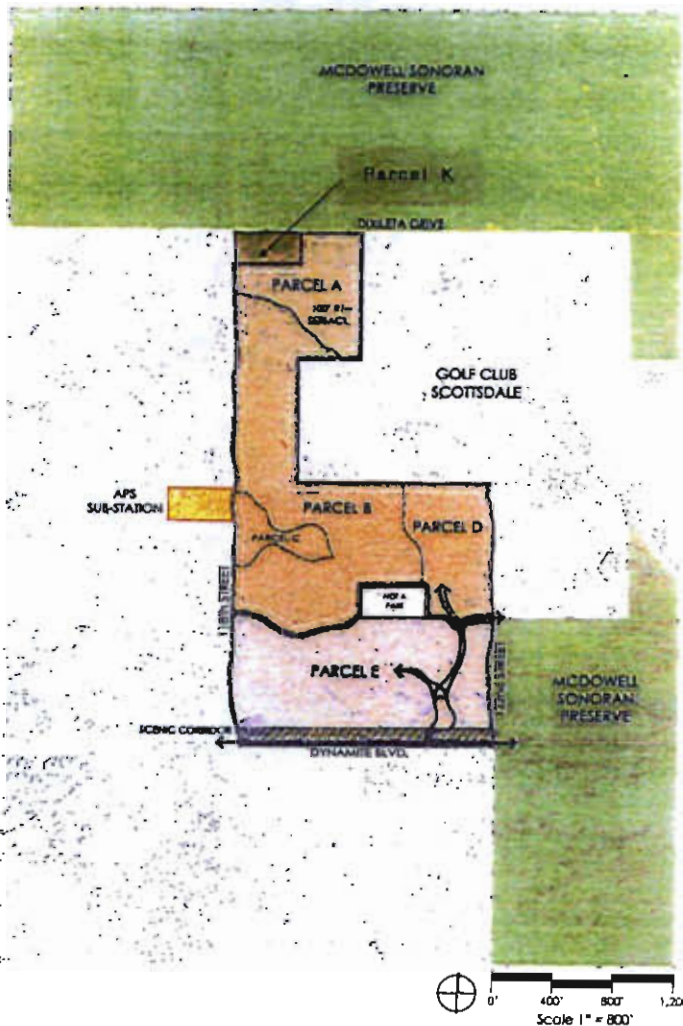
The Reserve Eco-Resort is in the preliminary stages (Rezoning and Non-Major General Plan Amendment). As result, specific design has not begun at this time. As the project moves forward to the design phases, the standards and policies conveyed by the DSPM will be followed, such as, but not limited to the following-

- Site features such as washes, boulder outcrops and native vegetation will be kept in as natural state as possible. Improvements that are required to natural washes will compliment their natural function and appearance.
- Concrete for exposed drainage structures, sidewalks, curbs, gutters and driveways will be integrally colored.
- Roadway cross-sections will comply with ESL standards as illustrated in the DSPM
- Local native rock will be used for erosion protection
- Roadway and driveway alignments will be selected to minimize disruption to the natural drainage patterns of the site. Where crossings are necessary, consideration will be given to flow over the roadway, erosion, sediment transport and clogging.

- Grading and disturbance to the site will be minimized. Fill and cut slopes will be graded to blend back into the natural terrain. Where retaining walls are required heights will be kept to a minimum and terracing will be incorporated to avoid "tall" wall impacts.
- Service Entrance Sections (SES) will be incorporated into the design of the building and will be subject to Development Review Board approval
- Emergency access will meet or exceed Scottsdale Fire Department requirements
- Gated entrances will comply with the standards of figure 2.1-3 of the DSPM
- Parking areas will incorporate generous landscaped areas
- Storm water storage basins and drainage channels will comply with DSPM standards. In addition, they will be shaped to be "free-form" so as to blend into the natural desert surroundings. Landscape material will generally be native plants capable of surviving periodic inundation such as the species identified in section 2-1.903 of the DSPM.
- Landscape lighting will be used only to accent plant materials. The Reserve Eco-Resort will adhere to Dark-Sky practices.
- To minimize impact, utility lines will be located in road and driveway corridors as much as possible. In cases where utility lines cannot follow a road or driveway corridor, they will be located in easements or separate tracts and where desert materials are damaged due to the installation, re-vegetation will be provided.

PLANNING AND POLICY CONTEXT - DYNAMITE FOOTHILLS - CHARACTER AREA





IV. Reserve Development Plan

A. Vision

The Reserve Eco-Resort will be to the Scottsdale desert what noted eco-lodges are to various rain forests around the world.

The Vision-

Create the most environmentally sensitive and authentic Sonoran Desert lodging experience and integrated community in Arizona, celebrating the City of Scottsdale's McDowell Sonoran Preserve. A truly unique, "rural" resort experience that is residential in character and consistent with the Dynamite Foothills Character Area.

Imagine a five star environmentally sensitive resort and corporate retreat nestled against some of the most beautiful untouched desert in the Southwest. The concept is to merge luxury with sustainability, while emphasizing wellness and intellectual and physical exercise for its guests and residents.

Lyle Anderson owns over 200 acres of land nestled between the Golf Club of Scottsdale and the McDowell-Sonoran Preserve which creates the perfect opportunity to create a world-renowned desert eco-lodge and corporate retreat (e.g. Aspen Institute) overlooking such a pristine preserve.

There is a significant rise in the interest of eco-travel and the international trend of travelers that pursue destinations that enhance nature rather than destroy it.

The Eco-Resort will incorporate advice from local historians and consultants such as Marshall Trimble to illustrate the true history and nature of the land into the Eco-Resort facility and its operations. It will use advisors with sensitive, environmental design expertise to help ensure limited effects on the environment and the surrounding area.

	Parcel	Use	Gross Acres	Keys/Units	Proposed Zoning
	Parcel K	Eco-Resort	6.0	1	R4-R
	Parcel A	Eco-Resort	24.1	80	R4-R
	Parcel B	Resort Village	76.7	127	R4-R
	Parcel C	Resort Amenity	10.6	0	R4-R
	Parcel D	Resort	25	100	R4-R
	Parcel E	Estates	76.7	17	R1-150 ESL / R1-130 ESL
	Total:		213.1		

Total Resort Keys: 180

Total Resort Villas: 127

Total Estates: 17

RESERVE DEVELOPMENT PLAN



IV. Reserve Development Plan (Cont'd)

The Reserve has the opportunity to create a new standard for environmental excellence in our own backyard. After years of thought and planning, and derived from his company's design legacy, Lyle Anderson is preparing to bring The Reserve to life. This resort community represents the "next generation" of the Lyle Anderson communities, addressing population trends, market conditions and consumer needs and preferences.

Development Goals

The Eco-Resort, Scottsdale's first and only, will protect, preserve and promote the natural environment and the ecosystem of its Sonoran Desert setting, as well as Scottsdale's heritage. Our goal is to ensure that the natural and cultural environment, as well as the new Eco-Resort itself, will be managed and operated according to the recognized standards, practices and guidelines in sustainable tourism, environmental conservation, biodiversity protection and cultural heritage preservation.

- Educate guests on the flora and fauna unique to the Sonoran Desert
- Promote conservation and recycling
- Design and construction will minimize the impact on the environment and promote the use of sustainable materials
- Promote preservation of our Sonoran Desert ecosystem and natural resources
- Allow guests the opportunity to participate in protective and convalescent care programs for indigenous wildlife and vegetation
- Preserve the opportunity for guests to learn about the rich Western Heritage of Scottsdale

Sustainable Planning and Design Principle

Planning and design of the resort will strive to minimize the impact on the environment for both the construction and the ongoing operations of the resort. The latest LEED (Leadership in Energy and Environmental Design) principles will be used in the architecture to create a development appropriate for the desert environment. The design of the buildings and the landscape will focus on utilizing passive solar and passive cooling designs, and water conservation techniques.

Sustainable Building Technology

We will use the latest sustainable building techniques and materials with a goal of reducing the carbon footprint of the development. The focus will be on energy and water conservation and reducing the impact on our Sonoran Desert. Solar energy will be used to the extent feasible. Rainwater and greywater will be captured to use in landscaping. Native desert plants will be salvaged from the site and re-used in the landscape. Building materials from recycled sources or rapidly renewable plants will be chosen whenever possible. We will seek the highest LEED certification practicable.

Sustainable Operations and Programs

Resort operations will be structured to minimize carbon impact, minimize water use, and promote recycling.

Eco-Resort programs will promote environmental awareness and be built around a healthy, nature-focused lifestyle. Education programs will also promote life-long learning focused on the ecology of our Sonoran Desert and the history of our Southwestern culture unique to Scottsdale.

Connections to the adjacent Scottsdale Desert Preserve and nearby McDowell Sonoran Preserve, as well as Tonto National Forest, will allow guests to experience the beauty of the natural desert. Programs will also make use of the many resources in the Phoenix metro-area such as museums and botanical gardens.

Alliances with environmental and conservation groups such as Liberty Wildlife will establish an ongoing collaboration between the resort/community and conservation efforts, thus providing resort guests and community residents with exciting educational and volunteering opportunities.

Guests and community residents will have many recreational opportunities that allow them to experience the outdoor lifestyle that we enjoy in the Southwest, such as hiking, tennis, and golf. World-class spa and fitness programs will promote a healthy lifestyle.

The Eco-Resort may also offer opportunities for guests to volunteer in ecological or cultural projects.



RESERVE DEVELOPMENT PLAN



IV. Reserve Development Plan (Cont'd)

B. Land Use

The Eco-Resort will feature a variety of resort related land uses. Aside from the Eco-Resort itself, other resort related uses include the Eco-Resort Village, The Eco-Resort Amenity, and the Estates.

The Eco-Resort Village is comprised of a variety of resort related residential uses. Densities remain very low averaging approximately 1.5 units per acre. The Eco-Resort Campus features a variety of integrated uses. Including the Resort itself, the 213 acre Eco-Resort Campus includes 180 Resort keys, 127 Eco-Resort villas, and 17 Resort Estates. By way of comparison, north Scottsdale's Four Seasons Resort offers 210 rooms and 44 Residence Club Casitas on approximately 45 acres.

The Eco-Resort Campus will showcase resort units/keys of exceptional quality in design, execution and lifestyle offerings. It is anticipated that the length of stay at such facilities will vary by targeted consumer groups served by the Eco-Resort, however, length of stay will be consistent with that of luxury high-end resorts.

The Eco-Resort Amenity features recreational uses for resort guests and community residents. Uses include, but are not limited to tennis, sport court activities, lawn games, lifestyle center, and passive open space.

The Estates feature large lot custom home opportunities. The Estates, along with providing outstanding luxury homesites, serves as an ideal buffer from the East/West arterial, Dynamite Boulevard, and the low density, secluded Eco-Resort. The Estate homesites are carefully planned to take full advantage of the abundant views without blocking views from adjacent homesites.

Such associated resort units will be able to be rented through the Eco-Resort.



Development Plan Worksheet



1086 PA 2008

Project Data Sheet Residential/Commercial

Coordinator: Murillo

Project Address: NEC 118th & Dynamite

Date: June 23 2010

Proposed Use: Eco Resort Village

Zoning District: R-4R

TO BE COMPLETED BY APPLICANT		CALCULATIONS	TO BE COMPLETED BY CITY
COMMERCIAL	RESIDENTIAL		
	213	Net Lot Area	
	213	Gross Lot Area	
		Gross Floor Area Allowed	
		Gross Floor Area Provided	
		Building Volume Allowed	
		Building Volume Provided	
	324*	Number Of Units Or Lots	
	10.6 units/ao	Density Allowed	
	1.5 units/ac	Density Provided	
	5770 s.f.	Minimum Lot Size Allowed	
	TBD	Minimum Lot Size Provided	
	35'	Building Height Allowed	
	35'	Building Height Provided	
	TBD	Net Floor Area	
	TBD	Parking Spaces Required	
	TBD	Parking Provided On-Site	
	None	Parking Provided Off-Site	
	TBD	Total Parking Provided	
	74.2 Ac.	Open Space Required	
	86.3 Ac.	Open Space Provided	
	TBD	Front Open Space Required	
	TBD	Front Open Space Provided	
	TBD	Parking Lot Landscaping Required	
	TBD	Parking Lot Landscaping Provided	

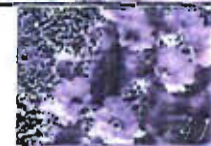
SET BACKS & PARKING REQUIREMENTS

REQUIRED	PROVIDED	CALCULATIONS	N, S, E, or W	REQUIRED	PROVIDED
30	30	Front	S		
30	30	Rear	N		
30	30	Left Side	E		
30	30	Right Side	W		
		Parking			

*324 Units represent 180 Resort Room Keys, 127 Resort Villas, and 17 Estate Lots

**Buildings and structures within 100 feet of the west boundary (118th Street), the south boundary (Dynamite Boulevard), and the Preserve will not exceed 24 feet in height. All other buildings and structures will not exceed 29 feet in height, except for special features such as chimneys and towers which shall not exceed 35 feet in height as required by the R-4R zoning regulations.

RESERVE DEVELOPMENT PLAN



V. Community Design Elements

A. Introduction

This section of the document describes in greater detail the overall look and feel of the Reserve, and provides a set of design standards for the development of the Reserve. These community design elements are not intended to be a restrictive set of "Design Guidelines" but instead a more detailed approach to crafting the character of the community. These design elements are general enough to provide room for creative design, but detailed enough to point an accurate picture as to the eventual look and feel of the Reserve.

There are two basic components to the Reserve. The first is the Eco-Resort. The Eco-Resort will be the first of its kind in Arizona, and unique to Scottsdale. Striving to preserve and protect the natural environment, biodiversity and ecosystem of the Sonoran Desert, the Eco-Resort will also aim to preserve and protect the cultural heritage of the property. The Eco-Resort will be designed and constructed to minimize the impact on the environment and promote the use of sustainable materials. In addition, the Eco-Resort will promote energy and water conservation, as well as educate guests on the flora and fauna unique to the Sonoran Desert.

Other goals of the Eco-Resort are to promote preservation of our Sonoran Desert ecosystem and natural resources. Education is important as the Eco-Resort looks to provide opportunities for guests to learn about the rich Western Heritage of Scottsdale, and allow guests the opportunity to participate in rehabilitation and preservation of endangered Sonoran Desert animals.

The Eco-Resort will utilize sustainable planning and design principles. The latest LEED principles will be used in the architecture to create a development appropriate for the desert environment. Sustaining building technologies will feature the latest in sustainable building techniques and materials with the goal of reducing the overall carbon footprint. Going beyond architecture, resort operations will be structured to minimize carbon impact, minimize water use, and promote recycling.

Several additional key design principles to the Eco-Resort include...

- Strive to be visually un-obstructive to the surrounding area.
- Design should be sensitive to the native landforms and vegetation.
- The entire Eco-Resort should integrate energy creating technology and strive to be "off the grid".

- All building materials and construction techniques should be environmentally relative and honest raw materials.
- The Eco-Resort should promote and re-create the natural environment and be friendly to indigenous animal life.
- The Eco-Resort should be of residential scale in keeping with the height of the native desert vegetation.
- Building should be grade adaptive and minimize cuts and fills.
- The Eco-Resort should engage local public schools and be an eco-educational partner.
- The desert environment should wrap around every building and be of the landscape.

Although these key principles will be guiding forces for the Eco-Resort, they will also be key design elements for the remaining areas of the Reserve.

The second component of the Reserve is the Eco-Resort related uses. The Eco-Resort Village, the Eco-Resort amenities, and the Estates are all a part of the Reserve, and will be designed and constructed with the same level of integrity and commitment. Although the Eco-Resort related uses differ from the Eco-Resort itself, the look and character of these areas will match and support the Eco-Resort.

The Reserve as a whole will be residential in scale. Buildings and structures within 100 feet of the west boundary (118th Street), the south boundary (Dynamite Boulevard), and the Preserve will not exceed 24 feet in height. All other buildings and structures will not exceed 29 feet in height, except for special features such as chimneys and towers which shall not exceed 35 feet in height as required by the R-4R zoning regulations. Buildings will be located relative to the earth forms of the site, and the entire community will be of the landscape. The following character design elements are written for a community that is residential in scale, as the Reserve will be. As a part of the Dynamite Foothills Character Area, one of the key components of this character area is that the community reflect residential character, and be residential in scale. These character design elements are intended to do that.

The elements listed in the pages that follow apply to the community as a whole. As the Reserve is one unified community, the Eco-Resort and Eco-Resort related uses will be more integrated by following these character design elements, resulting in a well-planned, well-designed, environmentally sensitive community.

COMMUNITY DESIGN ELEMENTS - INTRODUCTION -



V. Community Design Elements (Cont'd)

Philosophy

The Resort and Resort Villages at The Reserve are designed with architectural elements which blend tastefully with their surroundings and preserve the natural views that the gentle high desert topography has to offer. Matched textures, carefully chosen stone and meticulously crafted finishes are elements that have been incorporated beautifully into The Reserve Architectural Design Guidelines accommodating each homeowner's unique desires with the goal of not interrupting the natural harmony of the community.

Purpose

The purpose of these Community Design Elements is to promote a sense of design continuity within the stylistic diversity of the community. Such continuity is intended to promote land values and views, provide a visually appealing living environment and encourage design creativity within a consistent framework.

The Design Elements contained herein apply to all development parcels within The Reserve.

Regulations

The Community Design Elements are not intended to supersede or contradict the City of Scottsdale building codes or improvement standards or The Reserve Declaration of Covenants, Conditions and Restrictions (CC & R's). Any requests for exceptions or variances to the laws and regulations of the City of Scottsdale or standards adopted by the City must be submitted to the appropriate City agency according to the established procedures for the granting of such exceptions.



Definitions

Unless the context otherwise specifies or requires, the following words or phrases when used in the Design Elements shall have these specific meanings. Terms defined in the Declaration shall have the meaning specified herein.

Accessory Structures

Detached garages, carports, restroom/changing facilities, gazebos, storage buildings and other detached structures of space only.

Amenities

Resort amenities, spa, restaurant, pools, tennis courts, sport courts, tot lots, gazebos, benches or indoor or outdoor gathering areas used as a social or functional focus for a project.

Architect

A person appropriately licensed to practice architecture or landscape architecture in Arizona and who provides "Pre-Qualified Design Services".

Builder

A person or entity engaged by an Owner for the purpose of constructing any improvement within the Project. The Builder and Owner may be the same person or entity.

Builder's Bond

An amount specified by the Design Review Committee (DRC) which a Builder must remit prior to beginning any residential construction in The Reserve. If the Builder or any of his/her agents should violate the Declaration or the Design Guidelines and it becomes necessary for the DRC or The Reserve Home Owners' Association to remedy the violation, the cost of the remedy may be charged directly to the Owner/Builder or against the Builder's Bond. This amount is subject to change at the sole discretion of the DRC.



COMMUNITY DESIGN ELEMENTS - INTRODUCTION -



V. Community Design Elements (Cont'd)

Building

The building or buildings including any garage and other accessory buildings used for Resort or Residential purposes on a Lot and any Improvements constructed in connection therewith.



Building Setback

The minimum distance specified per the Lot Criteria Exhibits from the property line to the building structure or other physical structures as listed in this document.

Combined Lots

The grouping or clustering of two (2) or more Lots into one (1) re-platted Lot.

Common Area/Public Area

All land and Improvements designated as such on the Plot, the Declaration or the Association Rules.

Construction Envelope

One or more specified areas on a lot or parcel within which all structures, driveways, parking, non-native landscaping, water surfaces, decks, walks, walls, and improved recreation facilities are located. Underground utilities and perimeter walls may be located outside the construction envelope.



Courtyard

An outdoor space defined by building walls enclosing front, side or rear courts or patios.

Declarant

The Declarant of Covenants, Conditions, and Restrictions (CC & R's) for The Reserve is TL Reserve Development Company, Inc.

Declaration

The Declaration of Covenants, Conditions, and Restrictions (CC & R's) for The Reserve as amended and recorded from time to time.

Design Review Committee (DRC)

The reviewing body that reviews and approves all submitted improvements established pursuant to the Declaration.

Design Guidelines

The restrictions, review procedures and construction regulations adopted and enforced, amended and supplemented by the DRC as set forth herein.

Existing Grade

A point on an existing contour of a Lot, as established by the Master Developer, prior to the commencement of design and construction by the Lot Owner.

Excavation

Any disturbance of the surface of the land including any trenching which results in the removal of earth, rock or other substance from below the natural surface of the land.

Fill

Any addition of earth, rock or other materials to the surface of the land that increases the natural elevation of such surface.

Four-Sided Architecture

All elevations of a Residence being considered as equal, distinct planes in their level of design and articulation and will be reviewed as such by the DRC.



Improvements

Any change, alteration or addition to a Lot, Structure or amenity of any type or kind. Exterior art and sculpture which are visible from neighboring Lots or Common Areas are also considered Improvements.

Indigenous Species

A species of plant, whether groundcover, shrub, cactus or tree, that is found in any Native Zone and is referenced in the Design Guidelines from time to time.



COMMUNITY DESIGN ELEMENTS - INTRODUCTION -



V. Community Design Elements (Cont'd)

Light Reflective Value (LRV)

The reflectivity of a surface measured by a calibrated light meter. The value represents the percentage of light reflected from a space pure white. White has an LRV value equal to 100 while flat black has an LRV value equal to 0.

Lot

A subdivided property within a subdivision or other building site as shown on the Plat.

Lot Criteria Exhibits

Supplemental criteria to the Design Guidelines, as adopted by the DRC, that illustrate Lot specific building limitations, setbacks and driveway locations.

Lot Survey

Information obtained through a civil engineer depicting existing features, inventory and Lot configuration.

Master Developer

TL Reserve Development Company, Inc. and its designated affiliates or representatives.

Natural Area

That portion of the natural desert lying within a Lot but outside of the Construction Envelope and/or Yard Area which must remain undisturbed.

Natural Grade

The existing contour of a Lot prior to the time any alterations, grading or site work has commenced.



Open Space

All land, Improvements and Common Areas designated as such on the Plat, the Declaration or the Association Rules.

Owner

The responsible party or authorized agent of a Lot.

Patio Cover

A solid, semi-solid or open overhead structure that covers a patio or balcony but does not fully enclose the space.



Porch

A fully roofed area attached to a house and oriented to the street defined by building walls and guardrails.

Pre-Qualified Design Services

Any architect/designer who has demonstrated his/her capabilities to the Declarant and/or the DRC through examples of previous and current projects to design within the context and appropriateness of a given site.

Protected Plants

Those indigenous species or cacti, acotillo, or any other succulent species or trees of 4" caliper or greater.



Residence

The building or buildings including any garage and other accessory buildings used for Resort or Residential purposes on a Lot and any Improvements constructed in connection therewith.

Resort Unit

The building or buildings including any garage and other accessory buildings used for Resort or Residential purposes on a Lot and any Improvements constructed in connection therewith.



Structure

Anything constructed or erected on a Lot, the use of which requires location on the ground or attachment to something having location on the ground.

COMMUNITY DESIGN ELEMENTS - INTRODUCTION -



V. Community Design Elements *(Cont'd)*

Walkout

That portion of a Residence that is partially constructed underground and has at least one elevation that is visible from the downhill side of any Lot.

Yard Area

That area of a lot that is located within the Residential Walls of the Lot, which allows for improvements as listed in this document.



COMMUNITY DESIGN ELEMENTS - INTRODUCTION -



V. Community Design Elements (Cont'd)

I. Introduction

The criteria outlined in this section have been developed to ensure a high level of quality and character for The Reserve community. They provide standards for those identifiable and unifying elements such as building setbacks and orientation that promote consistency along the community street scene while encouraging and promoting creative individual custom residential design, resort village and resort design.

II. Lot Criteria for Estate Lots, Resort Village and Resort Castles

Construction Envelopes for all Lots are based on the natural features of the Lot: views, topography, surface hydrology and relationship to adjacent Lots.

Each Lot consists of two (2) primary areas: the Construction Envelope and the Natural Area. The Construction Envelope is that area where all structures, including Resort Units, Residences, Accessory and Secondary Structures, Porte Cocheres, Balconies, Sundecks, patios, trellises, swimming pools, etc., must remain, except as noted. Although the Construction Envelope defines the maximum building area, the design goal should be to blend the Residence and its site improvements with the natural environment. The Natural Area is the portion of the Lot outside of the Construction Envelope that will remain undisturbed and in its natural state.

a. Modifications to Construction Envelope

Alterations to the Building Envelope are not permitted.

b. Walls and Fences

The Master Developer will not construct community theme walls on the perimeter of The Reserve Community. Community view fences may be constructed along the periphery of the Eco-Resort campus as view fences allow for animal migration and for drainage. Community theme walls may be constructed within The Reserve community as part of the Eco-Resort or within any portion of the Eco-Resort campus. Community walls and Courtyard walls must remain within the Construction Envelope and Yard Area on Lots adjacent to the Golf Course or Open Space.



c. Accessory Structures

Accessory Structures must have a strong visual relationship to architecture as well as from a site design standpoint.

d. Porte-Cocheres

Porte-Cocheres must be contained within the Construction Envelope.

e. Patio Covers

Patio covers must be contained within the Construction Envelope. The Structure must be integrated into the building architecture and complement the character and style of the Residence.

f. Sundecks

Sundecks are accessible flat roof areas on a Residence. Sundecks are only permitted on the back side of Lots, including Lots adjoining the Golf Course or Open Space. Sundecks must remain within the Construction Envelope and the cover if any may not exceed the maximum building height.

g. Balconies

Balconies are platforms that project from the exterior wall of a Residence, usually enclosed by a rail. Balconies must remain within the Construction Envelope.

h. Architectural Features and Projections

Architectural Features and Projections such as fireplaces, bay windows, columns, pop outs, wing walls, etc. must occur in the Construction Envelope.

i. Trellises

Trellises must be within the Construction Envelope. Trellises shall not exceed the height of the first story and may cover a maximum of 50% of the front width of the Residence.

j. Barbeques, Fire Pits and Fireplaces

Built-in barbecue units, fire pits and/or fireplaces (natural gas only) must be contained within the Construction Envelope. Any reflective surfaces, such as stainless steel hoods, need to be screened from neighbors and common open space areas. Chimney elements must be sited to avoid obstructing views from adjacent properties. Also, caution must be exercised to avoid the proximity of smoke to neighboring Residences. The chimney element of such improvements must set back a minimum of 10' from any side or rear view fence panel. In addition, landscape material must be carefully placed when near these features/elements to minimize fire danger.

COMMUNITY DESIGN ELEMENTS - SITE PLANNING -



V. Community Design Elements (Cont'd)

III. Site Grading and Drainage

No Excavation or grading work shall be performed on the designated Lot (or tract, as applicable) without the prior written approval of the DRC (as such term is defined in The Reserve Declaration). Without limiting the generality of the foregoing, after the designated Lot (or tract, as applicable) has been graded and improved in accordance with drainage, grading and other improvement plans therefore approved by the Master Developer and the applicable governmental authorities and utilities, the Owner of the designated Lot (or tract, as applicable) shall not perform any Excavation or grading, or take any other action, which would have the effect of impeding or diverting drainage of surface water runoff to or from any portion of Golf Club Scottsdale (as such term is defined in the maintenance corporation declaration including from the Golf Club Scottsdale as such term is defined in The Reserve Declaration) on and across such Owner's Lot or tract if such grading would cause any damage to adjacent Lot, tract, or tract walls.

The Rezoning Drainage Report for this project was approved on July 7, 2010 under plan check #2887-10. The approved report incorporates City drainage requirements and recommended practices that have been adopted after the approval of the original drainage report in 2005. As a result, it outlines the use of storm water management practices that are currently in effect for new development in Scottsdale. Where the original drainage design included use of a storm water retention waiver for pre-development versus post-development detention and online detention basins that are located within existing wash corridors, the more recently approved drainage concept utilizes no waiver and places retention basins outside existing wash corridors (offline).

a. Soils Report

Each Owner is required to generate his or her own soils report and complete any work necessary to ensure proper compaction is provided for construction.



b. Site Work and Grading

- When possible, existing plant material should be salvaged for use elsewhere on the Lot. Plant material that is located outside of the area to be disturbed must be protected from construction damage.
- All exposed Cuts or Fills must be shaped to mimic the surrounding native topography and blend into the natural setting. Straight graded slopes are not permitted.
- Fill slopes may not exceed 3:1.
- Exposed cut slopes may not exceed 3:1 unless adequate vegetative solutions can be demonstrated or cut conditions are made of natural rock and formed to DRC satisfaction.
- Exposed cut slopes may not exceed 6' in height.
- Retaining walls must not exceed 4' in height. Retaining situations that exceed 4' in height must be done with multiple retaining walls with a minimum separation of 4'.
- Owners must provide adequate engineering/geological back-up to guarantee slope stability. A plan shall be prepared by a registered professional engineer and be submitted to the City of Scottsdale and Master Developer for review. All expenses associated with review of materials, certification of pad or recording of documentation required by local governments are the responsibility of the Owner. All requests must fit within the parameters set forth on the Lot Criteria Exhibits.
- All grading limits as well as Cut and Fill information must be staked and roped off in the field and approved by the DRC prior to breaking ground.



COMMUNITY DESIGN ELEMENTS - SITE PLANNING -



V. Community Design Elements (Cont'd)

c. Cut and Fill

The desired intent of the grading for all Structures and Improvements is for the Structures to nestle into the existing site and appear as an extension of the natural landforms of the Lot. Various landforms and slopes of each Lot will require different treatments of the Cut and Fill conditions to achieve this. Significant Cut and Fill conditions should be contained within retaining walls and/or Improvements to avoid exposed Cut and Fill slopes and must be contained within the Building Envelope, as applicable. Cut slopes are not to exceed 6' in depth or height. Cut and Fill should not intrude into the drip line of trees over 4" in caliper. Cut and Fill situations will be evaluated based on conditions directly under the footprint of the Residence and other site Improvements.

Cut and Fill slopes may not remain exposed following completion of construction. "Flat Pads" are not allowed to extend beyond the perimeter of the building and/or site walls. Cut slopes must be re-graded and naturally contoured to match the existing terrain. All cut and fill shall be treated with earthen or equivalent.

The DRC may allow exceptions, on a case-by-case basis, to the Technical Cut and Fill guidelines if the objectives and intent of these Guidelines are met. The DRC may request that the proposed finished floor elevations be adjusted to reduce the impact of Cut and Fill conditions.

d. Drainage

All drainage ways, outside the Construction Envelope, and easements must be left undisturbed. Any proposed modification to these must be submitted for Review. Drainage ways that occur within the Construction Envelope must be picked up and released in their natural locations. Drainage should flow away from the backside of all perimeter and Common Area walls built by the Master Developer unless specifically indicated on the Master Developer's rough grading plans. No drainage from Lots onto the Golf Course or Open Space is permitted unless specifically indicated on the Master Developer's rough grading plans. All disturbed drainage ways must use a form of erosion control. Fabric barriers shall only be allowed in temporary situations. Rip-rap, if used as a method of erosion control, will be indigenous stone, and must blend in style and color with the natural environment and be approved by the DRC.

The Eco-Resort Campus will be carefully planned to avoid washes and drainage areas. Roads will be planned to minimize wash crossings and to minimize impacts. Also, disturbance to washes and drainage areas will be minimized to prohibit disruption of water flow and animal migration.

Where utilized, all concrete headwalls and drainage structures should be integrally colored to blend with the colors of the surrounding natural desert.

iv. Grade Adaptive Architecture

The architectural design of the Residence or Building shall respect and reinforce the natural topography of the Lot and be of a "grade adaptive" nature rather than flat monoliths forced onto rolling and undulating hillsides. Structures must follow the existing slope in uphill and downhill conditions.

v. Parking and Driveways

a. Driveway Clearance and Dimensions

Driveways are not to be used to expand the Construction Envelope. Driveway entries shall not exceed 18' in width. Dual-Entry and circular driveways will be permitted on a case-by-case basis by the discretion of the DRC. Minimum backing distance for a side-loaded garage is 24'. Gates to driveways and motorcourts contained within the main body of the Construction Envelope will be permitted.

b. Guest Parking

Uncovered guest parking is required, per city standards, on the Lot and must be sufficiently screened. Parking areas must be located within the Construction Envelope. Storage of campers, trailers, boats, and other recreational vehicles are required to be in an enclosed structure that shall be compatible with the other structures on the site in terms of massing, heights and exterior architectural character.



COMMUNITY DESIGN ELEMENTS - SITE PLANNING -



V. Community Design Elements (Cont'd)

vi. Site Amenities

a. Water Features

Pools and water features must remain inside the Construction Envelope of the Lot. Pool and water feature structures such as waterfalls, slides, rock outcroppings, etc. must meet Building Setback criteria for Accessory Structures and are limited to 6' in height above the existing natural grade. Water features will be limited to 6' of fall in any one single drop.

b. Basketball Hoops and Sport Courts

Portable basketball goals are not permitted. All basketball goals shall be permanently installed on the inside edge of owner's driveway, and must be screened from view from all common areas and adjacent residences. The pole/post shall be black or dark green. Basketball goals or backboards may not be mounted to a garage. Basketball goals shall not be lighted and must be clear or neutral in color. Logos are not permitted on the backboard. All hard and soft surfaced sport courts must be located in the Construction Envelope and shall not be lighted. Lighting for tennis or sport courts will not be permitted.



c. Exterior Recreational and Play Equipment

All exterior recreational equipment must meet the intent and requirements of all sections of these guidelines, including color. All exterior recreational play equipment requires specific approval by the DRC prior to installation. Recreational and play equipment that is greater than 10' in total height will not be approved unless completely surrounded by other approved structures. The maximum platform height cannot exceed 6'. Any colored canopy, cover or other portion of the set that exceeds 6' must be of a neutral color and is subject to DRC approval. All equipment shall be a minimum of 10' from the property wall. All equipment shall be well maintained and in good condition.



COMMUNITY DESIGN ELEMENTS - SITE PLANNING -



V. Community Design Elements (Cont'd)

C. Architecture

I. Introduction

"We were transported to another time and place as we approached..."

Architecture plays a major role in any project. Architecture provides the look and character of a development, or even more so, its personality. The Architecture at the Reserve will strive to do just that, and that is provide not only the look and character, but begin to reveal the personality of the Eco-Resort, that is the Reserve.

"In the true Spanish colonial tradition, the arched portales, or covered porches, are a favored area of communication between the rooms and the house."

The Architecture of the Reserve will blend seamlessly into the desert environment. All of the buildings will be residential in scale, and incorporate the richness of the desert texture, and mimic the imagery of the Southwest. The Eco-Resort will be residential in scale, and borrow from the Spanish mission, the old haciendas and their Coscos. Outdoor space will be just as important as indoor space. The Arizona climate allows for both indoor and outdoor living most times of the year. The architecture of the Reserve will embrace this wonderful climate. The richness of desert colors, the earthy browns, the rich greens, and the bright colors of the desert flowers, will provide inspiration for the variety of colors and textures of the buildings.

"The architectural elements offer a tangible link to the rich heritage of Spanish traditional construction techniques. Shaped in part by climate and indigenous natural resources..."



The architecture of the Eco-Resort will translate through all elements of the community. The Eco-Resort, the Resort Villages, the Resort Amenities, and the Estates all will reflect the architectural style and character of the Reserve, further unifying this great place.

II. Scottsdale's Sensitive Design Principles

The City has established a set of design principles, known as the Scottsdale's Sensitive Design Principles, to reinforce the quality of design in our community. The following Sensitive Design Principles are fundamental to the design and development of the proposed The Reserve: The Eco-Resort for Scottsdale ("Eco-Resort").

1. The design character of any area should be enhanced and strengthened by new development.

- Building design should consider the distinctive qualities and character of the surrounding context and, as appropriate, incorporate those qualities in its design.

Response: The Eco-Resort will be located in a rural residential area of Scottsdale. The Eco-Resort will remain rural in character with a low intensity of uses and densities. The look and feel of the resort will draw from the surrounding area including the McDowell Sonoran Preserve and exist in collaboration with it so that it complements but does not impact the McDowell Sonoran Preserve.

- Building design should be sensitive to the evolving context of an area over time.

Response: Buildings at the Eco-Resort will be designed to blend into the natural setting of the Sonoran Desert. Buildings in surrounding areas are low in density. The Eco-Resort will mimic that low density.

2. Development, through appropriate siting and orientation of buildings, should recognize and preserve established major vistas, as well as protect natural features such as:

- Scenic views of the Sonoran desert and mountains.

Response: Buildings within the Eco-Resort will be limited to 24 feet in height throughout. Buildings will be carefully located to maximize views and major vistas, while minimizing obstruction of those same views and vista by other buildings.

- Archaeological and historical resources.

Response: Appropriate assessment has been conducted. Although there are no archaeological sites on the property, the Eco-Resort embraces the local heritage of the site by providing its guests and residents with the rich history of the land. The Eco-Resort will also enhance the existing desert vegetation on the property by incorporating native plant materials and restoring areas that were destroyed in the 1995 Rio Fire.

COMMUNITY DESIGN ELEMENTS - ARCHITECTURE -



V. Community Design Elements (Cont'd)

3. Development should be sensitive to existing topography and landscaping.

- A design should respond to the unique terrain of the site by blending with the natural shape and texture of the land while minimizing disturbances to the natural environment.

Response: The Eco-Resort will minimize disturbance to the existing desert by carefully locating buildings and uses in areas of gentle topography, and in areas that require minimal grading. This also provides for the least amount of landscape disturbance resulting in a better quality desert environment.

4. Development should protect the character of the Sonoran desert by preserving and restoring natural habitats and ecological processes.

Response: The Eco-Resort will minimize disturbance to the natural desert environment and work to restore the area of the desert destroyed by the 1995 Rio Fire as this area is just starting to re-establish itself. The Eco Resort, as part of the development, will also minimize disturbance to the natural washes that traverse the community. This allows for much greater protection of natural wildlife habitats. Due to its proximity to the corridors between the northern and southern halves of the McDowell Sonoran Preserve, wild life habitat and movements will be encouraged.

5. The design of the public realm, including streetscapes, parks, plazas and civic amenities, is an opportunity to provide identity to the community and to convey its design expectations.

- Streetscapes should provide continuity among adjacent uses through use of cohesive landscaping, decorative paving, street furniture, public art and integrated infrastructure elements.

Response: The Eco-Resort will feature a main community road that will link and unify all parts of the Community. Site elements such as landscape, site furniture, ground cover, signage, are all items that will be used to connect and unify all of the different areas of the Eco-Resort. Many other techniques, such as using packed gravel or permeable surfaces instead of conventional ground cover to enhance replenishment of ground water, will be used as well.

Response: Planning and design of The Eco-Resort elements will seek to minimize the impact on the environment from the construction and the ongoing operations of The Eco-Resort. The design of the site furniture and landscaping will focus on utilizing designs for passive solar, passive cooling and water conservation. The desert design will create expansive outdoor spaces to offer unique experience with the environment. Sustainable building materials will be used in order to reduce the overall carbon footprint.

6. Developments should integrate alternative modes of transportation, including bicycles and bus access, within the pedestrian network that encourage social contact and interaction within the community.

Response: The Eco-Resort will feature multiple modes of transportation and circulation. The Eco-Resort will feature multi use trails for walking, jogging, biking, and uses. The community will also feature a variety of paved trails for walking and jogging, and an extensive non-paved trail system for hiking. Bike use will be heavily encouraged and planned for at the Eco-Resort. Alternate modes of transportation help to reduce energy costs and dependence on fossil fuels.



COMMUNITY DESIGN ELEMENTS - ARCHITECTURE -



V. Community Design Elements (Cont'd)

7. Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent developments.

- Design elements should be included to reflect a human scale, such as the use of shelter and shade for the pedestrian and a variety of building masses.

Response: The Eco-Resort will promote multiple types of pedestrian connectivity. The paved and non paved trail systems will bring guests and residents to all areas of the resort, while providing a truly beautiful experience in the Sonoran Desert. Ample shade and seating areas will be provided to ensure that the guests and residents have plenty of opportunities for rest and re-hydration for the warmer part of the year. Trailheads for the McDowell Sonoran Preserve will be within easy transportation.

8. Buildings should be designed with a logical hierarchy of masses:

- To control the visual impact of a building's height and size.

Response: All buildings and structures at the Eco-Resort within 100 feet of the west boundary (118th Street), the south boundary (Dynamite Boulevard), and the Preserve will not exceed 24 feet in height. All other buildings and structures will not exceed 29 feet in height, except for special features such as chimneys and towers which shall not exceed 35 feet in height as required by the R-4R zoning regulations. Building size will be appropriate for its intended use.

Response: The exterior elevation of buildings will incorporate quality elements of design such as balance, depth, repetition and contrast with special attention to shade and shadows. Each Building will be composed of multiple masses with each mass distinguished by a minimum offset in depth of 2'. Rooflines will create interest but expansive roof areas will be prohibited. Massing relief will be provided on those elevations siding or backing onto streets, the Golf Course or Open Space.

- To highlight important building volumes and features, such as the building entry.

Response: Buildings will be designed and built with the highest integrity. Feature elements of buildings such as entries, windows, patios, and similar elements will be made visible while areas of the buildings that are less important visually will be screened appropriately.

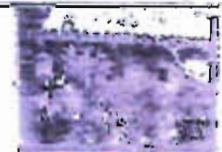
9. The design of the built environment should respond to the desert environment:

- Interior spaces should be extended into the outdoors both physically and visually when appropriate.

Response: One of the greatest benefits to the Eco-Resort is the Arizona climate. The climate allows for indoor/outdoor living most of the year. The Eco-Resort will be designed around this feature. Wherever possible, the Eco-Resort will be both indoor and outdoor with minimal separation.

- Materials with colors and coarse textures associated with this region should be utilized.

Response: It is the goal of the Eco-Resort to use native and local materials when possible. A variety of landscape, hardscape, and other materials are naturally found locally.



COMMUNITY DESIGN ELEMENTS - ARCHITECTURE -

V. Community Design Elements (Cont'd)

- A variety of textures and natural materials should be used to provide visual interest and richness, particularly at the pedestrian level. Materials should be used honestly and reflect their inherent qualities.

Response: A variety of textures and colors will be used throughout the Eco-Resort in all levels of development. Buildings, landscape, paths, trails, etc... will incorporate multiple building materials with a variety of colors and textures.

Response: The richness of texture and the imagery of the Southwest, the Spanish missions, the old haciendas and their Cascos, are the inspiration for the design of the buildings in this project. The Eco Resort is essentially a group of one and two-story buildings. These buildings are arranged around walled courtyards, interlaced within the rocky outcroppings and native desert landscape.

Response: The buildings will have the character and patina of aged materials, as if built in an additive manner, over the span of many years and several generations. Each building will be a little distinct from the other yet they will be designed and sited in a cohesive composition.

- Features such as shade structures, deep roof overhangs and recessed windows should be incorporated.

Response: Shade is a priority in the Sonoran Desert. The Eco-Resort will provide ample shade for its residents and guest. The use of shade structures, deep roof overhangs, and recessed windows and other "passive solar design principles" are all techniques that will be utilized to maximize shade and outdoor comfort opportunities.



10. Developments should strive to incorporate sustainable and healthy building practices and products.

- Design strategies and building techniques, which minimize environmental impact, reduce energy consumption, and endure over time, should be utilized.

Response: Buildings at the Eco-Resort will be carefully located to minimize environmental impact. Locating building sites that are best suited for the buildings' specific use provide the best opportunity for minimal disturbance to the natural environment. Providing appropriate landscape, in addition to applicable LEED standards for building design, will help reduce energy consumption and create a more sustainable development.

11. Landscape design should respond to the desert environment by utilizing a variety of mature landscape materials indigenous to the arid region.

- The character of the area should be emphasized through the careful selection of planting materials in terms of scale, density, and arrangement.

Response: All existing mature vegetation will be salvaged for use within the Eco-Resort. Given the damage from the 1995 Rio Fire, careful attention will be placed in restoring the Sonoran Desert that was destroyed in the fire. When necessary, comparable natural landscape materials will be brought in from equivalent Sonoran Desert Setting.

Response: All plants shall be either salvaged materials or nursery grown, free of disease, of good habitat and shall represent the best qualities of their species. Sizing shall meet the Arizona Nursery Association Standards. Plants that can withstand the extremes of climate, soil conditions and wind experienced in the Scottsdale/Phoenix Valley will be selected. A list of recommended trees, shrubs and groundcovers is provided in Community Design Elements Section on Page (64).

- The landscaping should complement the built environment while relating to the various uses.

Response: The landscape concepts at the Eco-Resort will complement all buildings and uses, as the proposed buildings and uses complement the desert environment. The landscape will consist of predominantly native vegetation, enhancing and restoring the desert that already exists today.

COMMUNITY DESIGN ELEMENTS - ARCHITECTURE -



V. Community Design Elements (Cont'd)

12. Site design should incorporate techniques for efficient water use by providing desert adapted landscaping and preserving native plants.

- Water, as a landscape element, should be used judiciously.

Response: Water is a rare resource in the Sonoran Desert. As a result, it is not often seen in desert environments, and is limited in its use as a feature for desert landscaping. The Eco-Resort aims to use water in the most efficient way possible. Water as a feature will only be used where it is most effective. Water conservation is a priority of the Eco-Resort. The Reserve will comply with the City of Scottsdale's water conservation programs. Water, as an irrigation source for plant material, will be used throughout the Eco-Resort on landscape that best recreates the Sonoran Desert, and best achieves the landscape goals of the community.

Response: Reducing water consumption and protecting water quality are key objectives of the Eco-Resort. To the extent feasible, development will increase its dependence on water that is collected, used, and reused on-site. The use of non-sewage and greywater for on-site use such as site-irrigation will minimize demands on precious water resources.

- Water features should be placed in locations with high pedestrian activity.

Response: Water feature technologies used will emphasize sustainability with low, yet esthetically effective, utilization of water. Water features at the Eco-Resort will be strategically placed to maximize their esthetic and environmental benefits. Water conservation is one of the Eco-Resort's core design and operation guiding principles.

13. The extent and quality of lighting should be integrally designed as part of the built environment.

- A balance should occur between the ambient light levels and designated focal lighting needs.

Response: The Eco-Resort will employ dark skies lighting techniques minimizing light pollution and enhancing the natural desert environment.

- Lighting should be designed to minimize glare and invasive overflow, to conserve energy, and to reflect the character of the area.

Response: Lighting will be kept to a minimum in order to preserve the dark skies and the rural character of this area. Lighting will be used in the appropriate areas to ensure safety of the residents and guests, but be sensitive to the overall environment. Lighting at the Eco-Resort will be residential in scale, and designed to minimize glare and invasive flow. By utilizing the dark skies concept, low voltage, shielding, energy conservation, overflow, glare and light pollution will all be minimized.

14. Signage should consider the distinctive qualities and character of the surrounding context in terms of size, color, location and illumination.

- Signage should be designed to be complementary to the architecture, landscaping and design theme for the site, with due consideration for visibility and legibility.

Response: Signage will be complementary to both the style of architecture and the uses of the Eco-Resort. Visibility of the signage is paramount, as well as blending the signage into the surrounding desert environment. By use of the same materials as the buildings and landscape, the signage will reflect the same quality and character of the rest of the built and landscaped environment of the Eco-Resort.



COMMUNITY DESIGN ELEMENTS - ARCHITECTURE -



V. Community Design Elements (Cont'd)

iii. Green Building

According to the U.S. Environmental Protection Agency (EPA) Green Building, also known as Sustainable Building, is the practice of creating structures and using processes that are environmentally responsible and resource-efficient throughout a building's life-cycle from siting to design, construction, operation, maintenance, renovation and deconstruction. This practice expands and complements the classical building design concerns of economy, utility, durability, and comfort.

Green buildings are designed to reduce the overall impact of the built environment on human health and the natural environment by:

- Efficiency using energy, water, and other resources
- Protecting occupant health and improving employee productivity
- Reducing waste, pollution and environmental degradation

Green building techniques and technologies are evolving rapidly. While the specific methods used may differ for various climates and regions, the basic principles from which green building is derived are the same:

- Site Planning and Structure Design Optimization
- Energy Efficiency
- Water Efficiency
- Materials Efficiency
- Indoor Environmental Quality Enhancement
- Ongoing Operations and Maintenance Efficiency
- Waste and Toxins Reduction

The core of green building is optimizing one or more of these guiding principles. Careful planning and design can incorporate multiple green building technologies that work together to produce a greater cumulative effect.

Site Planning and Structure Design

A green construction project starts with the conceptual design phase. The goal is to reduce the environmental impact of the materials and construction processes used to build, and to minimize the impact of the ongoing operations of the building. Every building is a unique collection of materials and systems that work together for the life of the building. Decisions made here will impact the entire life-cycle of the building.

Energy Efficiency

Green buildings strive to reduce energy use where practical. Use of increased insulation and energy efficient windows help reduce the heating and cooling needs of the building. Careful design and orientation of the building and landscaping can maximize passive solar heating or minimize solar gain through use of awnings and shade trees. Efficient lighting and appliances further reduce energy needs. Onsite electricity generation using solar power can significantly reduce the environmental impact of the building.

Water Efficiency

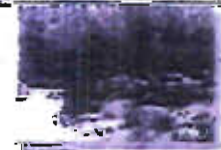
Water conservation reduces demands on water resources. Selection of low-flow fixtures reduces water use by building occupants. Landscaping water use can be minimized by choosing low water use plants that are appropriate for the climate, and installing rainwater collection systems. Greywater systems can recycle water for use in landscaping, and reduce demand from external sources.

Materials Efficiency

Green building materials are non-toxic, renewable, reusable, or recyclable. Materials might be from rapidly renewable plants and sustainably managed forests, or from recycled metal, stone and concrete. Materials should be extracted and manufactured locally to reduce the energy used in their transportation. Manufacturing of building components should be manufactured off-site and transported to the building site when possible to minimize waste, increase recycling, and reduce the impact to the construction site.



COMMUNITY DESIGN ELEMENTS - ARCHITECTURE -



V. Community Design Elements (Cont'd)

Indoor Environmental Quality Enhancement

Indoor Environmental Quality Enhancement (IEQ) provides for the health and comfort of building occupants by addressing the Indoor Air Quality (IAQ), lighting quality, and thermal comfort of the indoor environment. Indoor Air Quality is enhanced by reducing volatile organic compounds and other impurities from the air by choosing building products and cleaners with low emissions of VOC's. Properly designed heating, ventilating, and air-conditioning (HVAC) systems will help prevent airborne bacteria and mold from forming and being distributed throughout the building. The HVAC system should also provide occupants with maximum control over temperature and airflow to enhance personal comfort. Careful integration of natural and artificial light sources will improve on the lighting quality of a structure and provide an appealing luminous environment.

Ongoing Operations and Maintenance

While design and construction may yield an environmentally sustainable building, it is the ongoing operation and maintenance (O&M) that extends the sustainable concept through the building's lifecycle. Proper maintenance ensures that the efficiencies designed into the building will continue to perform as expected. Involving O&M personnel in the design phase will help ensure the continued operation of the building as the designers intended. The O&M staff will also be responsible for implementing new green technologies as they become available.

Waste Reduction

Another goal of green building is to reduce the waste of energy, water and materials used during construction and operation. The construction process can be designed to reduce the amount of material going to landfills. Buildings can be designed to maximize or minimize solar heat gain to reduce wasted energy. Occupants can be encouraged to recycle by providing easy ways to recycle and compost. The impact on wastewater systems is reduced by utilizing greywater. Wastewater from sources such as dishwashing or washing machines can be used for landscape irrigation, or if treated, for non-potable purposes, e.g., to flush toilets and wash cars.

References:

- U.S. Environmental Protection Agency. (October 28, 2009). Green Building Basic information.
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- Lee YS, Guerin DA. Indoor environmental quality differences between office types in LEED-certified buildings in the US. *Building and Environment* (2009).

COMMUNITY DESIGN ELEMENTS - ARCHITECTURE -



V. Community Design Elements (Cont'd)

iv. Architectural Style

"We were transported to another time and place as we approached"

The architectural elements offer a tangible link to the rich heritage of Spanish traditional construction techniques. Shaped in part by climate and indigenous natural resources...

In the true Spanish colonial tradition, the arched portales, or covered porches, are a favored area of communication between the rooms and the house."

- The buildings will work their way into the land and the land will work its way into the buildings... native materials will be used.
- The richness of texture and the imagery of the Southwest, the Spanish missions, the old haciendas and their Cascos, are the inspiration for the design of the buildings in this project.
- The Eco Resort is essentially a group of one and two-story buildings. These buildings are arranged around walled courtyards...interlaced within the rocky outcroppings and native desert landscape.
- Covered porticos or "portales" will be used to connect buildings.
- Pathways and portals will reveal view opportunities... the landscape design will be respectful of the 'Native' landscape.
- The buildings are oriented to take advantage of 'passive' solar design...
- The resort will be equipped with an energy collection system. Conservation strategies and equipment...will be sustainable.
- The buildings as well as the rooms at the Eco Resort and Resort Village will be oriented to take advantage of distant views...
- The buildings will have the character and patina of aged materials, as if built in an additive manner, over the span of many years and several generations. Each building will be a little distinct from the other. Materials of the "earth", such as adobe, recycled brick, and oversized mission roof tiles; will be used to create a cohesive composition of buildings.



- The building's interiors will casually open to the outside. Courtyards will be designed as outdoor living rooms.
- Shading will shelter the interiors of the buildings from the harmful effects of the sun.
- Weathered and distressed wood will be used sparingly as roof rafter tails, posts, beams, windows, doors, and shutters. Wrought iron metal work will be used for window grilles, gates, light fixtures, ornament, and balcony railings.

The sense of timelessness... warmth... a response to climate... simplicity... blurring the line between indoors and outdoors. The feeling, as if, the building grew out of the ground on which it is placed... These are the attributes that will describe the project when it is completed.



Excerpts in quotations loosely taken from the book "The New Hacienda" by Karen Witynski and Joe P. Carr

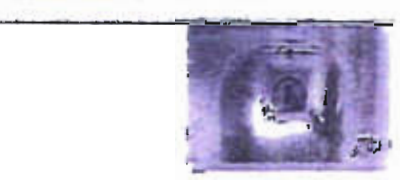


COMMUNITY DESIGN ELEMENTS - ARCHITECTURE -



Characteristics

-
- A photograph of a snowy landscape. In the foreground, a large, dark, snow-covered tree trunk and branches are visible on the left. The ground is covered in a thick layer of snow, with some dark patches scattered across it. In the background, a building with a yellowish-brown facade and a dark roof is partially visible, surrounded by more snow-covered trees. The sky is a clear, pale blue.



V. Community Design Elements (Cont'd)

v. Architectural Standards

a. Style

The architectural character of The Reserve should reflect a feeling of quality and elegance, individuality and sensitivity to the desert environment. Wide ranges of architectural styles are allowed which are compatible with this vision.

Spanish Inspired Styles

- Low pitched roof
- Smooth surfaces or stucco siding
- Parched entries/courtyards
- Barrel/clay roof tiles
- Arches, arched doorways
- Asymmetrical forms

Hacienda Influences

- Low pitched roof
- Rough textured exterior surfacing
- Arched portals & courtyards
- Barrel/clay roof tiles, exposed rafters & wood beams
- Patterned tile & floor surfaces
- Earth toned brick & stone accents
- Decorative ironwork & detailing

The following architectural styles are not in harmony with the desert character and are therefore prohibited: Alpine, Colonial, English, Georgian, Tudor, Log, Farm and Victorian.

The DRC requires use of details that will soften and enhance the architectural design. These include:

- Detail and relief of windows, entrances and doors.
- Breaks in the roofline with elevation changes.
- Shade structures, canopies and walks.
- Well articulated massing.
- Attention to service spaces.



The following sections provide guidelines regarding materials, colors and design elements expressive of the community environment. The illustrations and guidelines are intended to help understand the community character and appropriate design responses, but the ideas presented are not intended to establish absolute limits or boundaries. All Residences, Buildings and other Structures that are constructed will be considered four-sided architecture and as such will be evaluated from all sides and angles.

b. Building Height

Structures shall be limited to two stories, excluding basements and walkouts. Buildings and structures within 100 feet of the west boundary (118th Street), the south boundary (Dynamite Boulevard), and the Preserve will not exceed 24 feet in height. All other buildings and structures will not exceed 29 feet in height, except for special features such as chimneys and towers which shall not exceed 35 feet in height as required by the R-4R zoning regulations. Building elevation will be measured from existing grade directly below the "point being measured." DRC reserves the right, at its sole discretion, to impose additional restrictions on lots affecting golf course, street, and other Common Area view corridors, and/or appearing out of character with particular natural and improved environments.

c. Building Mass

The exterior elevation shall incorporate quality elements of design such as balance, depth, repetition and contrast with special attention to shade and shadows. Each Building must be composed of multiple masses with each mass distinguished by a minimum offset in depth of 2'. At least two (2) distinct masses must be visible from each building elevation, and the size of each must be in proportion to the overall scale of the Structure. Rooflines should create interest but expansive roof areas are prohibited. Massing relief will be provided on those elevations siding or backing onto streets, the Golf Course or Open Space. Single story elements should be provided at the perimeter of the Building with two-story elements set back towards the center of the Building.

d. Basements

Basements are permitted, however, any exposed wall surfaces shall be finished consistent with other wall surfaces of the building and shall be located within the Building Envelopes.

COMMUNITY DESIGN ELEMENTS - ARCHITECTURE -



V. Community Design Elements (Cont'd)

e. Walkouts

Three-story structures will not be permitted unless on rear elevations and on Lots that permit a basement or Walkout condition. However, Buildings and structures within 100 feet of the west boundary (118th Street), the south boundary (Dynamite Boulevard), and the Preserve will not exceed 24 feet in height. All other buildings and structures will not exceed 29 feet in height, except for special features such as chimneys and towers which shall not exceed 35 feet in height as required by the R-4R zoning regulations. These structures will be subject to the same parameters as well as horizontal and vertical restrictions in massing as outlined in the Design Standards.

f. Garages

Garages should be made to minimize the impact of the garage and garage doors on the street scene of the community and may not be approved if facing or too easily noticeable from the street. Garages may be either attached or detached provided they comply with the Building Setback requirements established in the Design Elements. Any transition from garage door to garage door must have a minimum of 2' horizontal separation between the doors. All garage doors shall have a minimum 12" recess. Pop-out surrounds are not allowed. Oversized garage doors (8' x 18') are not allowed on any residence unless otherwise approved by the DRC. Garage doors must be custom in nature and relate to the window and door treatments in the Building.

g. Roof Design

Roofs may be pitched or flat. Roof pitches shall not exceed 5:12. All roof overhangs must be a minimum of 30" deep with fascia or rafter detailing appropriate to the architectural style. Deeper roof overhangs are encouraged to promote a horizontal character in the architecture, help with climate control and provide variety in shade and shadow. Roofs may not descend closer to finish grade than 7". Ridges may not extend more than 50' in any direction without either a vertical or horizontal change in direction. Pitched roofs and the related massing of elements shall create rooflines compatible with the overall character of the foothills topography. Flat portions of the roof shall contain a parapet where needed to conceal roof-mounted equipment including vents, HVAC units, etc. and should be colored to match the rest of the Building. Parapets shall be a minimum of 18" and a maximum of 36" in height immediately adjacent flat roof surface. Continuity of parapet walls in flat roof areas is required.

Gutters shall be concealed unless designed as a continuous architectural feature. Exposed gutters used as an architectural feature shall be colored to match or be compatible with the surface to which they are attached. Scuppers shall be accompanied by an appropriate catch and down spout. Decorative scupper extensions without down spouts are acceptable. Concealed drainpipes are preferred.

Mechanical equipment such as air conditioners, heaters, evaporative coolers, television and radio antennae, satellite dishes, radar receivers, solar panels or collectors, hot water storage systems and other such devices shall not be permitted on any roof unless hidden from view from streets, the Golf Course, Open Space or adjacent Lots and may not exceed maximum building height. Mechanical devices such as exhaust fans, vents and pipes shall be located to minimize their view from adjacent public space and shall be painted to match roof surfaces. Standard tract home venting fixtures are prohibited.

h. Roof Materials

Material for pitched roofs shall blend into the desert environment. Reflective materials including all other metal roof materials are prohibited. The finish material of a flat roof shall have a light reflectance value of 45 or less and the color shall be similar to the exterior of the Residence. White, off-white or reflective finished-coated flat roofs are prohibited.

The following roof materials are prohibited:

- Asphalt shingles
- Fiberglass shingles
- Simulated tile including fiberglass or metal
- Wood Shakes
- Adobe Bricks



COMMUNITY DESIGN ELEMENTS - ARCHITECTURE -



V. Community Design Elements (Cont'd)

I. Exterior Building Surfaces

Materials for exterior walls shall consist of the following:

- Stucco with a smooth to semi-smooth texture. Heavy finishes such as lace, swirl or heavy trowel are prohibited. A sample of the stucco texture must be submitted to the DRC for approval.
- Solid clay brick when used in conjunction with stucco.
- Concrete block.
- Stone/Faux Stone (as approved by the DRC).
- Board-form concrete.
- Rammed earth.
- Adobe bricks.

Wood trim members may be used when colored with a semi-transparent or solid color stain or paint.

Exterior wall finishes shall be continuous and consistent on all elevations of the Building to achieve a uniform and complete architectural design statement.

Masonry veneer should be used to highlight masses or planes rather than solely as a continuous wall plane. Masonry should not appear to be an applied veneer and should not be used as a simple horizontal band, wainscot or facade. Exterior walls that have stone on one side and stucco on the other will not be allowed. Due to the heavy visual nature that masonry has, lintels, headers or beam details, that appear to carry the load of the masonry material, should be incorporated into the design of that elevation.

Exterior finish materials, including stucco and masonry, on all building walls, site walls and screen walls must be continued down to below the finish grade, thereby eliminating unfinished foundation walls.



An exterior material mockup wall may be requested to be constructed, prior to the construction of the Building, for review of the DRC to approve the application of the proposed materials of the Building. It is encouraged that the architectural design utilize a variety of materials and/or textures cohesive to the residential character. The DRC will review the mockup wall 60 days after start of construction.

All exterior building material should be authentic to the style.

J. Windows and Doors

All window and door openings within exterior wall surfaces shall be recessed 6" or more into thickened walls on all four (4) sides.

Combinations of the above or any other design treatment that achieves scale, order, proportion or depth of opening are allowed. Recess requirements may be modified for contemporary structures at the discretion of the DRC.

Foam, fiberglass and 'pop-out' trim treatments are not allowed.

Structures with flat roofs and parapets shall have all exterior openings recessed a minimum of 6". Trim elements shall not be calculated as part of the minimum recess requirement.

Windows are encouraged to use multi-pane and/or divided light details. Window frames and mullions must be within the approved color palette. Glazing may be either clear or tinted. Reflective glass is not permitted. Windows greater than 6' in any direction shall utilize divided light details.

Window and door shapes shall be appropriate for the architectural style of the Building. Security bars at doors and windows shall be mounted on the inside of the Building and concealed from public view unless they are a thematic element to the architectural style. Roll-up security shutters shall be mounted on the inside of the Residence or built into the window.

The use or addition of fabric-type awnings, exterior sunshades or other shading devices that do not appear integrated into the design of the Building is strongly discouraged and can only be allowed if, in the opinion of the Committee, the element is integrally designed into the character of the residence and it does not have a negative impact on the overall visual harmony of The Reserve.

COMMUNITY DESIGN ELEMENTS - ARCHITECTURE -



V. Community Design Elements (Cont'd)

k. Columns and Archways

Columns and archways appropriate to the architectural style of the Residence or Building are encouraged, however, they should be massive and provide a feeling of depth and interest at fenestration and entries. Columns are limited to 15' in height.

l. Porticoes

Entry Porticoes and porch openings shall be limited to 15' in height.

m. Balconies

Balconies shall be designed to complement the architecture of the Residence or Building.

n. Sundecks

Sundecks must be directly accessible from the Residence or Building. Roof Sundecks are subject to the sole discretion and approval of the DRC. Sundecks shall be designed to complement the architecture of the Residence or Building.

o. Patio Covers

Patio covers shall be designed to complement the architecture of the Building.

p. Courtyard Walls and Fences

Courtyard walls and fences shall relate to the overall architectural character of the Residence or Building and should be visually softened with landscaping.

q. Chimneys

The design and finish of the chimney should complement the architectural design of the Structure. The use of accent trim such as pre-cast concrete, tile and stone is encouraged. Chimneys may not extend more than 2' above the highest roof point unless required by city building codes. Internally mounted spark arrestors shall be installed out of view from adjacent Residences. All fireplaces will be allowed only as permitted by environmental regulations and the City of Scottsdale.

r. Utility Equipment

Security equipment, HVAC units, swimming pool equipment, etc. shall be screened from public view by solid walls and gates that are at least 1' in height above the equipment and must meet utility company standards for access.

Wall mounted meters must not face the street, must be screened from public view and must meet the installation requirements of the local utility company. Electrical service units larger than 400 amps must be screened from view by an equipment closet and be contained within the Building Envelope.

Wireless Telecommunications - Wireless communications facilities for The Reserve may be incorporated into the architectural design of structures and buildings. Any such facilities will be integrated into the design of the structure and/or wall and will comply with all height limitations.

s. Interior Lighting

Interior lighting becomes a concern of the DRC if light that spills outside of the interior causes glare when seen from neighboring lots or common areas. Special attention should be given to the aiming and brightness of display lighting and other intense accent lighting as it may be reflected to the exterior particularly through high windows, clerestories or skylights. Darkly tinted glazing may be used on skylights and clerestories. Dark tinting of glass areas or the use of window coverings at doors and windows may be required to reduce light spill from interior spaces that utilize exceptionally high light levels.



COMMUNITY DESIGN ELEMENTS - ARCHITECTURE -

V. Community Design Elements (Cont'd)

t. Exterior Lighting

The Reserve is intended to be a 'dark sky' community and as such all exterior lighting will be evaluated as to how it will impact or enhance this philosophical intent. Exterior lighting shall mean light sources that are located outside the Structure. Subtle, low level lighting of facades is encouraged. Lighting shall be located, directed and shielded so that light rays and glare, to the greatest extent practicable, do not extend beyond Lot boundaries. Light fixtures with cut-off or concealed light sources are preferred. These types of fixtures may include wall sconces, recessed lighting, soffit lighting and directional lighting. Visible light sources are prohibited. Recessed lighting (i.e. soffit lights) incorporated into the architecture of the Building may be placed higher than 10' as long as the light source is not visible from adjacent properties. Floodlights to illuminate the structure are prohibited.

Exterior lighting serves one (1) of three (3) general purposes in relation to the Design Elements: safety, security, and recreational (for the visual enjoyment of outdoor living spaces) as characterized below:

- **Safety Lighting:** Low voltage lighting mounted in a low profile manner used to illuminate vehicular and pedestrian circulation and to assist in circulation outdoors.
- **Security Lighting:** Lighting intended to provide bright illumination during emergency situations only which may include unauthorized trespass and unusual or threatening sounds and/or activities. This type of lighting must be circuited and controlled separately from any and all other lights. All security lighting must be controlled by sensors and may not remain on at other times.
- **Recreational Lighting:** Lighting intended to illuminate exterior living areas such as patios, pool decks or landscaping behind walls or in Private Zones. Lighting for visual enjoyment may often provide for safety requirement around outdoor living areas, and safety lighting may sometimes contribute to the visual enjoyment of the landscape. Because of differences in the frequency, duration of use and the objective of minimizing unnecessary lighting, these lighting functions must be controlled separately.



Unless otherwise approved by the DRC, exterior lighting shall be mounted as follows:

- In the ground or on a post not exceeding 18" above grade.
- In or upon a wall not exceeding 8' above grade.
- Discreetly attached to mature trees without causing sway at a height not exceeding 8' above grade.

Light sources (lamps and bulbs) of all exterior lighting must be completely shielded from view to eliminate glare from normal standing, sitting or driving view angles from any neighboring Lot or Common Area. For example, lantern-type fixtures with an exposed bulb are not permitted. Particular care must be taken when lighting homes that are visible from land at lower elevations.

All up-lights must be aimed so that the focus of the light source is within ten (10) degrees of vertical. An exception would be those fixtures mounted below a roofed patio area that are aimed upward. The light source of such fixtures must be fully shielded behind the eaves. Up-lights that cause light spill into the night sky will not be approved.

All down-lights must be mounted in an approved manner and must be aimed downward within ten (10) degrees of vertical and shielded so that no light source may be visible. The DRC reserves the right to reject a downward directed light if, in its sole discretion, it appears excessive, inappropriate or not in conformance with the lighting philosophy of The Reserve.

The DRC must approve all lighting design and locations.

u. Accessory Structures

The architecture of Accessory Structures must be similar or compatible with the architectural style of the Building including use of colors, exterior materials and landscaping. Walls, courtyards or other major design elements must visually connect Accessory Structures.



COMMUNITY DESIGN ELEMENTS - ARCHITECTURE -



V. Community Design Elements (Cont'd)

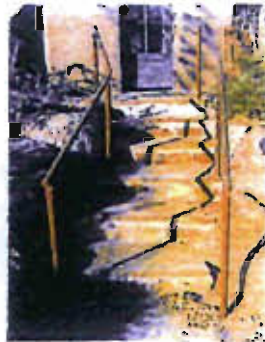
v. Guest Houses and Casitas

Guest Houses and/or Casitas must be located in the Building Envelope provided they meet the siting requirements of the Residence or Resort, City of Scottsdale regulations and the following conditions:

- The Guest House or Casita shall be designed and integrated into the elevation of the Residence or Resort. When viewed from the street, the Guest House or Casita shall not dominate the facade of the Residence or Resort, and shall not obstruct the view of the main entry unless it is an approved and integrated portion of the main entrance. The Guest House or Casita shall also be a complementary addition to the Structure massing as discussed in the Design Elements.
- Access into the Guest House or Casita shall not face a street.
- If a Guest House or Casita is located above a garage, the stairwell must be enclosed and shall not have its access perpendicular to the street.
- If a Guest House or Casita is detached from the Residence or Resort, it shall have a minimum separation of 10' from the Residence or Resort.
- The Guest House or Casita should be designed as a single visual element with the Residence or Resort, and should be visually connected by walls, courtyards or other major landscape elements and shall not appear to be 'floating' and dissociated from the residence or Resort.

w. Exterior Stairs

Exterior stairs shall be permitted when located within the Building Envelope. Their design and construction must be integrated into the architectural style of the Building and will not be perpendicular to the street. Owners should verify requirements with the City of Scottsdale building code.



x. Roof Colors

Roof colors shall be chosen for their architectural appropriateness as well as their color and textural relationship to the colors found in the natural environment of The Reserve. Metal roofing, if approved by the DRC, shall have an LRV of 35 or less. Flat roof finish material shall have an LRV of 45 or less.

y. Building Colors

Exterior colors of the Residence shall blend into the natural desert surroundings and have a light reflective value (LRV) that is less than or equal to forty-five (45).

Colors for exterior artwork, sculpture or any other special features should also be muted tones chosen to blend rather than contrast with the Residence and its surroundings.

z. Masonry

Natural or faux stone, brick, and concrete block shall be in muted desert shades to complement the natural terrain at The Reserve. See Appendix 1 for a list of approved stone products and colors.



COMMUNITY DESIGN ELEMENTS - ARCHITECTURE -



V. Community Design Elements (Cont'd)

D. Landscape Architecture

I. Introduction

The following landscape criteria have been established to ensure continuity and visual quality of the neighborhood image. All Planting Concepts and Final Plans require review and approval by the DRC.

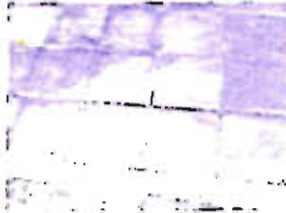
II. Hardscape Standards

Walls, walks, driveways, patios, decks and courtyards shall be integral to the design of the Residence or Building and surrounding landscape and shall complement rather than detract from the architectural style. Textured surfaces such as split-faced block, brick, stone, textured, integral color concrete pavers, etc. are encouraged and shall complement, not distract from, the Architecture of the Residence or Building.

a. Walls

Walls are an important part of the security, privacy and visual environment of residential areas. Like the architecture of the Residence, or Building walls and fences need to fit into the natural surroundings and should be a natural visual extension of the residence. All walls and fences shall be contained within the Construction Envelope and are not to be used to delineate the Construction Envelope. The design of these walls must be approved by the DRC. The following wall types and their uses are permitted within The Reserve:

- **Residential or Resort Unit Wall:** Walls and view fences built by the Owner delineating the Private Zone of the Residence or Resort Unit. Side yard return walls shall be set back a minimum of 5' from the face of the Residence.
- **Landscape Walls:** Walls used to retain grade and create raised planters or freestanding low walls used as accents at entry walkways, patio enclosures, etc.
- **Courtyard Walls:** Walls enclosing front, side or rear courts/patios.



b. Wall Height

Freestanding walls (non-retaining) may not exceed 6' in height and may not be built on artificially created mounds or berms used solely for the purpose of gaining additional height. No residential or resort wall may exceed the height of any adjacent community walls at the point of connection.

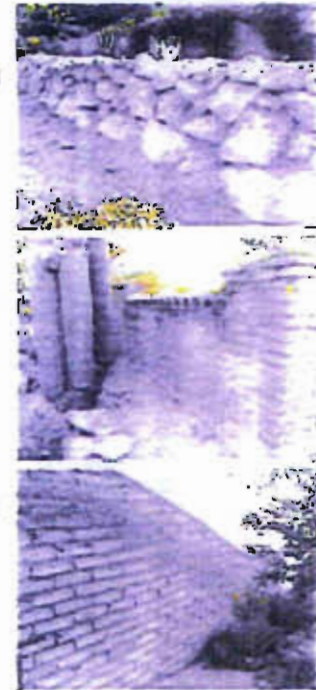
Retaining walls may not exceed 4' in height as measured to the finished grade directly below. If additional retaining is required, a second wall shall be provided with a minimum 4' separation between walls. All retaining wall designs are subject to approval by the DRC. Retaining walls combined with freestanding walls or fences are permitted as long as the solid wall portion does not exceed 6' in height and the total height of the non-retaining portion of the wall does not exceed 6'.

c. Wall Color and Material

Residential or Resort walls that can be seen from any street, the Golf Course or Open Space shall match the textured and colored compatibly with the Residence, Resort or Resort Unit. Painted or unfinished concrete block walls are not allowed. Slump block walls are permitted so long as they are compatible with the Residence or Resort.

d. Fences

Fences shall be wrought iron or tubular steel only. No chain link, plastic mesh or wooden fences are allowed. Fencing on top of a solid wall is permitted in The Reserve as long as the total height of the wall does not exceed the maximum wall height and that it meets the City's pool control measures where applicable.



COMMUNITY DESIGN ELEMENTS - LANDSCAPE ARCHITECTURE -



V. Community Design Elements *(Cont'd)*

e. Gates and Porticoes

Courtyard entry gates and porticoes may be no taller than 12'. Overhead archways for side yard gates may be a maximum of 8' to the top of the archway.

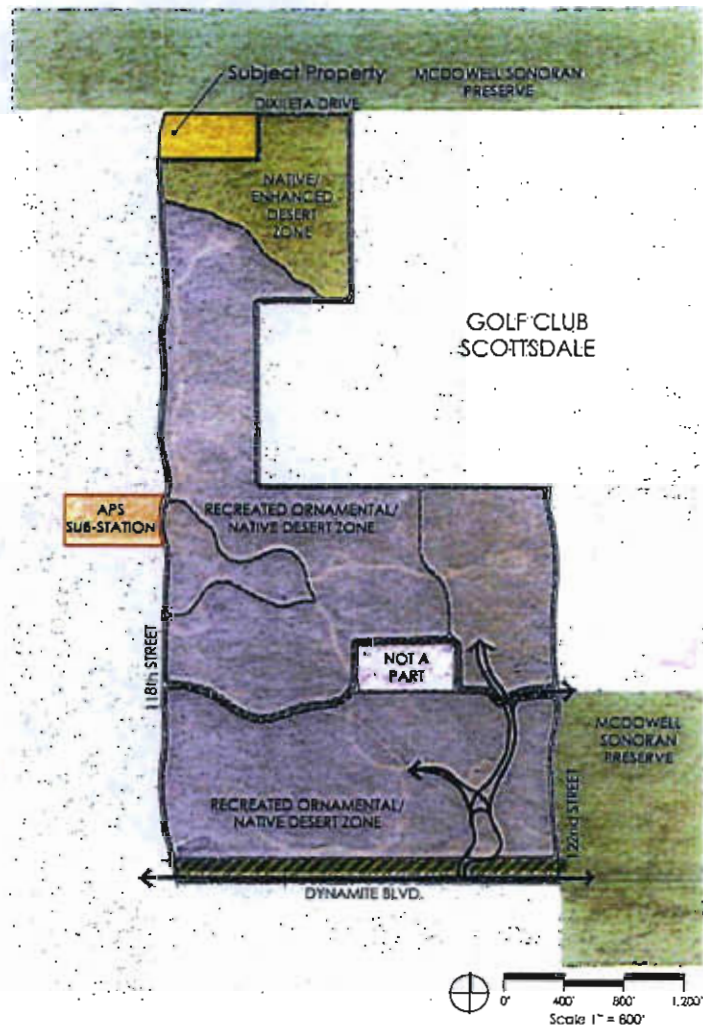
f. Driveways

Owners/developers shall construct driveways of integral colored, exposed aggregate, scored or patterned concrete, pavers, brick, stone or other similar decorative material. Asphalt, gray concrete and decomposed granite are not permitted. Driveway lighting should be kept to the minimum necessary for safe travel to and from the Residence and the street but will be reviewed on a case-by-case basis.

g. Special Paving

Special paving such as patterned concrete, scored concrete, brick or stone pavers, cobblestones and various paving materials in walkways, patios, courtyards and porch areas are encouraged to create texture and character. No standard gray concrete entry walks or walkways are permitted.





V. Community Design Elements (Cont'd)

III. Landscape Zones

a. Landscape Character Areas

There are two distinct landscape character areas of the Reserve. The Eco-Resort will feature a "Native Enhanced Desert Zone". The Eco-Resort is located in an area that was not adversely affected by the 1995 Rio Fire. The landscape is relatively undisturbed, and reflects the native Sonoran Desert. The character of this area will remain as the Eco-Resort is developed. As areas of the Eco Resort are re-vegetated, plant material used will mimic the plant material that exists already. If new plant material is introduced, only plant material that is native to the Sonoran Desert will be used in to enhance this area.

The remainder of the Reserve will feature a "Recreated Ornamental/Native Desert Zone". This area encompasses the area that was burned in the 1995 Rio Fire. Although plant material has been growing since the devastating Rio Fire, the area lacks the vegetative character that existed prior to the Rio Fire. As development occurs in this area, the landscape areas will be re-vegetated to enhance, with the goal of re-establishing the lost character of the desert. This area will feature plant material native to the Sonoran Desert. Additional plant material introduced to this area will be of the same character of the Sonoran Desert and will be used only to enhance this area.

Within each development village there will also be ample NAOS. The entire Eco-Resort will provide 88.3 acres of open space. These open space areas will be used for trail systems, drainage, recreational activities, and in many cases simply left undisturbed as areas of natural Open Space.



COMMUNITY DESIGN ELEMENTS - LANDSCAPE ARCHITECTURE - - LANDSCAPE ZONE MASTERPLAN



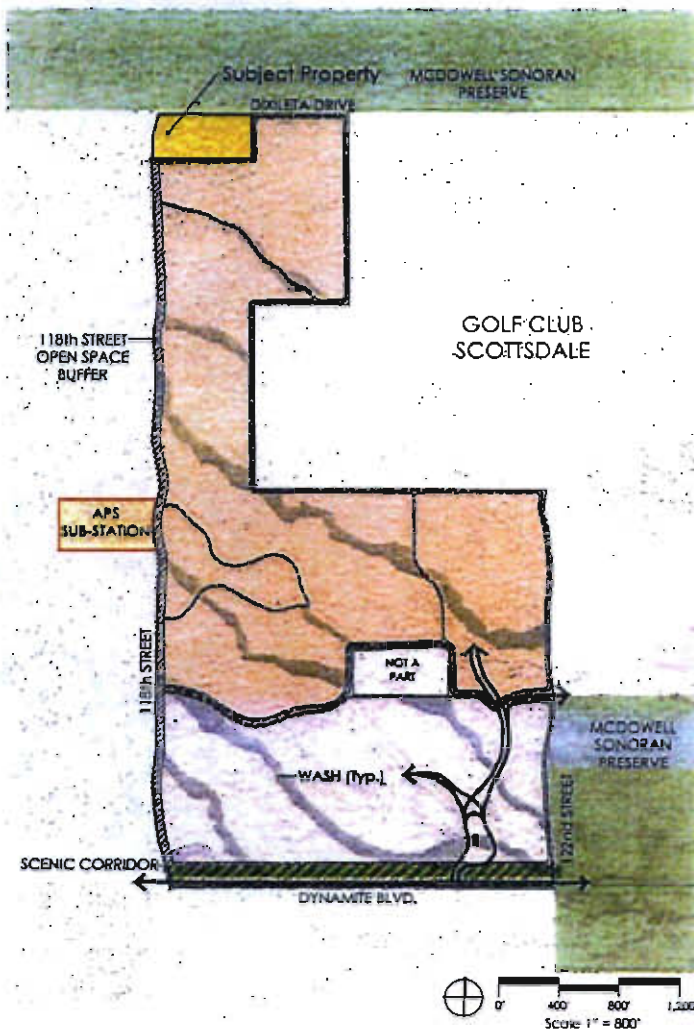
V. Community Design Elements (Cont'd)

b. Buffer Areas

There are two significant and specific open space and landscape areas located within the Eco-Resort at the Reserve. The Eco-Resort will feature a landscape berm within the Scenic Corridor along Dynamite Boulevard. The Scenic Corridor is 100 feet wide and will provide a beautiful landscape buffer between the busy roadway, and the Eco-Resort.

In addition to the Scenic Corridor, there will be a significant landscape buffer along 118th Street. This will also provide a beautiful landscape area between the roadway and the Eco-Resort. This area will help to eliminate road noise from the resort, and minimize both the views of cars and structures from both 118th Street and the Eco-Resort.

Washes at the Reserve will provide additional open space. The Eco-Resort will be carefully planned and designed to minimize disturbance to the washes that traverse the site.



COMMUNITY DESIGN ELEMENTS - LANDSCAPE ARCHITECTURE - - OPEN SPACE MASTERPLAN -



V. Community Design Elements (Cont'd)

IV. Landscape Standards

a. Grading

Landscape grading of Lots shall provide the following:

- **Soil Stability.** Adequate vegetative cover shall be provided upon completion of building construction.
- **Drainage away from the Building and other Structures.**
- **Drainage away from the inside (or backside) of all perimeter and Common Area walls built by the Master Developer unless specifically indicated on the Master Developer's rough grading plans. No drainage from Lots onto the Golf Course or Open Space is permitted unless specifically indicated on the Master Developer's rough grading plans.**

Grading should produce a graceful contouring of the Lot rather than harsh geometric slopes, banks or pads. Where graded slopes meet natural terrain, there should be a smooth and gradual transition. Turf areas should not exceed a 3:1 slope and should have a minimum 1.5% slope for proper drainage unless detention is desired. Shrub and groundcover areas should not exceed a 2:1 slope and should have a minimum .5% slope. Irrigation nuisance water shall be directed to outfalls, drain inlets, established swales or drainage courses.



b. Irrigation

Automatic irrigation systems shall be installed on Lots to conserve water and ensure proper watering of plant material. No manual valves are allowed. The following criteria shall apply to irrigation design:

- **Overhead spray shall be restricted to turf and flowerbeds.**
- **Head-to-head spray or subterranean irrigation coverage is required in all lawn areas. Systems shall be designed so peak summertime lawn irrigation can be completed between the hours of 10 P.M. and 6 A.M.**
- **Spray heads shall not throw water directly onto a foundation Structure, roadway, walkway, paved surface, the Golf Course property or Open Space. Spray heads must remain a minimum of 3' from all perimeter or residential walls. Spray irrigated areas shall be a minimum of 6' wide.**
- **Drip zones shall be designed so that additional (+25%) emitters to trees can be installed as they mature. Drip irrigation shall be used on trees and shrubs.**
- **A pressure vacuum breaker (PVB) or reduced pressure backflow preventer (BFP) shall be provided. Atmospheric breakers are not permitted.**

c. Planting Concept

The landscape architectural style of the yard should be compatible and integral with the architectural style of the Residence or Building. The Declarant encourages Owners/Developers to be responsive to environmental concerns regarding water conservation by limiting large turf areas and using drought tolerant plant materials.

d. Plant Materials

All plants shall be either salvaged materials or nursery grown, free of disease, of good habitat and shall represent the best qualities of their species. Sizing shall meet the Arizona Nursery Association Standards. Plants that can withstand the extremes of climate, soil conditions and wind experienced in the Scottsdale/Phoenix Valley should be selected.

COMMUNITY DESIGN ELEMENTS - LANDSCAPE ARCHITECTURE -



V. Community Design Elements (Cont'd)

e. Rock Mulch

Rock mulch, if used, shall be one (1) of the following:

- "Apache Brown" (Kalamazoo Materials)
- "Table Mesa Brown" (Rock Source)
- "Express Brown" (Granite Express)
- "Native Desert Floor" may be salvaged on Natural Lots and reapplied as rock mulch. This will require DRC approval and control samples to ensure proper coverage and transition to Native Zones.

No more than two (2) rock mulch colors or sizes may be used in any yard. Wood mulch, if used, shall be confined to planting areas next to the Residence or Building, or within raised planters and flowerbeds. No 'river run' rock or blasted 'rip rap' is allowed in Native or Transitional Zones.

f. Boulders

Natural boulders, cobbles and gravel may be used to supplement the front yard landscape but should be limited. Boulders and rock groupings should be buried at least 30% of their mass to appear as natural outcroppings. Boulder colors shall complement the natural tones of the desert. Boulder color shall range from a muted black tone to a light brown. All boulder color selections are subject to approval by the DRC. Color samples may be requested as part of the submittal process.

g. Outdoor Art, Water Features and Landscape Ornaments

Statues, outdoor art, decorative water features, waterfalls, fountains, birdbaths, ponds and similar landscape elements are subject to review by the DRC. Water features and waterfalls combined with swimming pools are acceptable subject to the approval by the DRC. Water slides and rock structures are subject to Accessory Structures criteria.



h. Swimming Pools

Swimming pools and spas must be constructed according to City ordinances and other applicable regulations including required fence and enclosure heights. Exposed tile color on a negative edge pool must be dark.

The preliminary submittal shall include information on how backwash from the pool will be handled. A drywell shall be the default mechanism for the disposal of pool backwash. Because of environmental concerns, pool backwash or pool draining is prohibited from disposal into a wash, other natural drainage area or into the sanitary sewer system. All applicable regulations governing disposal of pool water must be followed.

I. Flagpoles

Flagpoles shall be mounted at an angle on the side of a Building and may not exceed 6' in length. Vertically mounted, stand-alone flagpoles are not permitted. Flag size shall be a maximum of 3' x 5'.

J. Landscape Lighting

Owners are required to use exterior or landscape lighting in the front yard. Only indirect low-level lighting is permitted. No lighting that causes glare, discomfort or disruption to the visual environment of neighboring Residences or Buildings and yards is permitted. Any lights mounted higher than 6' off the ground must be pointed downward and away from neighboring Residences or Buildings. No light on any Building, tree, pole or any other vertical element within a Lot may be located higher than the first story plate line. Ground mounted spot lights and up-lights are acceptable provided they point towards plants and do not provide nuisance light levels in adjacent Lots.

Landscape lighting may be utilized to illuminate walkways, patio perimeters and paths. The installation must be such that it does not appear to be contrived. Lighting should not be installed in a row along the edge of a path or driveway unless it supports a formal hardscape or formal tree design element.

Cut sheets and photometric charts for proposed fixtures must be submitted to the DRC with the Final Design Submittal.

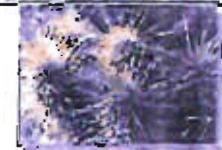
k. Turf

Turf proposed in ESL areas shall be placed in a manner to not interfere with the viewing enjoyment of the environmentally sensitive lands.

L. Landscape Zones

Within The Reserve, the landscape material that will be utilized for revegetation can be used in up to three different zones. The first zone (Transition Zone) applies to areas between existing natural desert and private zones. The second zone (Private Zone) applies to areas that are not readily visible from the street or other public areas. The third zone (Native Zone) applies to areas designated for native vegetation only, or areas of Natural Area Open Space that are being restored with native plant material.

COMMUNITY DESIGN ELEMENTS - LANDSCAPE ARCHITECTURE -



V. Community Design Elements (Cont'd)

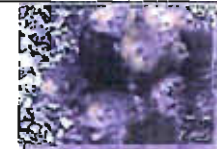
K. Approved Plant List

Botanical Name	Common Name	Transition Zones	Private Zones	Native Zones
TREES				
<i>Acacia abyssinica</i>	Ethiopian Acacia	X	X	
<i>Acacia aneura</i>	Mulga	X	X	
<i>Acacia greggii</i>	Catclaw	X	X	X
<i>Acacia salicina</i>	Willow Acacia		X	
<i>Acacia smallii</i>	Sweet Acacia	X	X	X
<i>Acacia stenophylla</i>	Shaestring Acacia		X	
<i>Acacia wilsoniana</i>	Palo Blanco	X	X	
<i>Albizia julibrissin</i>	Silk Tree		X	
<i>Bauhinia congesta</i>	Orchid Tree		X	
<i>Bauhinia lunarioides</i>	Pink Orchid Tree		X	
<i>Caesalpinia cocalaco</i>	Cascalote	X	X	X
<i>Chamaerops humilis</i>	Mediterranean Palm		X	
<i>Chilopsis linearis</i>	Desert Willow	X	X	X
<i>Chilopsis tashkentensis</i>	Chilopsis	X	X	
<i>Cycas revoluta</i>	Sago Palm		X	
<i>Jacaranda mimosifolia</i>	Jacaranda	X	X	
<i>Lysiloma candida</i>	Palo Blanco	X	X	
<i>Lysiloma microphylla</i> v. <i>thomberi</i>	Desert Fern	X		X
<i>Olneya tesota</i>	Ironwood	X	X	X
<i>Parkinsonia x 'Desert Museum'</i>	Desert Museum	X	X	X
<i>Parkinsonia florida</i>	Blue Palo Verde	X	X	X
<i>Parkinsonia microphyllum</i>	Foothills Palo Verde	X	X	X
<i>Parkinsonia praecox</i>	Palo Brea	X	X	X
<i>Pithecellobium flexicaule</i>	Texas Ebony	X	X	X
<i>Pithecellobium mexicanum</i>	Mexican Ebony	X	X	X
<i>Pithecellobium pallens</i>	Tenaza	X	X	X
<i>Prosopis alba</i>	Argentine Mesquite	X	X	X
<i>Prosopis chilensis</i>	Chilean Mesquite	X	X	X



Botanical Name	Common Name	Transition Zones	Private Zones	Native Zones
<i>Prosopis glandulosa</i>	Texas Honey Mesquite	X	X	X
<i>Prosopis pubescens</i>	Screwbean Mesquite	X	X	X
<i>Prosopis velutina</i>	Velvet Mesquite	X	X	X
<i>Sophora secundiflora</i> 'Silver Peso'	Silver Peso	X	X	X
<i>Vitex angustifolius</i>	Chaste Tree	X	X	
CACTI / ACCENTS				
<i>Agave americana</i>	Variegated Century Plant	X	X	
<i>Agave chrysantha</i>	Golden-Flowered Agave	X	X	
<i>Agave deserti</i>	Desert Agave	X	X	X
<i>Agave geminiflora</i>	Twin-Flowered Agave	X	X	
<i>Agave havardiana</i>	Harvard Agave	X	X	X
<i>Agave lechuguilla</i>	Lechuguilla	X	X	
<i>Agave murpheyi</i>	Murphy Agave	X	X	
<i>Agave neomexicana</i>	New Mexico Agave	X	X	X
<i>Agave palmeri</i>	Palmer's Agave	X	X	X
<i>Agave parryi</i> v. <i>huachuensis</i>	Parry's Agave	X	X	X
<i>Agave toumeyana</i>	Toumey's Agave	X	X	X
<i>Agave utahensis</i>	Utah Agave	X	X	X
<i>Asclepias subulata</i>	Desert Milkweed	X	X	X
<i>Carnegiea gigantea</i>	Saguaro	X	X	X
<i>Dasyliion acrotiche</i>	Green Desert Spoon	X	X	X
<i>Dasyliion longistimum</i>	Mexican Grass Tree	X	X	X
<i>Dasyliion wheeleri</i>	Desert Spoon	X	X	
<i>Echinocereus engelmannii</i>	Hedgehog	X	X	X
<i>Euphorbia biglandulosa</i>	Gopher Plant	X	X	X
<i>Euphorbia myrsinites</i>	Euphorbia	X	X	X
<i>Ferocactus</i> spp.	Barrel Cactus	X	X	X
<i>Fouquieria splendens</i>	Occilla	X	X	X

COMMUNITY DESIGN ELEMENTS - LANDSCAPE ARCHITECTURE -



V. Community Design Elements (Cont'd)

Botanical Name	Common Name	Transition Zones	Private Zones	Native Zones
Hesperaloe funifera	Coahuilan Hesperaloe	X	X	X
Hesperaloe parviflora	Red Hesperaloe	X	X	X
Hesperaloe parviflora (yellow)	Yellow Hesperaloe	X	X	
Opuntia spp.	Cholla and Prickly Pear	X	X	X
Pedilanthus macrocarpus	Lady's Slipper	X	X	
Stenocereus marginatus	Mexican Fence Post	X	X	X
Yucca baccata	Banana Yucca	X	X	X
Yucca elata	Soapfree Yucca	X	X	X
Yucca faxoniana	Spanish Bayonet	X	X	X
Yucca recurvifolia	Curvedleaf Yucca	X	X	X
Yucca rigida	Blue Yucca	X	X	
SHRUBS				
Acacia constricta	Whiteham Acacia	X	X	
Acacia craspedocarpa	Leather Leaf Acacia	X	X	
Acacia greggii	Catsclaw Acacia	X	X	X
Alyogyne huegelii	Blue Hibiscus		X	
Ambrosia ambrosioides	Giant Bursage	X	X	X
Ambrosia deltoidea	Triangle Bursage	X	X	X
Anisacanthus species	Anisacanthus	X	X	X
Bougainvillea 'La Jolla'	Bush Bougainvillea	X	X	
Buddleia davidii	Butterflybush	X	X	X
Buddleia marubifolia	Wooly Butterfly Bush	X	X	X
Caesalpinia gilliesii	Yellow Bird of Paradise		X	
Caesalpinia pulcherrima	Red Bird of Paradise		X	
Caesalpinia mexicana	Mexican Bird of Paradise		X	
Calliandra californica	Baja Red Fairy Duster	X	X	X
Calliandra eriophylla	Pink Fairy Duster	X	X	X
Cassia artemisioides	Feathery Cassia	X	X	
Cassia nemophila	Desert Cassia	X	X	X



Botanical Name	Common Name	Transition Zones	Private Zones	Native Zones
Cassia phytoladenia	Silver-leaf Cassia	X	X	
Cassia wislizeni	Shrubby Cassia	X	X	
Celtis pallida	Desert Hackberry	X	X	X
Celtis reticulata	Canyon Hackberry	X	X	X
Convolvulus cneorum	Bush Morning Glory		X	
Cordia boissieri	Mexican Olive	X	X	X
Cordia parvifolia	Little Leaf Cordia	X	X	
Dalea bicolor	Indigo Bush	X	X	X
Dalea frutescens	Black Dalea	X	X	X
Dalea frutescens 'Sierra Negra'	Sierra Negra Dalea	X	X	X
Dalea pulchra	Bush Dalea	X	X	X
Dalea versicolor	Indigo Bush	X	X	X
Dicliptera suberecta	Velvet Honeysuckle	X	X	
Dodonea viscosa	Hopbush		X	
Dyssodia cerosa	Shrubby Dogwood	X	X	X
Encelia farinosa	Brittlebush	X	X	X
Encelia maculata 'Pink Beauty'	Emu Bush	X	X	
Ephedra spp.	Ephedra Species	X	X	X
Ericameria laricifolia	Turpentine Bush	X	X	X
Eriogonum fasciculatum	California Buckwheat	X	X	X
Eriogonum wrightii	Wright Buckwheat	X	X	X
Hypoxis emoryi	Desert Lavender	X	X	
Justicia californica	Chuparosa	X	X	X
Justicia ovala	Loosetlower Water Willow	X	X	X
Justicia spicigera	Mexican Honeysuckle	X	X	
Larrea tridentata	Cresote Bush	X	X	X
Leucophyllum candidum	Silver Cloud	X	X	
Leucophyllum candidum 'Thunder Cloud'	Thunder Cloud Sage	X	X	
Leucophyllum frutescens	Texas Sage	X	X	
Leucophyllum frutescens 'Compacta'	Compact Texas Sage	X	X	
Leucophyllum frutescens 'Green Cloud'	Green Cloud Sage	X	X	

COMMUNITY DESIGN ELEMENTS - LANDSCAPE ARCHITECTURE -



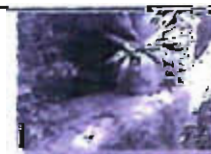
V. Community Design Elements (Cont'd)

Botanical Name	Common Name	Transition Zones	Private Zones	Native Zones
<i>Leucophyllum frutescens</i> 'White Cloud'	White Cloud Sage	X	X	
<i>Leucophyllum laevigatum</i>	Chihuahuan Sage	X	X	X
<i>Leucophyllum langmaniae</i> 'Lynn's Legacy'	Lynn's Legacy Sage	X	X	
<i>Leucophyllum langmaniae</i> 'Rio Bravo'	Rio Bravo Sage	X	X	
<i>Leucophyllum pruinosum</i> 'Sierra Bouquet'	Sierra Bouquet Sage	X	X	
<i>Leucophyllum revolutum</i> 'Sierra Magic'	Sierra Magic Sage	X	X	
<i>Leucophyllum zygophyllum</i>	Blue Ranger	X	X	
<i>Lotus rigidus</i>	Deer Vetch	X	X	X
<i>Lycium andersonii</i>	Wolfberry	X	X	X
<i>Mimosa dysocarpa</i>	Mimosa	X	X	X
<i>Plumbago capensis</i>	Blue Plumbago	X	X	
<i>Plumbago scandens</i>	Plumbago White	X	X	
<i>Rhus ovata</i>	Sugarbush	X	X	
<i>Rosa banksiae</i> 'Alba Plena'	Lady Bank's White Rose	X	X	
<i>Ruellia peninsularis</i>	Baja Ruella	X	X	X
<i>Salvia chamaedryoides</i>	Mexican Blue Sage	X	X	
<i>Salvia clevelandii</i>	Chaparral Sage	X	X	X
<i>Salvia greggii</i>	Autumn Sage	X	X	
<i>Salvia leucantha</i>	Mexican Blue Sage	X	X	
<i>Salvia leucophylla</i>	Purple Sage	X	X	
<i>Senna covesii</i>	Desert Senna	X	X	X
<i>Senna wislizenii</i>	Shrubby Senna	X	X	X
<i>Simmondsia chinensis</i>	Jajoba	X	X	X
<i>Sophora secundiflora</i>	Texas Mountain Laurel	X	X	X
<i>Sphaeralcea ambigua</i>	Desert Globemallow	X	X	X
<i>Tagetes lammoni</i>	Mt. Lammon Marigold	X	X	X
<i>Tecoma stans</i>	Yellow Bells	X	X	
<i>Viguiera deltoidea</i>	Goldeneye	X	X	X
<i>Zauschneria californica</i>	Hummingbird Bush	X	X	
<i>Zauschneria californica</i>	California Fuchsia	X	X	
<i>Zizyphus obtusifolia</i>	Gray Thorn	X	X	X



Botanical Name	Common Name	Transition Zones	Private Zones	Native Zones
GROUNDCOVERS				
<i>Acacia redolens</i> var. 'Low Boy'	Trailing Acacia	X	X	
<i>Alzooceae</i> spp.	Ice Plant	X	X	X
<i>Antigonon leptopus</i>	Queen's Wreath	X	X	
<i>Baileya multiradiata</i>	Desert Marigold	X	X	
<i>Calyptophus hartwegii</i> 'Sierra Sundrop'	Calyptophus	X	X	
<i>Chrysoclinia mexicana</i>	Damianita	X	X	
<i>Convolvulus mauritanicus</i>	Ground Morning Glory		X	
<i>Cuphea hawaii</i>	Bat-Faced Cuphea	X	X	X
<i>Dalea capitata</i> 'Sierra Gold'	Sierra Gold Dalea	X	X	X
<i>Dalea greggii</i>	Trailing Indigo Bush	X	X	X
<i>Dietes iridioides</i>	Fortnight Lily		X	
<i>Drosera speciosa</i> 'Rosea'	Ice Plant	X	X	X
<i>Dyssodia pentachaeta</i>	Dyssodia	X	X	X
<i>Erigeron divergens</i>	Spreading Fleabane	X	X	X
<i>Gazania rigens</i> 'Sun Gold'	Gazania		X	
<i>Guara linahelmeri</i>	Guara	X	X	X
<i>Hemerocallis</i>	Daylily		X	
<i>Hymenoxys acaulis</i>	Angelita Daisy	X	X	X
	Trailing Purple/Yellow			
<i>Lantana montevidensis</i>	Lantana		X	
<i>Malephora lutea</i>	Rocky Point Ice Plant	X	X	X
<i>Melampodium leucanthum</i>	Blackfoot Daisy	X	X	X
<i>Muhlenbergia capillaris</i> 'Regal Mist'	Regal Mist Muhley	X	X	
<i>Muhlenbergia emersleyi</i> 'El Toro'	Bull Grass		X	
<i>Muhlenbergia lindheimeri</i> 'Autumn Glow'	Autumn Glow Muhley		X	
<i>Muhlenbergia rigens</i>	Deer Grass	X	X	
<i>Muhlenbergia rigida</i> 'Nashville'	Nashville Grass	X	X	
<i>Oenothera berlandieri</i>	Mexican Evening Primrose	X	X	
<i>Oenothera</i> spp.	Primrose Species	X	X	
<i>Osteospermum fruticosum</i>	Trailing African Daisy	X	X	

COMMUNITY DESIGN ELEMENTS - LANDSCAPE ARCHITECTURE -



V. Community Design Elements (Cont'd)

Botanical Name	Common Name	Transition Zones	Private Zones	Native Zones
<i>Penstemon baccharifolius</i>	Rock Penstemon	X	X	X
<i>Penstemon eatonii</i>	Firecracker Penstemon	X	X	X
<i>Penstemon grandiflorus</i>	Penstemon	X	X	X
<i>Penstemon palmeri</i>	Palmer's Penstemon	X	X	X
<i>Penstemon parryi</i>	Parry's Penstemon	X	X	X
<i>Penstemon pseudospectabilis</i>	Canyon Penstemon	X	X	X
<i>Penstemon superbus</i>	Superb Penstemon	X	X	X
<i>Penstemon wrightii</i>	Wright's Penstemon	X	X	X
<i>Plumbago auriculata</i>	Cape Plumbago		X	
<i>Podranea ricasoliana</i>	Pink Trumpet Vine		X	
<i>Psilostrophe cooperi</i>	Paperflower	X	X	X
<i>Pyracantha kalkdumii</i>	Pyracantha		X	
<i>Rosmarinus officinalis</i>	Rosemary		X	
<i>Ruellia brittoniana</i>	Ruellia		X	
<i>Salvia spp.</i>	Salvia Species	X	X	
<i>Santolina chamaecyparissus</i>	Lavender Cotton		X	
<i>Santolina virens</i>	Green Santolina	X	X	X
<i>Tagetes lemmonii</i>	Mt. Lemmon Marigold	X	X	X
<i>Glandularia gooddingii</i>	Goodding's Verbena	X	X	X
<i>Glandularia pulchella</i>	Moss Verbena	X	X	X
<i>Glandularia rigida</i>	Sandpaper Verbena	X	X	X
<i>Glandularia tenuisecta</i>	Moss Verbena	X	X	X
<i>Glandularia tenuisecta 'Edith'</i>	Edith Verbena	X	X	X
<i>Zephyranthes candida</i>	Rain Lily		X	
<i>Zinnia acerosa</i>	Desert Zinnia	X	X	X
<i>Zinnia grandiflora</i>	Little Golden Zinnia	X	X	
VINES				
<i>Antigonon leptopus</i>	Queen's Wreath		X	
<i>Bougainvillea 'Barbara Karst'</i>	Bougainvillea 'Barb. Karst'	X	X	
<i>Bougainvillea 'California Gold'</i>	Bougainvillea 'Cal. Gold'	X	X	

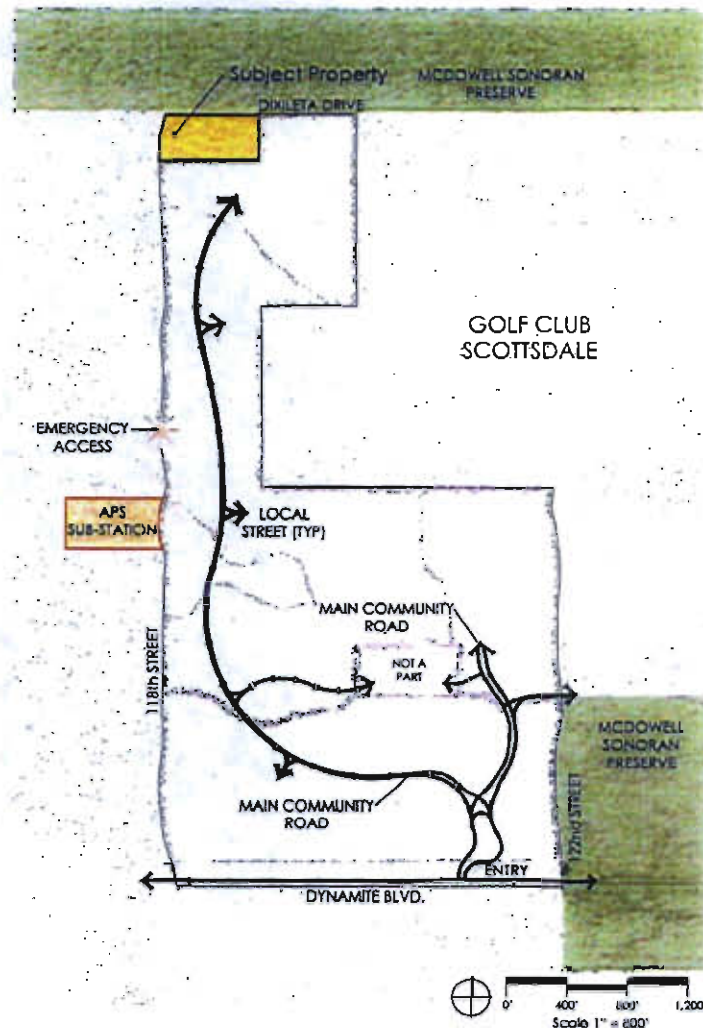


Botanical Name	Common Name	Transition Zones	Private Zones	Native Zones
<i>Bougainvillea 'Jamaica White'</i>	White Bougainvillea		X	
<i>Bougainvillea 'San Diego Red'</i>	Bougainvillea		X	
<i>Bougainvillea spectabilis</i>	Great Bougainvillea		X	
<i>Fajoa sellowiana</i>	Pineapple Guava		X	
<i>Gesnerium sempervirens</i>	Yellow Flowering Jessamine		X	
<i>Hardenbergia comptoniana</i>	Uiac Vine		X	
<i>Mascagnia ilacina</i>	Uiac Orchid Vine		X	
<i>Mascagnia macroptera</i>	Yellow Orchid Vine		X	
<i>Maurandya antishrillara</i>	Snapdragon Vine		X	
<i>Podranea ricasoliana</i>	Pink Trumpet Vine		X	
<i>Rosa banksiae</i>	Lady Bank's Rose	X	X	
<i>Solanum jasminoides</i>	Potato Vine		X	
<i>Vigna caracalla</i>	Snail Vine		X	



COMMUNITY DESIGN ELEMENTS - LANDSCAPE ARCHITECTURE -





V. Community Design Elements (Cont'd)

E. Circulation

I. Motorized Circulation

The Reserve will utilize a simple and efficient motorized circulation system. Upon entering the community from Dynamite Boulevard, vehicular traffic will be carried by a main community road that will lead and connect to every village within the Reserve. This road will be a feature of the community and be the major link to all areas of the community. Extensive landscape and a creative, yet efficient road alignment will create a truly enjoyable transportation route through the community. By utilizing efficiency in the road alignment, areas of disturbance are minimized.

Secondary roads feeding off the main community road will be designed and aligned to best fit within the natural character of the site. This will help minimize disturbance to the existing desert. These roads will be designed to the City of Scottsdale's street standards. Access to the exception parcels will be maintained through this project's street network in a manner similar to existing access through The Reserve plat.

The Reserve also features the following circulation elements:

- Roads will be planned around washes, rock outcrops, and existing vegetation to minimize disturbance.
- Roads will use as much of the existing disturbed areas as is reasonably possible. Remaining disturbed areas will be re-vegetated to restore the character of the desert.
- There will be one point of access from Dynamite Boulevard, and will consider a secondary or emergency access to the west along 118th Street.
- All internal streets will be private.
- All roadway tracts shall be landscaped and maintained by the developer and/or homeowner association.



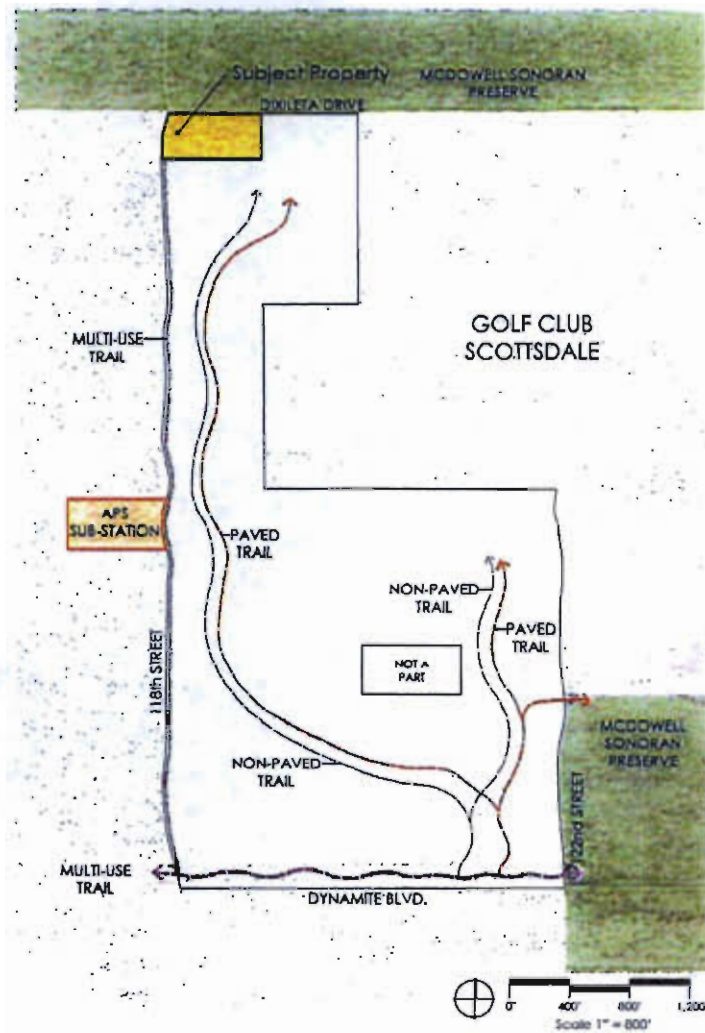
Emergency Access

*All street locations are conceptual and for illustration purposes only. Actual locations will be determined at a later date.



COMMUNITY DESIGN ELEMENTS - MOTORIZED CIRCULATION -





V. Community Design Elements (Cont'd)

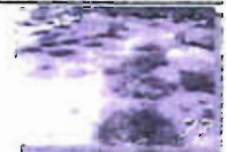
ii. Non-Motorized Circulation

The Reserve offers an abundance of quality open space that will be utilized for pedestrian circulation. The open space areas provide beautiful desert settings for a variety of paths and trails. These paths and trails will provide additional connectivity to each of the different areas within the Reserve, including the Eco-Resort Amenity Sites.

The Eco-Resort will feature a multi-use trail along 118th Street and Dynamite Boulevard, a paved trail that connects to the multi-use trail along Dynamite Boulevard and all of the Resort Villages, and a non-paved trail that serves the same function. All trails will be designed to the current City of Scottsdale trails standards.



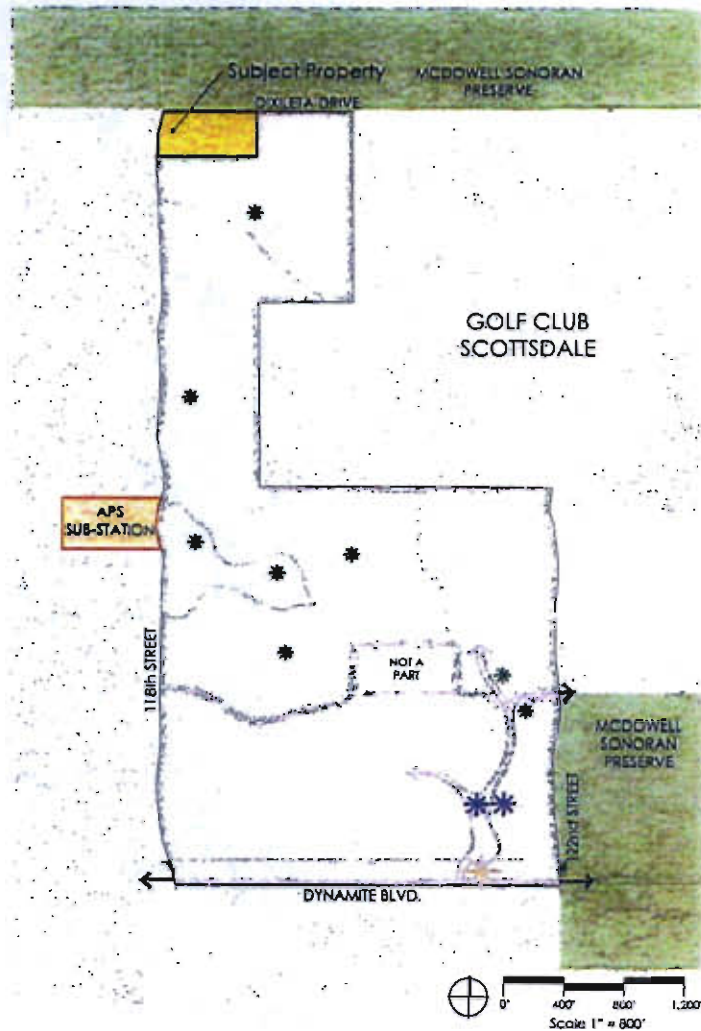
COMMUNITY DESIGN ELEMENTS - NON MOTORIZED CIRCULATION -



V. Community Design Elements (Cont'd)

F. Monumentation

The Eco-Resort will feature community monumentation in key locations to identify significant areas of the Resort Community. There will be three types of monumentation, with the differences being in scale. The Eco-Resort will have Primary, Secondary, and Tertiary monumentation. The entry of the Resort Community along Dynamite Boulevard will feature the Primary monumentation. Secondary monumentation will occur shortly after entering the Reserve to assist in directing traffic to the appropriate location. Tertiary monumentation will occur locally at the individual villages within the Reserve. All monumentation will be designed and constructed in the same architectural style of the community to help promote connectivity.



Primary Monumentation



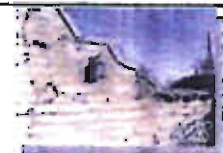
Secondary Monumentation



Tertiary Monumentation

*All monumentation locations are conceptual and for illustration purposes only. Actual locations will be determined at a later date.

COMMUNITY DESIGN ELEMENTS - MONUMENTATION -



VI. Dynamite Foothills Character Area Implementation Program

In the City's planning process, areas of the City receive additional planning and design guidelines to guide land uses and development within those areas. These "Character Area Plans" are key City policy documents. Above in Section III on Planning and Policy, The Reserve's compliance with the Dynamite Foothills Character Area Plan is discussed.

Within each Character Area Plan, the City has outlined Implementation Programs which contain guidelines as to specific steps that the Applicant can take to achieve the Policy goals. Below are tables that show how The Reserve is implementing the City's guidelines.

Location Criteria

- These uses should be adjacent to but not encroaching upon major natural open space areas (e.g. McDowell Mountain Regional Park, McDowell Mountains, Fraesfield Mountain, Tonto National Forest) to enhance access and transitions to these open spaces. (Page 12 of the Dynamite Foothills Character Area Implementation program, March 21, 2000)
- They should not be accessed from local residential streets so traffic for such uses does not mix with local residential activity. (Page 12)

Land Use Relationships

- Buildings, recreation facilities and parking areas should be located at least 300 feet from adjacent residential lots to minimize the contrast of such uses with residential areas. (Page 12)
- Parking areas and loading/ service areas should not be visible from adjacent parcels in order to achieve a rural, residential character. (Page 12)

The Reserve

- The proposed Eco-Resort will be located directly adjacent to the McDowell Sonoran Preserve. The Eco-Resort will be appropriately designed and located as not to encroach but to provide a sensitive transition to the Preserve. A key purpose of the Eco Resort is to provide educational experiences to resort guests that will enhance the value of the McDowell Sonoran Preserve for future generations.
- The Eco-Resort will have its own dedicated access from the main community roadway. The access to the resort will not be utilized for any residential uses.

The Reserve

- All Eco-Resort facilities will be located at least 300 feet from any potential residential lots. The nature of the design and architecture of the facilities will be of low impact and similar to residential character.
- Parking and Service areas will be screened so as to not impact adjacent parcels. The protection of natural view corridors is a central design theme

Sensitivity to Setting

- Buildings should be residentially scaled and in concert with the Rural Desert character. Guest ranch, casita scale buildings are preferred. Any building larger than 12,500 square feet should provide additional setbacks in order to maintain compatibility with the residential setting. (Page 13)
- Buildings and facilities, except one or two unit casitas without direct vehicular access, should not be placed on slopes over 10%. Larger buildings and associated parking areas are difficult to place on steeper slopes without resulting in substantial cuts and fills. (Page 13)
- Recreation facilities should be sited in low areas, such as on terraces next to washes. (Page 13)
- Designate grading/ construction envelopes prior to the development of a site to protect the surrounding natural desert areas from construction encroachment. (Page 13)

The Reserve

- All Eco Resort buildings will be residential in scale. No building will be higher than 29 feet from existing grade.
- All Eco Resort building and facilities will be carefully located to minimize development on slopes greater than 10%, and minimize associated cuts and fills where possible. The facilities will be spread to maintain view corridors and in so doing the low impact standards will be carried out.
- There will be minimal specific "recreation facilities." Recreation areas will be carefully located in areas of low impact and where most practicable.
- Prior to development, areas of grading and construction will be designated to protect the natural desert areas.



DYNAMITE FOOTHILLS CHARACTER AREA IMPLEMENTATION PROGRAM



VI. Dynamite Foothills Character Area Implementation Program (Cont'd)

Physical Character

- In order to blend with the desert and the rural character, buildings should be single story in height. (Page 13)
- The minimum separation between buildings should be 40 feet so that they appear similar to single family homes in their layout. (Page 13)
- Complex building design and multiple roof types/ forms should be used to provide interest. Structures should work with the topographic form of the site so that the natural form of the land is retained. (Page 13)
- Building materials should be southwestern rural and indigenous, where possible. (Page 13)
- Low density specialty resorts should maintain a Rural Desert character and residential appearance. (Page 13)

The Reserve

- Buildings will predominantly be single story. Two story buildings will be limited and carefully located to minimize visual disturbance. Building heights will not exceed 29' pursuant to ESL regulations.
- Buildings will vary in separation in order to best locate them within the existing desert setting and topography, while maintaining an appearance similar in architectural feel to single family homes, and to minimize disturbance.
- The practice of "four sided" architecture will be utilized for all buildings. Buildings will be carefully located within the existing topography to minimize disturbance of the natural form of the land.
- Building materials, where possible, will be southwestern and rural in character. Buildings will utilize colors, shapes and textures to promote a "blending" with the natural desert environment where possible.
- The Eco Resort will maintain and enhance the rural desert character and reflect a residential appearance.



DYNAMITE FOOTHILLS CHARACTER AREA IMPLEMENTATION PROGRAM



VII. Conclusion

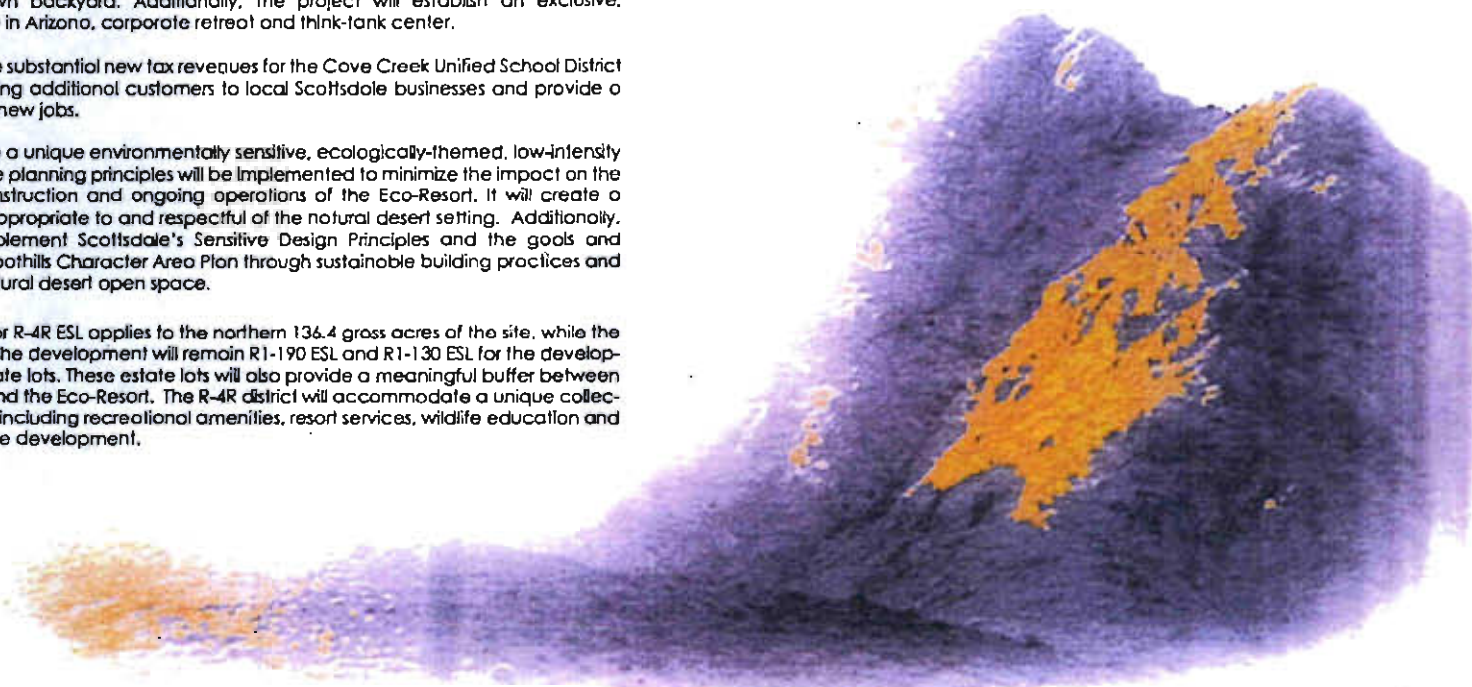
After years of thought and planning derived from his legacy of creating innovative and environmentally sensitive projects, Lyle Anderson is preparing to bring The Reserve: Scottsdale's First Eco-Resort to life. This resort community represents the "next generation" of the Lyle Anderson communities, addressing population trends, evolving market conditions and consumer needs and preferences.

The Reserve will create a unique eco-resort experience that does not currently exist in Scottsdale, broadening the appeal of the city's most important industry. The Eco-Resort will showcase Scottsdale's Southwestern heritage. It will create a new standard for environmental excellence in our own backyard. Additionally, The project will establish an exclusive, unmatched anywhere in Arizona, corporate retreat and think-tank center.

The project will provide substantial new tax revenues for the Cove Creek Unified School District and the city. It will bring additional customers to local Scottsdale businesses and provide a substantial number of new jobs.

The Reserve will create a unique environmentally sensitive, ecologically-themed, low-intensity eco-resort. Sustainable planning principles will be implemented to minimize the impact on the environment from construction and ongoing operations of the Eco-Resort. It will create a development that is appropriate to and respectful of the natural desert setting. Additionally, the Applicant will implement Scottsdale's Sensitive Design Principles and the goals and policies of Dynamite Foothills Character Area Plan through sustainable building practices and the preservation of natural desert open space.

The rezoning request for R-4R ESL applies to the northern 136.4 gross acres of the site, while the southern 76.7 acres of the development will remain R1-190 ESL and R1-130 ESL for the development of residential estate lots. These estate lots will also provide a meaningful buffer between Dynamite Boulevard and the Eco-Resort. The R-4R district will accommodate a unique collection of resort amenities including recreational amenities, resort services, wildlife education and associated resort village development.



CONCLUSION





ATTACHMENT #9





The Reserve - Design Review Board

Conceptual Entry Design

Date: July 19, 2012

Reserve Development Company, LLC

August 24, 2012

City of Scottsdale

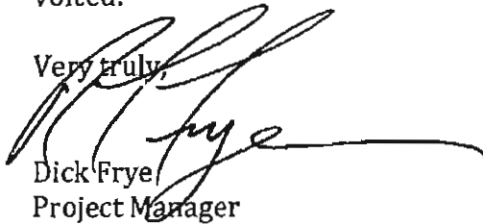
Attention: Jesus Murillo

Please find herewith the Neighborhood Involvement Meeting details for a meeting held at the Golf Club Scottsdale on August 9, 2012 from 6:00 PM until 7:30 PM.

The materials presented were those related to the 5-acre General Plan Minor Amendment and Re-zoning, the abandonment of easements within the Reserve project, proposed residential architecture, map of proposed trails, map of scenic corridor plan, map of proposed APS substation improvement.

There were no comment cards submitted and no objections to the project were voiced.

Very truly,

A handwritten signature in black ink, appearing to read 'Dick Frye', is written over the typed name and title.

Dick Frye
Project Manager

ATTACHMENT #10

8777 N. Gainey Center Drive, Suite 205
Scottsdale, Arizona 85258

TEL 480-443-2630
FAX 480-315-2720



Neighborhood Involvement General Plan Checklist (GP)

Step 4: *Continued from page 1*

- ☐ **Additional Open House Meeting(s) required ____.** In some cases, the City of Scottsdale Project Coordinator may require more than one applicant-held Open House. Additional open house meetings have the same requirements and shall be advertised in the same manner as the initial open house meeting.

Step 5: **Complete a Neighborhood Involvement Report**

Provide all of the checked items in a Neighborhood Involvement Report that is to be submitted no later than 7 calendar days prior to the Planning Commission public hearing.

- ☒ **Submit either the original or a copy of this marked Neighborhood Involvement Packet.**
- ☒ **Document your Project Notification efforts as follows:**
- Provide a map showing the number of and where notified neighbors are located.
 - Provide a list of names, phone numbers/addresses of contacted parties (e.g. neighbors/property owners, School District representatives, and HOA's).
 - Provide the dates contacted, how they were contacted, and the number of times contacted (minimum of two).
 - Provide copies of letters or other means used to contact neighbors, school districts, and HOA's.
 - Provide originals of all comments, letters, and correspondence received.
- ☒ **Verify the "Project Under Review" Sign Posting or Newspaper listing as follows:**
- Provide completed affidavit of the sign posting with a time/date stamped photo. (See attached)
 - Provide a copy of the Newspaper listings with date of publication.
- ☒ **Document the Open House Meeting(s) as follows:**
- List dates, times, and locations of open house meeting(s).
 - Provide the sign-in sheets, list of people who attended the meeting(s), and comment sheets.
 - A written summary of topics discussed and comments, issues and concerns provided at the open house meeting(s).
- ☒ **Provide steps taken to keep neighbors informed and involved.**
- List the method by which the applicant has addressed, or intends to address, the issues, concerns, and problems identified during the process and open house meetings.
 - List how neighbors were contacted regarding changes and updates to the proposed General Plan Amendment.
 - Provide any other outreach and communication efforts.

Related Resources:

- ☐ Project Under Consideration Sign Posting Requirements
- ☐ Affidavit of Posting
- ☐ Public Hearing Sign Posting Requirements

Planning & Development Services Department

7447 E. Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088

The Reserve

Neighborhood Involvement Open House Meeting

Date: August 9, 2012

Time: 6:00 – 7:30 PM

Location: Golf Club Scottsdale Clubhouse
122nd Street & Rio Verde Drive
Scottsdale

Contact: Dick Frye 480-213-8458 (For Owner)
Jesus Murillo 480-312-7000 (For City of Scottsdale)

Regarding: Cases 11-GP-2011 Five-Acre General Plan Amendment
17-ZN-2011 Five-Acre Re-Zoning
12-AB-2010 Abandonment of unused easements and rights-of-way

Purpose: Neighbor Interaction

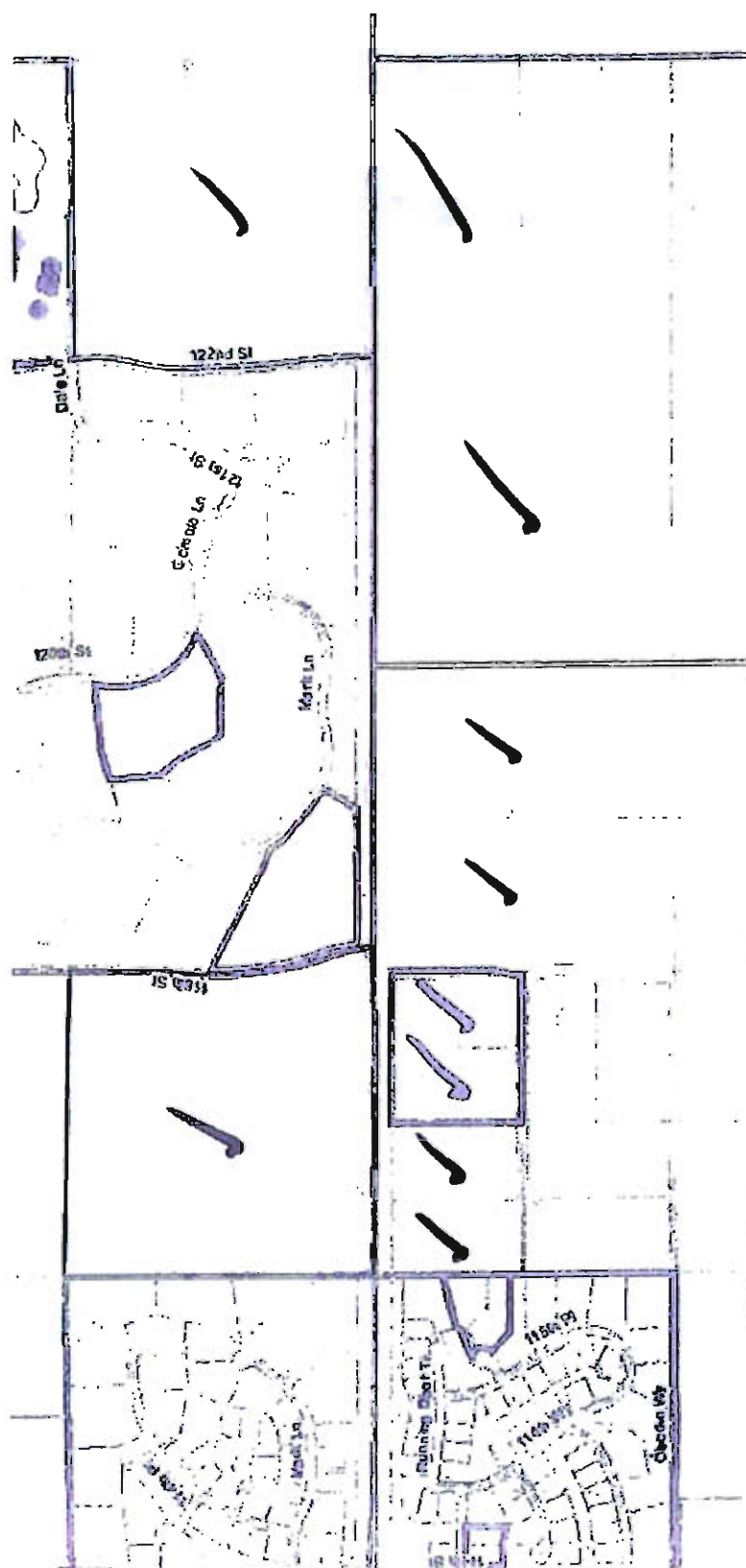
The Reserve 214-acre property is located at the northeast corner of 118th Street and Rio Verde Drive.

In November 2010 the Scottsdale City Council changed The Reserve property's General Plan designation to Resort/Tourism and was re-zoned to R4-R ESL (Resort Townhouse Residential Environmentally Sensitive Lands) allowing 324 units to be constructed on 214 acres.

The Reserve owner, TL 49 Dynamite, LLC, has recently purchased an additional 5 acres of land to fill in a notch in the northwest corner of The Reserve (see attached map) that will add one unit to the project master plan. The 5-acre parcel is zoned R-190 ESL. The Owner is seeking City approval to change the 5-acre General Plan land use designation and zoning to the same designation and zoning as The Reserve's 214 acres.

The Owner is holding an open house meeting at the time and place shown above and will present exhibits showing the 5-acre parcel, the proposed land use master plan for the 218-acre property, preliminary plat for re-platting of The Reserve's 51-lots, preliminary architecture for buildings, preliminary signage and landscape walls design, and other developing details of the proposed development. Additionally, there will be an exhibit showing the proposed abandonment of previously platted roads and easements lying within The Reserve in which nothing has been built.

Dick Frye
Project Manager



Mr. & Mrs. Theodore Keller
8523 E. Highland Ave.
Scottsdale AZ 85251

Hayland Investments
4136 N. 64th St.
Scottsdale AZ 85251

Mr. Joseph Flore
11700 E. Via Dona Rd.,
Scottsdale, AZ 85262

Mr. Michael Johnson
7447 E. Indian School Rd. #205
Scottsdale, AZ 85251

Mr. & Mrs. Roger Malcolm
8595 E. Davenport Dr.,
Scottsdale, AZ 85260

Frantz Harrison Associates
11500 Morning Vista Dr.
Scottsdale AZ 85262

Mr. & Mrs. Dean Ross
29301 N. 114th St.
Scottsdale, AZ 85255

Mr. & Mrs. Robert Levine
2860 Bonnell Ave. SE
Grand Rapids, MI 49506

Arizona Public Service Co
P.O. Box 53933,
MS 3016
Phoenix, AZ 85072

Mr. & Mrs. Andrew Bianca
4540 E. Karen Dr.
Phoenix, AZ 85032

Mr. Barry Berger
500 N. Roosevelt Ave., #84
Chandler, AZ 85226

Direct Management LLC
5421 Tall Oaks Dr.,
Long Grove IL 60047

Mr. John Kaliminios & Despina
Themistockles
P.O Box 936
Montauk NY 11954

North Scottsdale 20 AC LLC
7400 E. McDonald Dr. #121
Scottsdale, AZ 85250

Diedrichs Family Partnership
12570 E. Poinsettia Dr.
Scottsdale, AZ 85250

Mr. & Mrs. James Mason
3817 E. Cielo Grande Ave
Phoenix, AZ 85050

Mr. & Mrs. Robert Bates
14478 E. Wethersfield Rd.
Scottsdale, AZ 85259

Mr. & Mrs. Richard Pieranuzi
10100 E. Santa Catalina Dr.
Scottsdale, AZ 85255

Mr. & Mrs. Sol Yuan
115 W. Wood Dr.
Phoenix, AZ 85029

McDowell Sonoran Preserve at City of
Scottsdale
Attention: Kroy Ekblaw
3939 N. Drinkwater Boulevard
Scottsdale, AZ 85251

City of Scottsdale
Attention: Jesus Murrillo
3939 N. Drinkwater Boulevard
Scottsdale, AZ 85251

The Golf Club Scottsdale
29001 North 122nd Street
Scottsdale, AZ 85262
Attn: Dave Warchot

McDowell Sonoran Conservancy
16435 N. Scottsdale Rd.
Suite 110
Scottsdale, AZ 85254



CITIZEN REVIEW REPORT

The Reserve Scottsdale's First Eco-Resort Campus

Non-Major General Plan Amendment
Establish a specific location for the existing floating Resort/Tourism location
within a Rural Neighborhood category
&
Rezoning Application
R1-130 ESL & R1-190 ESL to R-4R

4-GP-2010 & 6-ZN-2010

Project information:

Existing G.P.:	Rural Neighborhood
Proposed G.P.:	Resort/Tourism
Existing Zoning:	R1-190 ESL/R1-130 ESL
Proposed Zoning:	R-4R
Proposed Use:	Eco-Resort Campus
Parcel size:	213 acres
Location:	Northeast Corner of 118 th & Dynamite
Owner:	TL Reserve Development Company, LLC
Applicant:	Berry & Damore, LLC

7/20/2011
2/21/2011

Back Ground

This request is for a non-major General Plan Amendment to establish a specific location for the existing "floating" Resort/Tourism star within a Rural Neighborhood category and change the zoning category from R1-190 ESL & R1-130 ESL to R-4R on a portion of a 213-acre parcel located at the northeast corner of 118th Street and Dynamite Boulevard (the "Property"). The Property is an undeveloped parcel that is currently platted as a residential subdivision.

West of the property across 118th Street is vacant property zoned R1-190 ESL. To the North is the McDowell-Sonoran Preserve. To the east is The Golf Club Scottsdale and to the south are metes and bounds parcels zoned R1-190 & R1-130 ESL.

To develop a world-class, Eco-Resort Campus on this property, an application for a non-major General Plan Amendment accompanied with a request for a zoning change has been filed for approximately 136 acres of the site. The remaining 77 acres will not change. The General Plan identifies a resort use in the general location of this property. In order to establish a specific location for the existing "floating" Resort/Tourism star, a non-major General Plan Amendment is being requested for approximately 136 acres. The accompanying zoning change request will change the existing R1-190 ESL & R1-130 ESL of this same 136 acres to R4-R.

Neighborhood Outreach

Outreach efforts included soliciting feedback from property owners, businesses and residents within the area to ensure adequate opportunities to comment and participate. The following tasks were undertaken-

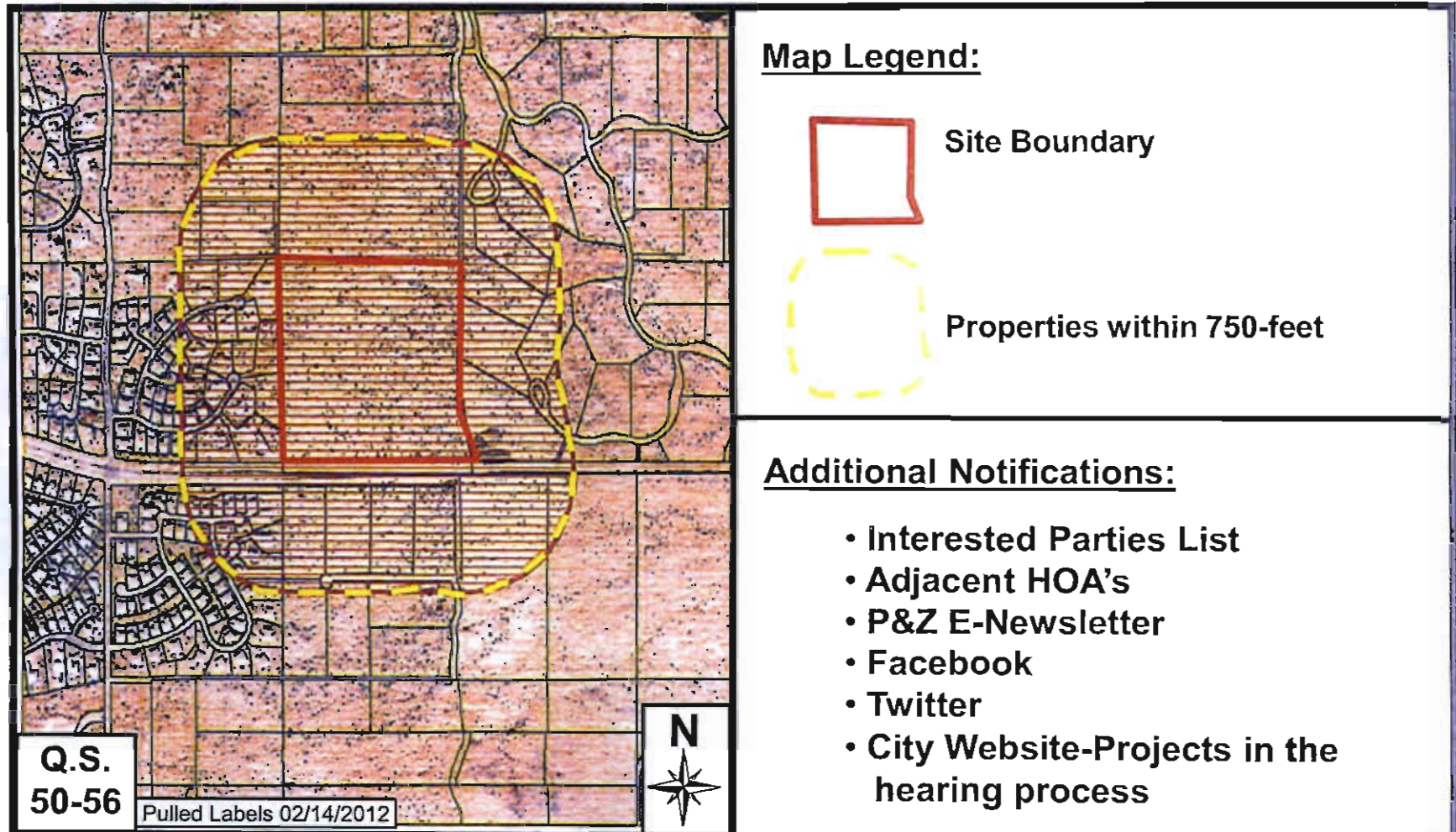
- In advance of the filing of this application, there was considerable outreach to stake holders. These included face to face meetings, telephone meetings and notification by mail.
- A notification mailing was done on 21 June 2010 to interested parties and adjacent property owners prior to the filing of the application.
- The site was posted on 30 June 2010 with a "Project Under Consideration" sign which was later updated with Open House information on 5 August 2010 (affidavits attached).
- Representatives from the Coalition of Pinnacle Peak, Greater Pinnacle Peak Association, Desert Property Owners' Association and Coalition of Greater Scottsdale were contacted.
- A second mailing for notification of the 17 August 2010 Open House was done on 2 August 2010 to interested parties and all property owners within 1000' of the property.
- Notification was provided to the Cave Creek Unified School District on 18 June 2010 by registered mail to the attention of Ms. Debbi Burdick, Superintendent.
- On 17 August 2010, an Open House was held at the Golf Club Scottsdale Club House which is adjacent to the subject property. There were 13 people who attended and signed in (sign-up sheet is included in this report). No comments cards were received. A majority of the discussion was related to answering questions about the project scope. Comments were positive and no specific issues or concerns arose among those who attended.
- Time date and location of the Open House was published on August 6th in the AZ Republic (affidavit attached).

- Postings and notifications have included the project website address (www.ecoresortscottsdale.com) for interested parties to learn more about The Reserve Eco-Resort Campus.

Appendix

- First Notification Letter
- Affidavit of Postings
- Open House Notification Letter
- Open House Notification Mailing List
- Letter to Cave Creek Unified School District
- Open House Sign-in Sheets
- Affidavit of Publication for Open House Notice

City Notifications – Mailing List Selection Map



The Reserve

2-PP-2012

ATTACHMENT #11



**SCOTTSDALE DEVELOPMENT REVIEW BOARD
KIVA-CITY HALL
3939 DRINKWATER BOULEVARD
SCOTTSDALE, ARIZONA**

THURSDAY SEPTEMBER 6, 2012

SUMMARIZED MEETING MINUTES

PRESENT:

Suzanne Klapp, Councilmember
David Brantner, Planning Commission Member
Eric Gerster, Vice Chairman
Chris Jones, Design Member
Ali Fakh, Design Member
David Gulino, Development Member

ABSENT:

Jessica Hutchison-Rough, Design Member

STAFF:

Steve Venker
Joe Padilla
Kim Chafin
Keith Niederer
Meredith Tessier
Bryan Cluff
Dan Symer

CALL TO ORDER

Councilwoman Klapp called the meeting of the Scottsdale Development Review Board to order at 1:02 p.m.

ROLL CALL

A formal roll call was conducted confirming members present as stated above.

ADMINISTRATIVE REPORT

1. Identify supplemental information, if any, related to the September 6, 2012 Development Review Board agenda items, and other correspondence.

MINUTES

2. Approval of August 16, 2012 Development Review Board Meeting Minutes
BOARD MEMBER GULINO MOVED TO APPROVE THE AUGUST 16, 2012 DEVELOPMENT REVIEW BOARD MEETING MINUTES SECONDED BY COMMISSIONER BRANTNER, THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SIX (6) TO ZERO (0).

CONSENT AGENDA

3. 25-DR-2007#2 The 4333 Building

BOARD MEMBER GULINO MOVED TO APPROVE 25-DR-2007#3 SECONDED BY BOARD MEMBER GERSTER, THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SIX (6) TO ZERO (0).

4. 55-DR-2011 Terra Verde Office Campus

BOARD MEMBER GERSTER MOVED TO APPROVE 55-DR-2011 SECONDED BY BOARD MEMBER JONES WITH BOARD MEMBER GULINO RECUSING, THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF FIVE (5) TO ZERO (0).

5. 63-DR-2011 Shops at Gainey Ranch

BOARDMEMBER GULINO MOVED TO APPROVE 63-DR-2011 SECONDED BY BOARD MEMBER GERSTER, THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SIX (6) TO ZERO (0).

6. 23-DR-2012 Paseo Village

BOARD MEMBER GULINO MOVED TO APPROVE 23-DR-2012 SECONDED BY BOARD MEMBER GERSTER, THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SIX (6) TO ZERO (0).

7. 2-PP-2012 The Reserve

BOARD MEMBER GERSTER MOVED TO APPROVE 2-PP-2012 SECONDED BY BOARD MEMBER JONES WITH BOARD MEMBER GULINO RECUSING, THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF FIVE (5) TO ZERO (0).

REGULAR AGENDA

8. 1-II-2003#6 Broadstone At Waterfront

COMMISSIONER BRANTNER MOVED TO APPROVE 1-II-2003#6 SECONDED BY BOARD MEMBER FAKIH, THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SIX (6) TO ZERO (0).

9. 84-DR-2011#3 Restoration Hardware

COMMISSIONER BRANTNER MOVED TO APPROVE 84-DR-2011#3 SECONDED BY BOARD MEMBER FAKIH, THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SIX (6) TO ZERO (0).

NON-ACTION ITEM

10. 6-ZN-2012 and 4-II-2012 The Industry East

AFTER A PRESENTATION BY THE APPLICANT BOARD MEMBERS PROVIDED COMMENTS REGARDING THE PROPOSED AMENDED DEVELOPMENT STANDARDS.

11. 7-ZN-2012 and 3-II-2012 The Industry West

AFTER A PRESENTATION BY THE APPLICANT BOARD MEMBERS PROVIDED COMMENTS REGARDING THE PROPOSED AMENDED DEVELOPMENT STANDARDS.

ADJOURNMENT

With no further business to discuss, the regular session of the Development Review Board adjourned at 2:38 p.m.



**SCOTTSDALE PLANNING COMMISSION
KIVA-CITY HALL
3939 DRINKWATER BOULEVARD
SCOTTSDALE, ARIZONA**

WEDNESDAY, MAY 23, 2012

SUMMARIZED MEETING MINUTES*

PRESENT: Michael D'Andrea, Chairman
Erik Filsinger, Commissioner
Jay Petkunas, Commissioner
Michael Edwards, Commissioner
David Brantner, Commissioner
Matt Cody, Commissioner

ABSENT: Ed Grant, Vice-Chair

STAFF: Tim Curtis
Sherry Scott
Jesus Murillo
Bryan Cluff
Greg Bloemberg
Keith Niederer
Brandon Lebovitz

CALL TO ORDER

Chair D'Andrea called the regular session of the Scottsdale Planning Commission to order at 5:00 p.m.

ROLL CALL

A formal roll call was conducted confirming members present as stated above.

MINUTES REVIEW AND APPROVAL

1. Approval of May 9, 2012 Regular meeting Minutes including Study Session.
COMMISSIONER BRANTNER MOVED TO APPROVE THE MAY 9, 2012 REGULAR MEETING MINUTES, INCLUDING STUDY SESSION. SECONDED BY COMMISSIONER PETKUNAS, THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SIX (6) TO ZERO (0).

* Note: These are summary action minutes only. A complete copy of the meeting audio is available on the Planning Commission website at: www.scottsdaleaz.gov/boards/PC.asp

EXPEDITED AGENDA

2. 11-GP-2011 (The Reserve)

3. 17-ZN-2011 (The Reserve)

COMMISSONER PETKUNAS MOVED TO MAKE A RECOMMENDATION TO CITY COUNCIL FOR APPROVAL OF CASES 11-GP-2011 AND 17-ZN-2011, PER THE STAFF RECOMMENDED STIPULATIONS, AFTER DETERMINING THAT THE PROPOSED ZONING MAP AMENDMENT IS CONSISTENT AND CONFORMS WITH THE ADOPTED GENERAL PLAN. SECONDED BY COMMISSIONER EDWARDS, THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF FIVE (5) TO ZERO (0); COMMISSIONER FILSINGER RECUSED.

4. 41-UP-2011 (Atlantic Development Heliport)

5. 5-ZN-2012 (Camelot Reserve (Topaz))

COMMISSONER BRANTNER MOVED TO MAKE A RECOMMENDATION TO CITY COUNCIL FOR APPROVAL OF CASES 41-UP-2011 AND 5-ZN-2012, PER THE STAFF RECOMMENDED STIPULATIONS, AFTER FINDING THAT THE PLANNED RESIDENTIAL DEVELOPMENT CRITERIA HAVE BEEN MET, AFTER DETERMINING THAT THE PROPOSED ZONING MAP AMENDMENTS ARE CONSISTENT AND CONFORM WITH THE ADOPTED GENERAL PLAN, AND BASED UPON THE FINDING THAT THE CONDITIONAL USE PERMIT CRITERIA HAVE BEEN MET. SECONDED BY COMMISSIONER FILSINGER, THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SIX (6) TO ZERO (0).

REGULAR AGENDA

6. 3-GP-2012 (Echo at Windgate)

7. 3-ZN-2012 (Echo at Windgate)

Joe Meli

COMMISSIONER FILSINGER MOVED TO CONTINUE CASES 3-GP-2012 AND 3-ZN-2012 (ECHO AT WINDGATE) TO JUNE 13, 2012. SECONDED BY COMMISSIONER PETKUNAS, THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF FIVE (5) TO ZERO (0); COMMISSIONER CODY RECUSED.

ADJOURNMENT

With no further business to discuss, the regular session of the Planning Commission adjourned at 5:08p.m.